

# **Gig Harbor City Council Meeting**

**October 14, 2013  
5:30 p.m.**



**OPEN HOUSE:** PROPOSED DOWNTOWN WATERFRONT BUILDING SIZE AND HEIGHT AMENDMENTS: 3:30 – 5:00 P.M. IN COMMUNITY ROOMS A & B

**AGENDA FOR  
GIG HARBOR CITY COUNCIL MEETING  
Monday, October 14, 2013 – 5:30 p.m.**

**CALL TO ORDER:**

**PLEDGE OF ALLEGIANCE:**

**CONSENT AGENDA:**

1. Approval of City Council Minutes: a) Regular Meeting Sep. 23, 2013; b) Special Meeting Minutes Sep. 30, 2013.
2. Liquor License Action: Domo Sushi Application.
3. Receive and File: a) TNAAC Meeting Summary July 11, 2013; b) Parks Commission Minutes Sept. 4, 2013; c) Minutes from Council Workstudy Session Sep 23, 2013.
4. Correspondence / Proclamations: Domestic Violence Awareness Month Proclamation.
5. Resolution No. 937 – Adopting an Interlocal for a Joint Self-Insured Health and Welfare Benefit Program.
6. Memorandum of Agreement with Pierce County for Commute Trip Reduction Program.
7. Approval of Payment of Bills Oct 14, 2013: Checks #73603 through #73758 in the amount of \$1,849,959.83.
8. Approval of Payment of Payroll for the month of September 14, 2013: Checks #7040 through #7052 in the amount of \$359,784.80.

**OLD BUSINESS:** None.

**NEW BUSINESS:**

1. Public Hearing and First Reading of Ordinance – Downtown Waterfront Building Size and Height Amendments.
2. Public Hearing and First Reading of Ordinance – Land Use Permit Extensions.
3. Public Hearing and First Reading of Ordinance – Public Works Standards Update.
4. First Reading of Ordinance – Housekeeping Update to Business License Code.
5. Street Names – Harbor Hill Phase S-9.
6. Street Names – Harbor Hill Phase N-1.

**STAFF REPORT:**

**PUBLIC COMMENT:**

**MAYOR'S REPORT / COUNCIL COMMENTS:**

**ANNOUNCEMENT OF OTHER MEETINGS:**

1. Connie Schick Clock Dedication – Tues. Oct. 15<sup>th</sup> at 11:30 a.m.
2. Operations Committee – Thur. Oct. 17<sup>th</sup> at 3:00 p.m.
3. Budget Worksession I: Mon. Oct 21, 2013 at 5:30 p.m.
4. Budget Worksession II: Tue. Oct 22, 2013 at 5:30 p.m.
5. Donkey Creek Project Ribbon Cutting Ceremony – Wed. Oct. 23<sup>rd</sup>. Time to be determined.

**EXECUTIVE SESSION:** To discuss property acquisition per RCW 42.30.110(1)(b).

**ADJOURN:**



**MINUTES OF GIG HARBOR CITY COUNCIL MEETING – September 23, 2013**

**PRESENT:** Councilmembers Ekberg, Young, Guernsey, Perrow, Malich, Payne, Kadzik, and Mayor Hunter.

**CALL TO ORDER:** 5:30 p.m.

**PLEDGE OF ALLEGIANCE:**

**EXECUTIVE SESSION:** To discuss property acquisition per RCW 42.30.110(1)(b)

**MOTION:** Move to go into Executive Session at 5:32 p.m. for approximately twenty minutes to discuss property acquisition.  
**Kadzik / Malich** – unanimously approved.

City Administrator Denny Richards returned to the Council Chambers at 5:55 p.m. to announce that the Executive Session had been extended another ten minutes.

**MOTION:** Move to go return to regular session at 6:09 p.m.  
**Kadzik / Young** – unanimously approved.

**CONSENT AGENDA:**

1. Approval of City Council Minutes Sep 9, 2013.
2. Liquor License Action: Renewals: Gourmet Burger Shop, Moctezuma's, Java & Clay Cafe, and Blue Agave Mexican Grill & Tequila Bar.
3. Receive and File: a) Parks Commission Minutes August 13, 2013; b) Lodging Tax Advisory Committee Minutes September 12, 2013; c) Gig Harbor Arts Commission Request for Funding.
4. Correspondence / Proclamations: a) Dept. of Ecology – No Further Action Approval for Eddon Boat Sediment Remediation Project; b) Note from former Mayor Gretchen Wilbert regarding Senior Center Activities; c) Comcast Foundation Grant Letter.
5. Second Reading of Ordinance No. 1269 – Budget Amendment Correcting 2013 Salary Schedule.
6. Second Reading of Ordinance No. 1270 – North Harborview Drive Right of Way Vacation/Dedication.
7. Resolution No. 936 – Applying Ordinance No. 1244 to the Harbor Hill Development Agreement.
8. Skansie Net Shed Pier Replacement – Public Works Construction Contract Award.
9. Franchise Agreement Renewal – Sewer Franchise with Pierce County.
10. Maritime Pier Pump Out – Public Works Construction Contract Award.
11. RCO Grant Agreement – Eddon Boat Park Expansion Project.
12. Approval of Payment of Bills Sep 23, 2013: Checks #73455 through #73602 in the amount of \$710,002.74.

**MOTION:** Move to adopt the Consent Agenda as presented.  
**Ekberg / Perrow** – five approved. Councilmembers Guernsey and Perrow abstained from the vote due to a conflict of interest.

**OLD BUSINESS:**

1. Second Reading of Ordinance No. 1271 – Marijuana Related Uses. Senior Planner Lindsey Sehmel presented the background for this ordinance. Using an update map, she gave an overview of the areas showing the 1,000 foot buffer requirement in the zones where this use might be permitted. She addressed Council's questions.

Before the vote was finalized, Councilmember Guernsey commented that she isn't in favor of this, but without the limitation on where retail marijuana retail stores could locate, the city runs the risk of having them anywhere.

**MOTION:** Move to adopt Ordinance No. 1271.  
**Kadzik / Payne** – unanimously approved.

**NEW BUSINESS:**

1. Resolution No. 937 – 2015 GMA Periodic Review and Commerce Grant Acceptance. Senior Planner Lindsey Sehmel explained that this resolution would authorize the execution of an \$18,000 grant to assist in the state mandated 2015 Comprehensive Plan periodic review. It would also combine any 2014 amendments into the 2015 review period.

Councilmember Young asked how much of staff time that the grant would cover; then voiced his dislike of unfunded state mandates. Ms. Sehmel responded that the grant would cover approximately 10% of the staff time required for the review process.

**MOTION:** Move to adopt Resolution No. 937.  
**Kadzik / Payne** – unanimously approved.

**STAFF REPORT:**

1. Land Use Permit Extensions. Planning Director Jennifer Kester explained that in 2009 and 2011 Council adopted ordinances that allowed extensions of certain land use permits due to the poor economy. Currently pending are six permits that expire in November, 2013. One of the applicants, Mr. Ritter, has asked Council to consider another extension, she said, and staff recommends extending only current, valid permits that have previously received extensions. Ms. Kester added that Council would also need to consider how long an extension should be granted, explaining that all these permits were vested under the previous stormwater manual and most are vested to previous critical area standards.

Councilmember Guernsey spoke in favor of another extension, saying she hopes any applicant will take a serious look at preventing flooding issues no matter what regulations they have been vested.

Councilmembers further discussed the appropriate length of another extension and

possible issues with stormwater requirements. Staff was directed to come back with an ordinance that will authorize a two-year extension conditioned upon the ability to show that there are no public safety concerns with continued vesting.

Ms. Kester addressed Councilmember Malich's concerns and clarified what is required for a permit to remain active.

**PUBLIC COMMENT:**

Kathy Moss – 2815 43rd St. NW. Ms. Moss presented the history of their neighborhood's request for sidewalks on Point Fosdick since their first request in 2007. She explained that the only traffic remediation required of the high density apartments adjacent to their neighborhood was bike hooks in the garage and sidewalks within the development, but nothing along Point Fosdick. She talked about the safety issues along that stretch of roadway and urged the city not to wait for an accident to happen before something is done. She said that this should be a priority.

Suzanne Wayland – 2819 42<sup>nd</sup> Street. Ms. Wayland backed what Ms. Moss said, commenting that she walks along Point Fosdick and it has become very scary. She said that the city wants this to be a walking community, and people do walk along that stretch, but it's dangerous. She commented that it's a small section that goes to Quail Run and if the city could help, she would appreciate it. She responded to a question from Councilmember Malich by saying it's difficult to cross the street in this location because the people coming out of the round- about speed through there. She mentioned the school buses and children present, saying that perhaps a crosswalk or boardwalk is needed.

Jo West – Fircrest. Ms. West said she is trying to find out why the city doesn't support the Farmer's Market downtown. She explained that she has participated in this program for five years and her business has continued to grow. She talked about how busy it is on Wednesdays and Sundays, and about the kids that are there on Wednesdays for the Harbor Wildwatch program. She said she doesn't understand why the city doesn't think it's a good thing to have it there.

Mayor Hunter said that no such decision has been made; the only issue is parking on the lawn. Ms. West said that parking on the lawn was discontinued this year because there were problems with a broken sprinkler head and puddles; which she doesn't think is their fault. She added that this is a beautiful location and a natural spot for this event.

Councilmember Kadzik said that his understanding is that there has been no decision by the city to discontinue the market, just a strong position against vehicles on the grass. He added that the decision to pull out was made by the market people, not the city.

Ms. West said that this is encouraging and suggested a compromise to allow the market to continue. Councilmember Perrow said that Councilmembers are all supporters of the

market, and she was advised to have the Board work with the City Administrator to work through the issues. He commented the large tents blocking views of the historic netshed and working together on a presence at this historic site.

Jeff Langhelm asked if the Parks Commission should also be developing a policy for use of city parks along with the private structures policy they are currently working on. Councilmember Malich, Perrow, and Ekberg agreed on the need for a policy for commercial use on city property.

Paula Wheeler – Board member, Farmer’s Market. Ms. Wheeler explained that she has participated in the farmers market for 20 years, and how much they love it downtown. She stressed how much the market does to act as a voice for the city by directing tourists and answering questions. She talked about the people that come from all over because of the articles in the Smithsonian and LA Times, adding that she doesn’t understand why this city doesn’t support the market. She then said that there are only two trucks that park on the lawn because they need to be close to their products. She also talked about how muddy the park is because the lawn that is over-watered and has a sprinkler head that has been broken for three years.

Councilmember Payne again recommended that the Board sit down with the City Administrator to work this through.

Joseph Keenan – 5503 70<sup>th</sup> Avenue. Mr. Keenan, a student at Gig Harbor High School, asked if Gig Harbor has a curfew like the one in San Diego. He said a curfew would make it difficult for him coming home after dark from his classes at T.C.C.

Mr. Keenan was advised that Gig Harbor doesn’t have a curfew and was directed to ask the Police Department about questions of this nature, rather than the City Council.

**MAYOR’S REPORT / COUNCIL COMMENTS:**

Councilmember Young reported positively about the trolley meeting with the CEO of Pierce Transit. He said that their staff has recommended that this become a permanent program, and Pierce Transit has gone out to bid to purchase two buses for this purpose. He explained that the trolley route will be redone to fit with the 100 route and that the fare may be raised to \$1; saying that the final vote will take place at the next meeting.

Councilmember Ekberg referred to the “No further action” letter from the Department of Ecology for the Eddon Boatyard Property, and complimented City Engineer Steven Misiurak and staff for doing an excellent job on this project.

Councilmember Malich reported that he would be attending the Tacoma Narrows Airport Committee meeting on Thursday, and asked everyone to e-mail him with agenda topics.

**ANNOUNCEMENT OF OTHER MEETINGS:**

1. Open House – Downtown Waterfront Building Size and Height Amendments –

Monday, October 14<sup>th</sup> from 3:30 - 5:00 p.m. in Community Rooms A & B.

**ADJOURN TO WORKSTUDY SESSION:** Downtown Waterfront Alliance  
Accomplishments – Community Rooms A & B.

**MOTION:** Move to adjourn at 7:00 p.m.  
**Young / Malich** – unanimously approved.

CD recorder utilized: Tracks 1002 – 1018

---

Charles L. Hunter, Mayor

---

Molly Towslee, City Clerk

**MINUTES OF GIG HARBOR SPECIAL CITY COUNCIL MEETING – September 30, 2013**

**PRESENT:** Councilmembers Ekberg, Young, Guernsey, Perrow, Malich, Payne, Kadzik, and Mayor Hunter.

**CALL TO ORDER:** 5:30 p.m.

**PLEDGE OF ALLEGIANCE:**

Mayor Hunter advised the Council, staff, and audience that the City Attorney, Angela Belbeck, was in attendance via conference call.

**NEW BUSINESS:**

1. Gig Harbor Kayak Club – Kayak Storage Racks at Skansie Brothers Park. Public Works Director Jeff Langhelm introduced this request to use Skansie Brother Park as the new location for kayak storage. He explained that the club has been asked to vacate their existing storage location by November 15<sup>th</sup>. He said that the Parks Commission has been working on a parks use policy for this purpose at Ancich Park, but that site won't be available for several years. He said that this proposed action would authorize the Mayor to sign a land use application for the storage racks.

Mr. Langhelm described the two locations that are being considered for the racks and the possible impacts at either location: on Jerisich Dock itself or behind the Skansie House against the south wall. He added that either site would require land use permits that would include a habitat assessment, a shoreline exemption, a minor site plan, and design review. He said that staff recommends all associated costs be paid for by the Kayak Club.

Planning Director Jennifer Kester discussed the permitting process and appeal period, saying they are confident that staff will be able to obtain the appropriate documentation to meet the necessary deadlines. She explained that they are working with the fair market value of the racks in order to stay under the shoreline substantial development permit threshold of \$6,416.00 to avoid extending the permit processing length from weeks to months.

Mayor Hunter commented on the unique and historical nature of this park, explaining that the city has gone through a visioning process that places this type of use at Ancich Park. He also said that the Parks Commission is working on a policy for private use of public parks, and that we may be getting ahead of the process. He cited the 24 events held at Skansie Park and talked about how busy it is. He recommended a six-month time limit on any use agreement to prevent getting locked in. He then asked how many members are in the club and the number of participants that would be using the park on a daily or weekly basis.

Alan Anderson, Kayak Club President, responded that the racing team has 35 paddlers and along with the development program, the number is closer to 47. He added that this is about the maximum number he can work with at a time.

Mayor Hunter commended Mr. Anderson for the program and for working with the kids, but said we may be getting the cart before the horse. He said that he wants to make sure we look at the value of the property and the fact that public parks are for all the people, not just some. He asked how many sanctioned events are held there.

Mr. Anderson said that there are two sanctioned races held in the harbor. He then responded to a Council question by describing the racks as three, nicely built and lockable racks that will hold 75 vessels and has the ability to be transferred to the Ancich Property when the time comes.

Mr. Anderson was asked about wear and tear on the lawn. He said that there has been a suggestion for a rinsing area in the far corner nearest the water to remediate this concern. There has also been a suggestion for gravel pathways or decking under the racks as well. He voiced concern with rinsing the kayaks near the dock for fear of accidental spraying of pedestrians.

Mayor Hunter said that he thinks the dock is the better location for the racks to avoid traffic across the lawn.

When asked for his recommendation, Mr. Langhelm said he would rather the Mayor and Council decide the location, and said that the racks would take up 1/3 of the pier if located there. He then said that adding a gravel base or pathways, permeable pavers, or cloth would need to be finalized before permit application; the concern being the increase in cost exceeding the Substantial Shoreline Development Permit threshold.

Councilmember Payne stressed that Council is only being asked to decide whether to give the Mayor authorization to proceed with permitting; not design the project. He said that the location isn't as critical to him at this time.

**MOTION:** Move to authorize the Mayor to sign land use applications for canoe and kayak storage racks at Skansie Brothers Park.  
Kadzik / Perrow –

Councilmember Malich asked the city attorney if there has to be an agreement to allow a private entity to use the park. Ms. Belbeck responded that the main concern is that there is no gift to a private entity, and the city is getting a return on fair market value; and it doesn't necessarily need to be financial but can be in-kind consideration.

Councilmember Young pointed out that we already have this type of use in place with the Gig Harbor BoatShop.

Councilmember Malich then asked Mr. Anderson if they looked at Eddon Boat Park as an alternative for the racks. He also asked about floating racks.

Mr. Langhelm explained that a number of locations were considered and the Eddon Boat Park site was ruled out due to the lack of parking and lack of level ground.

Ms. Kester responded to the question about floating racks by saying any over the water construction would have significant shoreline implications and would take one to one and one-half years to permit. She suggested that could be a consideration for the future.

Councilmember Ekberg voiced concern with the timing considering the Parks Commission is working to develop a policy. He addressed the comment regarding Eddon Boat, saying that it was already a public building now being leased out for a public benefit, whereas this is a request to put a private structure in a public park. He added that tonight Council is being asked to authorize the Mayor to sign a permit application only; not to agree to a contract. He warned that if we don't have a policy in place and this use is allowed, there may be others asking for the same consideration.

Councilmember Guernsey said that she doesn't have a problem with the club working with staff to determine the best location; they are already there and she isn't aware of any complaints. She emphasized that the club is a phenomenal organization for our youth, adding that we don't do enough for the kids in our community. She agreed with the comments that the lack of a policy may be putting the cart before the horse, but said that this is a situation which needs to be addressed. Alan Anderson has a good working relationship with the city, she said, and that she expects it to continue. She also said there can be determination for public convenience in a contract, and so we can do this.

Councilmember Young mentioned that the Planning/Building Committee reviewed this plan a while ago and considered it a common sense solution. He agreed that we don't do a lot for our teenagers and said he thinks this is a great plan and although the timing isn't perfect, it's worth taking a risk.

Councilmember Malich also spoke in favor of serving the kids, but said he wants to make sure this is temporary until a permanent solution can be worked out.

**RESTATED MOTION:** Move to authorize the Mayor to sign land use applications for canoe and kayak storage racks at Skansie Brothers Park.  
**Kadzik / Perrow** – unanimously approved.

**MAYOR'S REPORT / COUNCIL COMMENTS:**

Councilmember Payne encouraged everyone to go to the City Park at Crescent Creek to observe the work on the wood sculpture.

**ADJOURN:**



**MOTION:** Move to adjourn at 6:06 p.m.  
**Kadzik / Guernsey** – unanimously approved.

CD recorder utilized: Tracks 1002 – 1005

---

Charles L. Hunter, Mayor

---

Molly Towslee, City Clerk



NOTICE OF LIQUOR LICENSE APPLICATION

RETURN TO: WASHINGTON STATE LIQUOR CONTROL BOARD
License Division - 3000 Pacific, P.O. Box 43075
Olympia, WA 98504-3075
Customer Service: (360) 664-1600
Fax: (360) 753-2710
Website: www.liq.wa.gov

DRL

TO: MOLLY TOWSLEE, CITY CLERK
RE: NEW APPLICATION

DATE: 9/19/13

UBI: 603-290-817-001-0001

License: 411737 - 1U County: 27
Tradename: DOMO SUSHI
Address: 4901 POINT FOSDICK DR NW
STE B-100
GIG HARBOR WA 98335-1841

APPLICANTS:
SHIN & LEE LLC
EARL, SCOTT 1967-04-22
SHIN, MI-KYUNG 1974-05-13
SHIN, YUNG JASON 1972-12-05
LEE, MI-KYUNG 1973-02-03

Phone No.: 360-550-3792 JASON SHIN

Privileges Applied For:
BEER/WINE REST - BEER/WINE

As required by RCW 66.24.010(8), the Liquor Control Board is notifying you that the above has applied for a liquor license. You have 20 days from the date of this notice to give your input on this application. If we do not receive this notice back within 20 days, we will assume you have no objection to the issuance of the license. If you need additional time to respond, you must submit a written request for an extension of up to 20 days, with the reason(s) you need more time. If you need information on SSN, contact our CHRI Desk at (360) 664-1724.

- 1. Do you approve of applicant?
2. Do you approve of location?
3. If you disapprove and the Board contemplates issuing a license, do you wish to request an adjudicative hearing before final action is taken?
4. If you disapprove, per RCW 66.24.010(8) you MUST attach a letter to the Board detailing the reason(s) for the objection and a statement of all facts on which your objection(s) are based.

DATE SIGNATURE OF MAYOR, CITY MANAGER, COUNTY COMMISSIONERS OR DESIGNEE



## TACOMA NARROWS AIRPORT ADVISORY COMMISSION

### MEETING SUMMARY

July 11, 2013

The regular meeting of the Pierce County Tacoma Narrows Airport Advisory Commission (TNAAC) was held on Thursday, July 11, 2013 from 6:30 to 8:30 p.m. The meeting was held at Goodman Middle School, Commons, located at 3701 38<sup>th</sup> Avenue NW, Gig Harbor, WA 98335.

**I. CHAIR ROGER GRUENER CALLED THE MEETING TO ORDER AT 6:36 P.M. AND WELCOMED ALL ATTENDEES**

**II. COMMISSION MEMBERS, COUNTY STAFF, AND GUESTS INTRODUCED THEMSELVES**

TNAAC VOTING MEMBERS	
<b>Present:</b>	Roger Gruener, Chair      Bob Felker Laura Fox, Vice Chair      Brad Pattison Dennis Cunneen      Bill Sehmel
<b>Excused:</b>	Hal Cline, Brian Durham, Beckie Krantz, Terry Lee
TNAAC NON-VOTING MEMBERS	
<b>Present:</b>	Deb Wallace, Airport and Ferry Administrator
<b>Excused:</b>	Stan Flemming, Ken Malich
PIERCE COUNTY STAFF	
<b>Present:</b>	Jay Simons, Operations and Maintenance Supervisor Warren Hendrickson, Aviation and Ferry Planner
VISITORS	
<b>Present:</b>	Kurt Grimmer, Lori Linenko (TEC), Joe Wearn

**III. APPROVAL OF PRIOR MEETING SUMMARY**

Motion to approve the May 9, 2013 Meeting Summary by: Bill Sehmel  
Seconded by: Dennis Cunneen  
Approved unanimously.

**IV. VISITORS AND PETITIONS**

None

**V. GUEST SPEAKER: LORI LINENKO, PRESIDENT, TACOMA EVENTS COMMISSION**

- **Wings and Wheels Event:**
  - Leadership change - Doug and Carol taking a break this year.
  - Great event – everything went very well.
  - About 2,100 people attended.
  - Consider holding on Sunday next year instead of Saturday. The 4<sup>th</sup> of July is on a Friday in 2014. Having volunteers work at Freedom Fair on July 4<sup>th</sup>, and then at Wings and Wheels the next day could be exhausting. A Sunday event would be preferable.
  - No military participation because of sequestration.
  - Some people expected plane rides; will advertise next year that plane rides are not offered.
  - No music this year.
  - Sponsored pilots do not increase costs for Wings and Wheels because they are already here, and their expenses are paid for.

COMMENTS FROM COMMISSION:
<ul style="list-style-type: none"><li>• Larger Military planes from WWII were not available.</li><li>• Bi-planes and helicopter rides were offered last year and they were missed this year.</li><li>• Gig Harbor Chamber of Commerce and local hotels did not provide assistance. Best Western in Tacoma donated free hotel rooms.</li><li>• Freedom Fair attendance also down this year. Believe a lot of people may have gone out of town for a four-day weekend.</li><li>• There were 165 cars this year for the classic car show.</li><li>• Volunteers: explorers, cadets, CAP, ROTC, Clover Park, Rotary.</li><li>• Event went through 5 p.m., but a lot of cars left early. Consider ending the event next year at 4 p.m.</li><li>• Idea: add local restaurants.</li><li>• Start early next year and get sub-committee to work with TEC.</li><li>• Deb complimented Lori for her organization of the Wings and Wheels aviation event, and her staff for their hard work.</li></ul>



**VI. PIERCE COUNTY STAFF REPORTS**

- **Deb Wallace**
  - a. **Budget/Grants – Standing Report:**
    - Budget: Hangar and fuel revenues are low so far this year.
    - Grants: \$400,000 grant available. Port Townsend gave back unused money. Staff will reapply for seismic retrofit at TIW water tanks.
    - Hangar Rental Rates:
      - Deb thanked Dennis and Laura for participating in the sub-committee to evaluate rates.
      - No change in rates at TIW in 2014.
      - Hangars at Thun Field are at 100% occupancy, but are so dilapidated that we cannot charge more. May add 10 more hangars.

- b. Control Tower Closure Update:**
  - Will remain open through September 30<sup>th</sup>. After that, dependent on the federal budget.
  - Deb e-mailed an *Airport Business Magazine* article to all commission members regarding contract towers and sequestration.
- c. Staff Introduction:**
  - Bruce Thun and Bill Boughter retired in June.
  - Deb introduced Lissa Smith, Operations and Maintenance Lead at Thun Field.
  - Don Woodcock will be leaving this fall to move to Washington D.C. Will be hiring a Maintenance Technician.
- d. Commission Advance Scheduling:**
  - Discussed preference for a four-hour retreat either on a Saturday or an evening in October.
  - Retreat goals are to: look at the airport's branding, grass runway, museum, and change the way we market.
  - The Commissioners felt these goals are covered during regular meetings, and a special meeting/retreat may not be necessary.
  - Staff will develop an agenda of what topics could be covered for a special meeting for discussion at the September TNAAC meeting.
- **Jay Simons**
  - a. Operations and Maintenance Report:**
    - Lissa is Maintenance & Operations Lead; also have two extra hires.
    - Wings and Wheels event preparation was excellent. Staff was able to remove weeds, mow grass and get everything needed done.
    - 1302 building has new locks and keys with private access to each office.
- **Warren Hendrickson**
  - a. TIW Master Plan Update:**
    - Two of five meetings held.
    - Eight people attended open house.
    - Next meeting is tentatively on September 4 to discuss alternatives.
    - No feedback received yet through the Airport and Ferry website.
  - b. Runway Rehabilitation Project Update:**
    - Runway opens on June 16. Lost 16 days due to weather.
    - Two sections of pavement needed to be removed and replaced.
    - Certification for runway 17/35.
    - Certification for runway identifier lights.
    - Unable to recycle the runway lights; donated some to an airport near the Columbia River. They picked up at TIW.
  - c. Saturn Hangar Update:** work starts July 16.
  - d. Compass Rose update:**
    - Issued Notice to Proceed for survey and engineering services.
    - Installation date: August 24 - 25.

**MOTIONS FROM COMMISSION:**

- **Brad Pattison motioned:**  
*That the TNAAC be empowered to set the rates for the airport based on market conditions, subject to County Council review. (No second motion).*  
After discussion, the motion was withdrawn.
- **Dennis Cunneen motioned:**  
*That the TNAAC should work with the Airport and Ferry Administrator in setting rates prior to those rates being submitted to the County Council as part of the budget process.*  
Brad: seconded motion  
Motion passed unanimously

**VII. COMMISSION REPORTS**

- a. **Friends of Tacoma Narrows Airport (FOTNA) Project:**
  - Website is now live at [www.fotna.com](http://www.fotna.com). Pierce County will link to this site.
  - TIW Calendar: “Above the Narrows” calendar being developed. Seeking sponsors for each month (\$200 per month). Will be a professional product.
- b. **Other Items of Interest:** None

**VIII. NEW BUSINESS**

- a. **Airport Design and Branding:** covered earlier in the meeting.
- b. **Restaurant update:**
  - PALS permitting in process.
  - Planning an opening date of mid-to-late August.
- c. **U.S. Open:**
  - Budgeted improvements for apron, additional parking. Executive Terminal building will be repaved. New look to Tacoma Narrows Flight Center.
- d. **Dedicated wash racks:** waiting for additional guidance from state.
- e. **Other Items of Interest:** none

**IX. CONFIRMATION OF ACTION ITEMS**

- a. Put a link on Pierce County’s website to FOTNA’s webpage ([www.fotna.com](http://www.fotna.com))
- b. Send a copy of hangar lease rate comparison spreadsheet to all TNAAC members.

**X. MEETING ADJOURNED AT 8:07 P.M.**

Motion to Adjourn: Bob Felker  
Seconded by: Brad Pattison  
Approved unanimously

**NEXT MEETING:**

Date: Thursday, September 26, 2013  
Time: 6:30 – 8:30 p.m.  
Location: Goodman Middle School  
Commons Area  
3701 38th Ave NW  
Gig Harbor, WA 98335

**CITY OF GIG HARBOR  
COMMITTEE OUTLINE MINUTES**

Parks Commission

Date: September 4, 2013 Time: 5:30 p.m. Location: Community Rooms A/B Scribe: Terri Reed

**Commission Members and Staff Present:** Commissioners Rahna Lovrovich (Chair), Nick Tarabochia, Stephanie Payne and Kyle Rohrbaugh; Staff Members: Public Works Director Jeff Langhelm, Senior Planner Lindsey Sehmel, Senior Engineer Trent Ward, Associate Planner Dennis Troy and Community Development Assistant Terri Reed.

**Others Present:** \_\_\_\_\_

Topic / Agenda Item	Main Points Discussed	Recommendation/Action Follow-up (if needed)
<b>APPROVAL OF MINUTES:</b>	<p>Approval of August 7, 2013 Meeting Minutes</p> <p>Commission member Payne asked for an addition to the minutes:</p> <ol style="list-style-type: none"> <li>1. Add: It was discussed that any approved structures on City property would be City-owned.</li> </ol>	<p>MOTION: Move to approve August 7, 2013 minutes as presented.</p> <p>AMENDED MOTION: Move to approve August 7, 2013 minutes, with amended change.</p> <p>Lovrovich / Tarabochia – unanimously approved</p>
<b>OLD BUSINESS:</b> <b>Ancich Waterfront Park - Visioning</b>	<p>Senior Planner Lindsey Sehmel provided the Parks Commission members with a worksheet for discussion of the stakeholder priorities as far as location recommendations. The Parks Commission concurred that the commercial activity should be kept on the net shed side of the property and that the human-powered elements should be on the opposite side of the park. The dingy moorage was recommended for the human-powered side. Income producing uses would be at market rate. Human-powered craft storage and lockers were identified as a community high priority and needed for general public use. Public Works Director Langhelm asked about consideration for putting the human-powered craft storage on the pier. The Commission would like to consider it on the pier, but if</p>	

**Topic / Agenda Item**

**Main Points Discussed**

**Recommendation/Action Follow-up (if needed)**

	<p>not feasible, then on land.</p> <p>Funding priorities: The next Comp Plan update would be June 2015 to provide for grant opportunities. The highest priority would be given to the net shed.</p> <p>Commission member Tarabochia asked about income-producing opportunities. Commission Chair Lovrovich mentioned that there is a possibility of using the private float for access to the water.</p> <p>Alan Anderson, GH Canoe/Kayak Team, 3225 Shawnee Drive, Gig Harbor, spoke in support of the human-powered craft center and was enthusiastic that it was being discussed. He pointed out that disability access would be important to include in the design process.</p> <p>Terry Lee, PenMet Parks, spoke in favor of the GH Canoe/Kayak Team and human-powered craft vision for the Ancich property. He offered PenMet's assistance in advocating for waterfront access and storage on-site. Mr. Lee also provided his support for the Harbor Hill park property and emphasized the need for parking and encouraged a transit component be considered.</p> <p>Bob Felker, 9309 Crescent Valley, Gig Harbor, spoke in favor of considering providing a storage facility for the GH Canoe/Kayak Team.</p> <p>Next Steps: Formal recommendation for City Council to be adopted at October 2<sup>nd</sup> Parks Commission meeting, with a Public Hearing/Open House on November 6<sup>th</sup> at 4:30pm, with regular Parks Commission meeting beginning at 5:30pm.</p> <p>Park Commission Vice-Chair Rohrbaugh encouraged getting the park some level of functionality as quickly as possible.</p>	
--	--	--





Topic / Agenda Item	Main Points Discussed	Recommendation/Action Follow-up (if needed)
<p><b>PUBLIC COMMENT:</b></p>	<p>Commission member Tarabochia asked that the City's legal department take a look at requiring helmets for skateboards and roller blades, in addition to bicycles.</p>	<p>Public Works Director Langhelm will set up discussion with Police Department and include Commissioner Tarabochia.</p>
<p><b>ADJOURN:</b></p>		<p>MOTION: Move to adjourn at 6:51 p.m.  Lovrovich / Rohrbaugh - unanimously approved</p>



## GIG HARBOR CITY COUNCIL Downtown Waterfront Alliance Worksession MINUTES

**DATE:** Sept. 23, 2013  
**TIME:** 7:13 p.m.  
**LOCATION:** Council Chambers  
**SCRIBE:** Molly Towslee, City Clerk  
**MEMBERS PRESENT:** Mayor Hunter and Councilmembers Ekberg, Young, Guernsey, Perrow, Malich, Payne, and Kadzik.  
**BOARD MEMBERS:** Gary Glein, John Lantz, Nancy Frazier, Peter Stanley, Dave Morris, Mary DesMarais. Councilmember Guernsey and Kadzik also serve.  
**STAFF PRESENT:** Denny Richards and Molly Towslee.

---

### INTRODUCTION

Mayor Hunter opened the worksession and introduced Gary Glein. Mr. Glein explained that the Alliance would like to share what they have accomplished and to obtain input from the city. He introduced Sarah Hansen, the State Coordinator for the Mainstreet Program.

Ms. Hansen gave a brief overview of the Mainstreet program, and complimented Gig Harbor's success and growth, calling it one of their "showcase programs."

Mr. Glein then introduced the members of the Board and presented a PowerPoint slide show that outlined their goals and objectives, their mission, and a summary of their activities and projects.

After the presentation, Mr. Glein offered to answer questions. There was dialogue on the vacancy rates in the downtown area which Mr. Glein characterized as low.

Ms. Hansen once again commented on the phenomenal growth seen by this organization, and gave kudos to their leadership. Mr. Glein said that he is positive that the program will be successful.

Councilmembers thanked Mr. Glein and the Board members for their presentation. There were no further comments; the worksession adjourned at 7:05 p.m.

## PROCLAMATION OF THE MAYOR OF THE CITY OF GIG HARBOR

**Whereas**, domestic violence is a pattern of behavior used by one individual to establish and maintain power and control over another; and

**Whereas**, domestic violence shatters lives, robs children of their innocence, and affects everyone regardless of race, income, or age, in every community of Washington State; and

**Whereas**, domestic violence is not a private family matter but a crime, the consequences of which reach with devastating effect on our community; and

**Whereas**, the Crystal Judson Family Justice Center is funded and operated jointly by Pierce County and the City of Tacoma and features a user-friendly style of service delivery that brings together partners from the community and from government to assist victims of domestic violence; and

**Whereas**, the Crystal Judson Family Justice Center serves all residents throughout Pierce County and beyond with services that are free which include victim advocacy, safety planning, electronic filing for temporary protection orders, criminal and civil legal services, housing, emergency assistance and chaplaincy services to victims of domestic violence; and

**Whereas**, Gig Harbor recognizes that domestic violence is everyone's responsibility, and has seen a steady rise in applications for Protection Orders at the Kiosk rising from 82 in 2010, 83 in 2011, 96 in 2012, up to 65 so far this year; and

**Whereas**, the month of October is recognized across the nation as Domestic Violence Awareness Month;

**NOW, THEREFORE**, I, Charles Hunter, Mayor of the City of Gig Harbor, do proclaim the month of October, as

### **Domestic Violence Awareness Month**

*And invite all citizens of Gig Harbor to join me in this special observance. In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Gig Harbor to be affixed this 14<sup>th</sup> day of October, 2013.*

---

Mayor, City of Gig Harbor

---

Date



Business of the City Council  
City of Gig Harbor, WA

**Subject:**

Resolution adopting an Interlocal Agreement with AWC Employee Benefit Trust for Self-Funded Insurance Coverage.

**Proposed Council Action:**

Adopt the attached resolution adopting an Interlocal Agreement for Self-Funded Insurance Coverage with AWC Employee Benefit Trust.

**Dept. Origin:** Administration

**Prepared by:** Mary Ann McCool,  
HR Analyst

**For Agenda of:** October 14, 2013

**Exhibits:** Resolution

Initial & Date

**Concurred by Mayor:** SMH 10/7/13

**Approved by City Administrator:** R 10/7/13

**Approved as to form by City Atty:** via email 10/2/13

**Approved by Finance Director:** \_\_\_\_\_

**Approved by Department Head:** \_\_\_\_\_

Expenditure	Amount	Appropriation
Required \$1,697,494	Budgeted \$1,700,000	Required \$0

**INFORMATION / BACKGROUND**

The Association of Washington Cities (AWC) Employee Benefit Trust applied for and received approval from the State Risk Manager to become self-funded on August 26, 2013.

Reasons for the Trust's decision to apply for self-insurance:

- Member cost savings, which are realized in a 0% rate increase for 2014.
- For first time WellCity Award winners, a 2% discount on the 2014 base rate, meaning that the 2014 rate will be a 2% savings from the 2013 rate. *(The City is diligently working toward earning this award for 2013.)*

The impacts to the City and the employees will be minimal to none. The benefit plan design and provider networks will remain the same.

RCW 48.62 authorizes local government entities to self-insure for health care benefits and WAC 200-110 sets forth that members of the health care program (pool) must be a signatory to the health care program's Interlocal Agreement, and the Interlocal Agreement must be adopted by the local governing body by resolution.

In order for the Trust to meet the state deadlines, member jurisdictions must provide the adopted resolution and Interlocal Agreement no later than November 15, 2013.

**FISCAL CONSIDERATION**

This expenditure was anticipated in the 2014 Budget.

**RECOMMENDATION / MOTION**

**Move to:** Adopt the attached Resolution adopting an Interlocal Agreement for Self-Funded Insurance Coverage with AWC Employee Benefit Trust.

**RESOLUTION NO. 937**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ADOPTING AN INTERLOCAL AGREEMENT WITH THE ASSOCIATION OF WASHINGTON CITIES FOR THE PURPOSE OF CREATING A JOINT SELF-INSURED HEALTH AND WELFARE BENEFIT PROGRAM TO BE ADMINISTERED BY THE TRUSTEES FOR THE PURPOSE OF PROVIDING SELF-INSURED HEALTH BENEFITS TO BENEFICIARIES.**

---

WHEREAS, the Association of Washington Cities Employee Benefit Trust (the "Trust") is an entity to which contributions by cities and towns and non-city entities organized and existing under the Constitution or laws of the State of Washington and who are members of the Trust ("Participating Cities and Towns," and "Participating Non-City Entities") and their employees can be paid and through which the Board of Trustees of the Trust ("Trustees") provides one or more insured health and welfare benefit plans or programs to Participating Cities and Towns' and Non-City Entities' employees, their dependents and other beneficiaries ("Beneficiaries"), on whose behalf the contributions were paid; and

WHEREAS, the Trust qualifies as a voluntary employee beneficiary association within the meaning of Section 501(c)(9) of the Internal Revenue Code, providing for the payment of life, sick, accident or other benefits to Beneficiaries; and

WHEREAS, the Trust and Participating Cities and Towns and Non-City Entities have determined that it is in the best interest of Participating Cities and Towns and Non-City Entities to jointly self-insure certain health benefit plans and programs for Beneficiaries through a designated account within the Trust, while at the same time having the Trust continue as the entity to which other insured health and welfare benefit program contributions are paid and through which insured health and welfare benefit plans and programs are provided to Beneficiaries; and

WHEREAS, it appears economically feasible and practical for the parties to do so; and

WHEREAS, Chapter 48.62 RCW provides that two or more local government entities may, by Interlocal agreement under chapter 39.34 RCW, jointly self-insure health benefit plans and programs, and/or jointly hire risk management services for such plans or programs by any one or more of certain specified methods; and

WHEREAS, the Association of Washington Cities Employee Benefit Trust Interlocal Agreement (the "Interlocal Agreement") attached hereto creates a joint self-insured health and welfare benefit program (the "Health Care Program") to be

administered by the Trustees for the purposes of providing self-insured health benefits to Beneficiaries; and

WHEREAS, WAC 200-110-030 requires every local government entity participating in a joint self-insurance health and welfare benefit program to adopt such program by resolution; and

WHEREAS, Chapter 48.62 requires Health Care Program assets to be managed consistent with existing authority over use of municipal funds in RCW 35.39.030. The Trust will manage Health Care Program reserves in compliance with Chapter 48.62 RCW; RCW 35.39.030, and the Health Care Program Investment Policy; and

WHEREAS, all premium contributions for use in the Health Care Program are deposited into a designated account within the Trust, the Health Care Program Account (the "HCP Account"), and the HCP Account represents a pool of funds that is independent of all other Trust or AWC funds; and

WHEREAS, the Trust intends to manage the HCP Account assets in compliance with federal and state laws and the Interlocal Agreement; and

WHEREAS, the City of Gig Harbor believes it is in the best interest of the Health Care Program to allow the Trust to manage the HCP Account;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, HEREBY RESOLVES AS FOLLOWS:

That the Interlocal Agreement creating the Health Care Program is hereby adopted and that by adopting such Agreement, the City of Gig Harbor acknowledges that it shall be subject to assessments as required by the Health Care Program.

RESOLVED this 14th day of October, 2014

APPROVED:

---

MAYOR CHARLES L. HUNTER



ATTEST/AUTHENTICATED:

---

MOLLY TOWSLEE, CITY CLERK

FILED WITH THE CITY CLERK: 10/02/13

PASSED BY THE CITY COUNCIL: 10/14/13

RESOLUTION NO. 937

**ASSOCIATION OF WASHINGTON CITIES EMPLOYEE BENEFIT TRUST  
HEALTH CARE PROGRAM  
INTERLOCAL AGREEMENT**

This Agreement is made and entered into in the State of Washington by and among the Association of Washington Cities Employee Benefit Trust (the "Trust") and cities and towns, and non-city entities organized and existing under the Constitution or laws of the State of Washington and who are members of the Trust ("Participating Cities and Towns," or "Participating Non-City Entities"), all of whom are signatories to this Agreement.

**RECITALS**

WHEREAS, the Trust is an entity to which contributions by Participating Cities and Towns and Non-City Entities (defined below) and Participating Employees (defined below) are paid and through which the Board of Trustees provides one or more insured health and welfare benefit plans or programs to Participating Employees, their covered dependents and other beneficiaries ("Beneficiaries"), on whose behalf the contributions were paid; and

WHEREAS, the Trust qualifies as a voluntary employee beneficiary association within the meaning of Section 501(c)(9) of the Internal Revenue Code ("VEBA"), providing for the payment of life, sick, accident or other benefits to Beneficiaries; and

WHEREAS, the Trust and the Participating Cities and Towns have determined that it is in the best interest of Participating Cities and Towns to jointly self-insure certain health benefit plans and programs for Beneficiaries through a designated account within the Trust, while at the same time having the Trust continue as the entity to which health and welfare benefit plan or program contributions are paid and through which insured health and welfare benefit plans and programs are provided to Beneficiaries; and

WHEREAS, it appears economically feasible and practical for the parties to this Agreement (defined below) to do so; and

WHEREAS, Chapter 48.62 RCW provides that two or more local government entities may, by Interlocal agreement under Chapter 39.34 RCW, jointly self-insure health benefit plans and programs, and/or jointly hire risk management services for such plans or programs by any one or more of certain specified methods; and

WHEREAS, each local government entity that is a signatory hereto, as required by WAC 200-110-030, acts upon the authority of a resolution adopting this Agreement and the Health Care Program (defined below) created herein;

NOW, THEREFORE, for and in consideration of all of the mutual benefits, covenants and agreements contained herein, the parties hereto agree as follows:

## ARTICLE 1

### DEFINITIONS

The following are definitions of terms used in the Agreement. Unless indicated otherwise, other terms are defined where they are first used. Defined terms are capitalized when used in the defined context.

- 1.1 **Agreement** means this Interlocal Agreement entered into under the authority of Chapter 39.34 RCW and as required by RCW 48.62.031(2) between the Trust and Participating Employers.
- 1.2 **Association of Washington Cities** or **AWC** means the Association of Washington Cities, a not-for-profit membership association established pursuant to the laws of the state of Washington for the purpose of providing various services to and on behalf of its member cities.
- 1.3 **Association of Washington Cities Employee Benefit Trust** or the **Trust** means the trust and all property and money held by such entity, including all contract rights and records, established for the sole purpose of providing life, sick accident or other health and welfare benefits to Participating Employees, their covered dependents and other beneficiaries, and which is approved by the Internal Revenue Service as a VEBA.
- 1.4 **Employee Benefits Advisory Committee** or **EBAC** means the committee defined in Article V of the Trust Agreement that may be delegated responsibility by the Board of Trustees, including but not limited to: overseeing the operations of the Health Care Program, analyzing and developing annual premium levels and benefit coverage changes for recommendation to the Board of Trustees and performing other duties necessary to ensure that the needs of Participating Employers are met and the long-term financial health of the Health Care Program is maintained.
- 1.5 **Health Care Program** means the joint self-insurance program offering self-insured health benefit options through the HCP Account.
- 1.6 **HCP Account** means a designated account within the Trust and created by this Agreement, the Trust Agreement and Trust Health Care Program policies all under the authority of Chapter 48.62 RCW to provide self-insured health benefits to Participating Employees, their covered dependents and other beneficiaries and further described in Article 6.
- 1.7 **Non-City Entity** means any public agency, public corporation, intergovernmental agency or political subdivision, within the state of Washington that meets the requirements of Article IX, Section 1(c)(ii) and (iii) of the Trust Agreement for participation in the Health Care Program.
- 1.8 **Participating City** means any city or town within the state of Washington that meets the requirements of Article IX, Section 1(a) or Section 1(b) of the Trust Agreement.

- 1.9 **Participating Employee** means any individual employed by a Participating Employer and for whom the Participating Employer makes contributions to the Trust, and any individual who may have been so employed but is subsequently laid off, terminated, or retired.
- 1.10 **Participating Employer** means a Participating City or Non-City Entity that is also a party to this Agreement.
- 1.11 **Resolution** means the resolution adopted by each Participating City or Non-City Entity that authorizes the Health Care Program.
- 1.12 **State Risk Manager** or **Risk Manager** means the risk manager of the Risk Management Division within the Department of Enterprise Services.
- 1.13 **Stop Loss Insurance** or **Reinsurance** means a promise by an insurance company that it will cover losses of the Health Care Program over and above an agreed-upon individual or aggregated amount, which definition shall be modified by any changes to the definition of stop loss insurance in WAC 200-110-020.
- 1.14 **Third-Party Administrator** means the independent association, agency, entity or enterprise which, through a contractual agreement, provides one or more of the following ongoing services to the Health Care Program: pool management or administration services, claims administration services, risk management services, or services for the design, implementation, or termination of an individual or joint self-insurance program.
- 1.15 **Trust Agreement** means the Trust Agreement Governing the Trust amended and restated July 1, 2013, and any subsequent amendments thereto.
- 1.16 **Trustees** or **Board of Trustees** means the following individuals and their successors, who together, govern the Trust and the Health Care Program:
- 1.16.1 the AWC President and the AWC Vice President;
  - 1.16.2 the EBAC Chair and the EBAC Vice Chair; and
  - 1.16.3 an individual elected pursuant to the procedures in Article III, Section 5 of the Trust Agreement to serve as the trustee from one of the following regions:
    - (a) North East Region (known as the “North East Region Trustee”);
    - (b) North West Region (known as the “North West Region Trustee”);
    - (c) South East Region (known as the “South East Region Trustee”); and
    - (d) South West Region (known as the “South West Region Trustee”).

Individuals from Non-City Entities are not eligible to serve as Trustees.

**ARTICLE 2**

**PURPOSE**

This Agreement is entered into for the purpose of authorizing the Health Care Program created by the Trust to provide self-insured health benefits to Participating Employees, their covered dependents and other beneficiaries. The Health Care Program shall comply with the statutory provisions found in Chapters 48.62 and 39.34 RCW and the regulatory requirements contained in WAC 200-110 applicable to joint self-insurance programs.

**ARTICLE 3**

**PARTIES**

Each party to this Agreement certifies that it intends to participate in the Health Care Program. Participating Employers are signatories of this Agreement to become effective on a date to be mutually determined (the "Effective Date") and with such other Participating Cities and Non-City Entities as may later be added to and become signatories to this Agreement.

**ARTICLE 4**

**DURATION OF AGREEMENT**

- 4.1 This Agreement shall become effective on the Effective Date.
- 4.2 This Agreement shall have perpetual duration unless terminated as hereinafter provided.

**ARTICLE 5**

**MEMBERSHIP COMPOSITION**

The Health Care Program shall be open to Participating Cities and Non-City Entities. Participation in the Health Care Program is voluntary and not a requirement of AWC membership. The Board of Trustees shall provide for the reasonable admission of new Participating Cities and Non-City Entities.

**ARTICLE 6**

**HCP ACCOUNT**

- 6.1 All premium contributions by Participating Employers, Non-City Entities and Participating Employees for use in the Health Care Program are deposited into the HCP Account.
- 6.2 The HCP Account represents a pool of funds that is independent of all other Trust or AWC funds and independent of all other Participating Employer and Non-City Entity funds. The funds deposited into the HCP Account are held, managed and expended only for the Health Care Program and reasonable expenses, consistent with applicable state

and federal statutes and rules governing joint self-insurance programs and self-insurance programs generally.

- 6.3 The HCP Account is subject to audit by the State Auditor's Office.

## **ARTICLE 7**

### **TRUSTEE POWERS RELATED TO HEALTH CARE PROGRAM**

The Board of Trustees is provided with the powers and functions established under RCW 48.62.031 to accomplish the following:

- 7.1 Promote the economical and efficient means by which health benefits coverage is made available to Participating Employers and Non-City Entities and provided to Participating Employees, their covered dependents and other beneficiaries;
- 7.2 Protect the financial integrity of the Health Care Program through purchase of Stop Loss Insurance or Reinsurance in such form and amount as needed;
- 7.3 Contract for or otherwise provide risk management and loss control services;
- 7.4 Contract for or otherwise provide legal counsel for the defense of claims and other legal services;
- 7.5 Consult with the state insurance commissioner and the State Risk Manager;
- 7.6 Obligate the Participating Employers and Non-City Entities to pledge revenues or contribute money to secure the obligations or pay the expenses of the Health Care Program, including the establishment of a reserve or fund for coverage; and
- 7.7 Exercise all other powers and perform all other functions reasonably necessary to carry out the purposes of the Health Care Program, Chapter 48.62 RCW and Chapter 200-110 WAC.

## **ARTICLE 8**

### **ORGANIZATION OF HEALTH CARE PROGRAM**

- 8.1 The operations of the Health Care Program are managed by the Board of Trustees or its delegates. The Trustees or any delegates review and analyze Health Care Program-related matters and make operational decisions regarding premium contributions, reserves, plan options and benefits in compliance with Chapter 48.62 RCW.
- 8.2 The Board of Trustees has decision authority consistent with the Trust Agreement, Health Care Program policies, Chapter 48.62 RCW and Chapter 200-110 WAC.

**ARTICLE 9**

**RESPONSIBILITIES OF THE TRUSTEES**

- 9.1 The Board of Trustees shall discharge its responsibilities under this Agreement as follows:
- 9.1.1 Provide for the efficient management and operation of the Health Care Program;
  - 9.1.2 Provide for health benefit coverage options for Participating Employees, their covered dependents and other beneficiaries;
  - 9.1.3 Determine the level of Stop Loss Insurance or Reinsurance coverage for claims expenses above the amounts deemed appropriate for self-insurance;
  - 9.1.4 Ensure that the Health Care Program meets required state and federal statutes and rules;
  - 9.1.5 Contract with vendors required to meet the responsibilities established by the Trust Agreement, Health Care Program policies, and applicable state and federal statutes and rules;
  - 9.1.6 Maintain the balance between meeting the Health Care Program needs of Participating Employers and the long-term financial integrity of the Health Care Program;
  - 9.1.7 Prepare an annual financial report on the operations of the Health Care Program; and
  - 9.1.8 Provide for other services deemed appropriate by the Board of Trustees to meet the purposes of this Agreement.
- 9.2 The Board of Trustees may delegate the responsibilities described in this Article 9 to the EBAC or other delegates at its complete discretion.

**ARTICLE 10**

**RESPONSIBILITIES OF THE PARTICIPATING EMPLOYERS**

In order to participate in the Health Care Program, Participating Employers shall:

- 10.1 Be a Participating City or Non-City Entity in good standing and comply with the requirements of admission or qualification as established by the Board of Trustees;
- 10.2 Adopt this Agreement by Resolution, agreeing to its terms and provisions;
- 10.3 Submit the Resolution and Agreement to the Trust;

- 10.4 Read the terms, conditions and representations set forth in the application agreement related to participation in the Health Care Program;
- 10.5 Designate an employee of the Participating Employer to be a contact person for all matters relating to the Participating Employer's participation in the Health Care Program;
- 10.6 Pay premiums for the Health Care Program to the Third-Party Administrator no later than the tenth day of the month in which the premium is due;
- 10.7 By formal action of the legislative body of the Participating Employer, approve policies and procedures necessary to secure protected health information ("PHI") in accordance with Chapter 70.02 RCW and the Health Insurance Portability and Accountability Act ("HIPAA") privacy and security rules, codified at 45 C.F.R. Parts 160-164;
- 10.8 Provide the Health Care Program with such information or assistance as is necessary for the Health Care Program to meet its responsibilities under this Agreement; and
- 10.9 Cooperate with and assist the Health Care Program and any insurer of Stop Loss Insurance or Reinsurance, in all matters relating to the administration and operation of the Health Care Program and all matters relating to this Agreement.
- 10.10 Comply with all bylaws, rules, regulations and policies adopted by the Board of Trustees relating to the Health Care Program.

## **ARTICLE 11**

### **RESERVE FUND INVESTMENT**

All reserve fund investments from the HCP Account shall be made in a manner that is consistent with RCW 48.62.111, Chapter 39.59 RCW, WAC 200-110-090 and the Health Care Program Investment Policy.

## **ARTICLE 12**

### **FINANCIAL RECORDS**

- 12.1 The Board of Trustees shall develop estimated revenue and expenditures to establish a budget for each fiscal year covering January 1 through December 31 annually. Actual Health Care Program revenues and expenditures shall be monitored monthly by the Board of Trustees and reported at its quarterly meetings.
- 12.2 The accounting records of the Health Care Program are maintained in accordance with methods prescribed by the State Auditor's office under the authority of Chapter 43.09 RCW. The Health Care Program also follows applicable accounting standards established by the Governmental Accounting Standards Board ("GASB"). Year-end financial reporting is done on an accrual basis and submitted to the Office of the State Auditor as required by Chapter 200-110 WAC. Once reviewed and approved by the



Office of the State Auditor the year-end financial report is transmitted to the Office of the State Risk Manager.

- 12.3 Financial records of the Health Care Program shall be subject to audit by the Office of the State Auditor. Year-end financial reports and audit results shall be made available to interested parties. The Health Care Program shall provide financial information as required by state statute and rule to the Office of the State Risk Manager.

### ARTICLE 13

#### PARTICIPATING EMPLOYER TERMINATION AND WITHDRAWAL

- 13.1 A Participating Employer must remain in good standing with the Trust and adhere to the requirements of this Agreement. In the event that a Participating Employer fails to be a Participating City or Non-City Entity in good standing, participation in the Health Care Program shall automatically terminate without notice as shall all health and welfare benefits provided through the Health Care Program.
- 13.2 The Board of Trustees may take action to terminate membership or deny membership in the Health Care Program where it determines that such termination or denial is in the best interest of the Health Care Program
- 13.3 When a Participating Employer's eligibility in the Health Care Program is affected due to merger or annexation, the affected Participating Employer may petition the Board of Trustees to remain in the Health Care Program.
- 13.4 A Participating Employer may only withdraw its participation in the Health Care Program at the end of the calendar year and must provide written notice to the Trust at least thirty-one (31) days in advance of the end of the calendar year (December 31st).
- 13.5 In the event of withdrawal or non-renewal, the Health Care Program will cover any of the Participating Employer's remaining outstanding Health Care Program claims expenses incurred prior to the Participating Employer's withdrawal from or non-renewal in the Health Care Program.
- 13.6 No Participating Employer, because of withdrawal or any other reason, has any right or interest in the HCP Account because of its nature as a rate stabilization fund. In the event any Participating Employer withdraws from the Health Care Program, its Participating Employees, their covered dependents and other beneficiaries and any Consolidated Omnibus Budget Reconciliation Act of 1985 as amended (COBRA) participants and contract personnel and dependents approved by the Board of Trustees, shall forfeit all right and interest to the HCP Account.

**ARTICLE 14**

**TERMINATION OF HEALTH CARE PROGRAM**

- 14.1 In the event the Health Care Program is terminated, the Board of Trustees shall distribute the remaining funds in the HCP Account to the Trust or any successor association authorized by Chapter 39.34 RCW for like purposes for use in any program with similar purposes.
- 14.2 Upon termination, this Agreement and the HCP Account shall continue for the purpose of paying remaining outstanding claims and expenses and fulfilling all other functions necessary to complete the business of the Health Care Program.

**ARTICLE 15**

**MEETINGS, NOTICES AND COMMUNICATIONS**

- 15.1 The Board of Trustees and the EBAC, if any responsibilities for Trust management have been delegated thereto, shall provide notice of their regular and special meetings and hold their meetings in accordance with Chapter 42.30, RCW Open Public Meetings Act.
- 15.2 Communications with Participating Employers may occur using mail, email or posting on the Health Care Program website. The website shall be partitioned to provide information for the general public and information specific to Participating Employers and their employees.
- 15.3 Communications may come directly from the Health Care Program, through the Third-Party Administrator or through another vendor on behalf of the Health Care Program.

**ARTICLE 16**

**AMENDMENTS TO INTERLOCAL AGREEMENT**

- 16.1 The Board of Trustees shall review and analyze any proposed amendment to this Agreement. An amendment may be proposed for review by any party to this Agreement.
- 16.2 The Board of Trustees upon its discretion may take action by resolution on any amendment at any regular meeting of the Board of Trustees.

**ARTICLE 17**

**PROHIBITION ON ASSIGNMENT**

- 17.1 No Participating Employer may assign any right or claim of interest it may have under this Agreement.

- 17.2 No creditor, assignee or third-party beneficiary of any employer shall have the right, claim or title to any party, share, interest, premium or asset of the Trust, HCP Account or the Health Care Program.

## **ARTICLE 18**

### **HEALTH CLAIM DISPUTES AND APPEALS**

In the event that a dispute arises over a health claim, the procedures, adjudication requirements and administrative remedies shall be found in the Health Care Program's plan document applicable to the Health Care Program covering the claimant.

## **ARTICLE 19**

### **PLAN ADMINISTRATION DISPUTES AND APPEALS**

- 19.1 In the event that a dispute arises between a Participating Employer and the Health Care Program, the Participating Employer shall document the circumstances causing the dispute and submit a written request for review of the disputed circumstances to the Board of Trustees. Upon review of such information, the Board of Trustees shall attempt to resolve the dispute.
- 19.2 If the Board of Trustees' resolution to the dispute is deemed unsatisfactory, then alternative dispute resolution through mediation or binding arbitration may be necessary.

## **ARTICLE 20**

### **ENFORCEMENT OF TERMS OF AGREEMENT**

- 20.1 The Board of Trustees may enforce the terms of this Agreement.
- 20.2 In the event legal action is initiated to enforce any term or provision of this Agreement against any present or previous Participating Employer, the prevailing party shall receive such reimbursement of costs as the court deems reasonable for attorneys' fees and costs related to the relevant legal action.

## **ARTICLE 21**

### **DEFAULT**

- 21.1 If any Participating Employer fails to perform any term or condition of this Agreement and such failure continues for a period of sixty (60) days after the Board of Trustees has given the Participating Employer written notice describing such failure, the Participating Employer shall be considered in default.
- 21.2 Upon default, the Board of Trustees may immediately cancel the Participating Employer's participation in the Health Care Program without additional notice or exercise some other remedy otherwise provided by law.

- 21.3 The rights and remedies of the Board of Trustees are cumulative in nature and pursuit of any particular remedy shall not be deemed an election of remedies or a waiver of any other remedies available hereunder or otherwise available by law.

## ARTICLE 22

### NO WAIVERS

No waiver or forbearance of a breach of any covenant, term, or condition of this Agreement shall be construed to be a waiver or forbearance of any other or subsequent breach of the same or of any other covenant, term or condition, and the acceptance of any performance hereunder, or the payment of any sum of money after the same has become due or at a time when any other default exists hereunder, shall not constitute a waiver or right to demand payment of all sums owing or a waiver of any other default then or thereafter existing.

## ARTICLE 23

### CONTRACT MANAGEMENT

The Health Care Program shall designate a person to whom the State Risk Manager shall forward legal process served upon the Risk Manager; **The AWC Chief Executive Officer** (designee or successor). **The Health Care Program Director** shall be responsible for and shall be the contact person for all communications regarding the performance of this Agreement.

## ARTICLE 24

### SEVERABILITY

If any provision of this Agreement or any provision of any document incorporated by reference shall be held invalid, such invalidity shall not affect the other provisions of this Agreement which can be given effect without the invalid provision, if such remainder conforms to the requirements of applicable law and the fundamental purpose of this Agreement, and to this end the provisions of this Agreement are declared to be severable.

## ARTICLE 25

### COUNTERPART COPIES

This Agreement may be signed in counterpart or duplicate copies and any signed counterpart or duplicate copy shall be equivalent to a signed original for all purposes.

**ARTICLE 26**

**HEADINGS**

The Article and Section headings in this Agreement are inserted for convenience only and are not intended to be used in the interpretation of the contents of the Articles and Sections they introduce.

**ARTICLE 27**

**AGREEMENT COMPLETE**

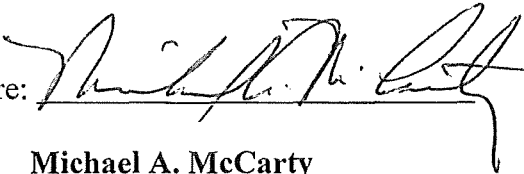
This Agreement and the documents referenced herein contains all the terms and conditions agreed to by the parties. No other understandings, oral or otherwise, regarding the subject matter of this Agreement shall be deemed to exist or to bind the parties hereto.

**[Signature page follows]**

IN WITNESS WHEREOF, the undersigned parties have executed this Agreement.

**Association of Washington Cities**  
**Employee Benefit Trust**

**Participating Employer**

Signature: 

Name: **Michael A. McCarty**

Title: Chief Executive Officer

Date: August 30, 2013

Signature: \_\_\_\_\_

Name (print): \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

Effective Date: January 1, 2014



Business of the City Council  
City of Gig Harbor, WA

**Subject: Memorandum of Agreement with Pierce County for Commute Trip Reduction Administration.**

**Proposed Council Action:**

Motion to adopt the Interlocal Agreement with Pierce County to administer the city's Commute Trip Reduction Plan.

**Dept. Origin:** Administration

**Prepared by:** Mary Ann McCool

**For Agenda of:** October 14, 2013

**Exhibits:** Memorandum of Agreement

	Initial & Date
<b>Concurred by Mayor:</b>	<u>CLH 10/8/13</u>
<b>Approved by City Administrator:</b>	<u>2 10/8/13</u>
<b>Approved as to form by City Atty:</b>	<u>via email 10/7/13.</u>
<b>Approved by Finance Director:</b>	<u>10/9/13 mam</u>
<b>Approved by Department Head:</b>	_____

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
----------------------	-----	-----------------	-----	------------------------	-----

**INFORMATION / BACKGROUND**

In November 2011, Council authorized a two-year Interlocal Agreement with Pierce County to administer the Commute Trip Reduction (CTR) Plan, required under Chapter 70.94 RCW.

This program requires a plan for both St. Anthony and City Employees involving coordination with St. Anthony Hospital, Pierce County, and Pierce Transit for the transit section of the plan.

Due to the staff time involved in administering the program, Council agreed to the agreement for Pierce County to administer the program in exchange for the city's share of state funds (\$3,580 over a two-year period).

In exchange for these funds, Pierce County will perform several activities that are outlined in Attachment B of the Interlocal. Just a few of these services include:

1. Submit a detailed administrative work plan to WSDOT;
2. Identify deliverables, schedule and budget specific to any tasks associated with the agreement;
3. Notification of Requirements for Newly Affected Worksites;
4. Review of Employer Program Reports;
5. Administration of Surveys;
6. Review of Program Exemption Requests.

The work plan also includes other tasks that are defined in approved and locally adopted CTR plans for the implementation of the local CTR program. These may include, but are not limited to, employer training, incentives, promotion and marketing, and emergency ride home. In addition, the work plan shall identify specific or overall performance measures for each task and deliverable.

The cities of Lakewood, Puyallup and University Place all contract with Pierce County. Fife contracts with Tacoma to administer their program.

**BOARD OR COMMITTEE RECOMMENDATION**

N/A

**RECOMMENDATION / MOTION**

**Move to:** Adopt the Memorandum of Agreement with Pierce County to administer the city's Commute Trip Reduction Plan.



**MEMORANDUM OF AGREEMENT  
BETWEEN PIERCE COUNTY AND THE CITY OF GIG HARBOR  
REGARDING  
TRANSPORTATION DEMAND MANAGEMENT**

**THIS MEMORANDUM OF AGREEMENT** is entered into this day by and between **PIERCE COUNTY**, a political subdivision of the State of Washington (herein referred to as "COUNTY") and **the CITY OF GIG HARBOR**, a municipal corporation of the State of Washington (herein referred to as "CITY").

**WITNESSETH**

WHEREAS, RCW 70.94.527, (Commute Trip Reduction Efficiency Act "ACT") requires counties containing urban growth areas and cities and towns with "major employers," that are located within urban growth areas with a state highway segment exceeding the threshold of one hundred person hours of delay or jurisdictions that are located in contiguous urban growth areas, or are within an urban growth area with a population greater than seventy thousand people that adopted an ordinance before the year 2000 or jurisdictions that are located in contiguous urban growth areas, or contain a major employment installation in an affected county to develop ordinances, plans and programs to reduce Vehicle Miles Traveled (VMT) and drive alone commute trips, and thereby reduce vehicle-related air pollution, traffic congestion and energy use, and

WHEREAS, RCW 70.94.541 (2) provides for technical assistance to counties, cities, and towns in developing and implementing Commute Trip Reduction ("CTR") plans and programs, and

WHEREAS, RCW 70.94.521 through RCW 70.94.555 establishes the State's leadership role, and the requirements and parameters to reduce traffic congestion, fuel use, and air pollution through the Commute Trip Reduction programs, including the Growth and Transportation Efficiency Centers in Washington State; and

WHEREAS, RCW 47.06.050 requires that when planning capacity and operational improvements, the State's first priority is to assess strategies to enhance the operational efficiency of the existing system, and states that strategies to enhance the operational efficiencies include, but are not limited to, access management, transportation system management, and demand management ("Strategies"); and

WHEREAS, RCW 47.01.078 directs the State to develop strategies to reduce the per capita vehicle miles traveled, to consider efficiency tools including commute trip reduction and other demand management tools, and to promote the integration of

multimodal planning in support of the transportation system policy goals described in RCW 47.04.280; and

WHEREAS, the Legislature has directed the State to increase the integration of public transportation and the highway system, to facilitate coordination of transit services and planning, and to maximize opportunities to use public transportation to improve the efficiency of transportation corridors (RCW 47.01.330); and

WHEREAS, RCW 47.80.010 encourages the State and local jurisdictions to identify opportunities for cooperation to achieve statewide and local transportation goals; and

WHEREAS, the State of Washington in its Sessions Laws of 2013, chapter 306, Section 220(6), (7) and (8), authorizes funding for Public Transportation and Commute Trip Reduction programs and other special proviso funding through the multi-modal transportation account as identified in the budget through its 2013-2015 biennial appropriations to WSDOT; and

WHEREAS, the COUNTY and CITY have agreed upon a Statement of Work for the City as set forth in "Attachment B," attached hereto and incorporated herein by this reference; and

WHEREAS, the COUNTY and CITY have agreed that the COUNTY should perform certain tasks outlined in the City Statement of Work.

NOW, THEREFORE, in consideration of covenants, conditions, performances, and promises hereinafter contained, the parties hereto agree as follows:

#### **SECTION 1.0 PURPOSE**

The purposes of this AGREEMENT are: (1) to allocate to the CITY its proportionate share of State funds for implementing and administering a CTR plan, (2) to continue a cooperative approach among the CITY, the COUNTY, Pierce Transit and other jurisdictions in Pierce County required to plan and administer programs under the ACT in order to address interjurisdictional issues and to meet the statutory requirements of coordination and consistency among the jurisdictions' respective CTR plans, and (3) transfer to the COUNTY the CITY'S responsibilities as defined in Attachment B, Statement of Work for the City, except for Section 2. A., "Work to be Performed."

#### **SECTION 2.0 FUNDING**

The sole funding source for this AGREEMENT is funds obtained by Pierce County from WSDOT. Distribution of WSDOT funds to the CITY shall be based on the methodology set forth in "Attachment A," Fund Allocation Methodology for Washington State Department of Transportation Commute Trip Reduction Funds, attached hereto and

incorporated herein by this reference. Funding under this AGREEMENT is dependent upon the COUNTY'S receipt of funds from WSDOT in accordance with the provisions of Agreement Number GCB1567.

**SECTION 3.0 SERVICE PROVISIONS**

The funds provided to the CITY under this AGREEMENT shall be used solely for the activities described in Attachment B, "Statement of Work for the City," which, by this reference, is made a part of this AGREEMENT.

**SECTION 4.0 AGREEMENT PERIOD**

Regardless of the execution date, the effective date of this AGREEMENT shall be July 1, 2013. The expiration date shall be June 30, 2015.

**SECTION 5.0 REIMBURSEMENT PROVISION**

Payment requests by the CITY must be made before July 8, 2015 or within eight (8) days of the termination of this AGREEMENT, whichever occurs sooner. Untimely payment requests need not be honored by the COUNTY.

All invoices and warrants shall be based on and paid on eligible work performed and eligible costs incurred up to the Agreement amount. Upon the COUNTY'S receipt of funds from WSDOT, the COUNTY will remit a warrant for payment of these funds to the CITY by using the methodology set forth in Attachment A.

The COUNTY will retain all of the CITY'S funds as set forth in Attachment A. In exchange, the COUNTY in cooperation with Pierce Transit shall complete the CITY'S responsibilities as defined in Attachment B, "Statement of Work for the City (except for 2.A.)," hereto attached shall be performed by the COUNTY for all affected employer worksites doing business in the CITY.

**SECTION 6.0 PLAN/PROGRAM FOR CITY EMPLOYEES**

The COUNTY shall not be responsible for providing, assisting in the development of, record keeping, or otherwise participating in the CITY'S Commute Trip Reduction Program or Plan for its own employees.

**SECTION 7.0 PROJECT RECORDS**

The CITY agrees to establish and maintain for the project either a separate set of accounts or accounts within the framework of an established accounting system, in order to sufficiently and properly reflect all eligible direct and related indirect project costs claimed to have been incurred in the performance of this AGREEMENT. Such accounts are referred to herein collectively as the "Project Account." All costs claimed against the Project Account must be supported by properly executed payrolls, time

records, invoices, contracts, and payment vouchers evidencing in sufficient detail the nature and propriety of the costs claimed.

#### **SECTION 8.0 PROGRESS REPORTS**

The CITY shall submit to the COUNTY quarterly progress reports so that the COUNTY and WSDOT may adequately and accurately assess the progress made under the terms of this AGREEMENT. The progress reports shall be prepared as prescribed by WSDOT on the forms provided in Attachment C, "Project Progress Report" and/or as provided and modified by WSDOT staff. The CITY shall provide a final progress report, as prescribed in Attachment D, "Final Project Progress Report" and/or as provided and modified by WSDOT staff. Project Progress Reports for the first seven (7) quarters are to be submitted to the COUNTY no later than thirty-five (35) days from the end of each calendar quarter. The Final Project Progress Report for the eighth quarter is due to the COUNTY no later than July 8, 2015 or eight (8) days past termination of the contract, whichever is applicable.

#### **SECTION 9.0 AUDITS, INSPECTIONS AND RECORDS RETENTION**

- a) The CITY shall cooperate with and freely participate in any monitoring or evaluation activities conducted by WSDOT that are pertinent to the intent of this AGREEMENT.
- b) WSDOT, State Auditor, and any of their representatives shall have full access to and the right to examine during normal business hours and as often as they deem necessary, all the CITY'S records with respect to all matters covered in this AGREEMENT. Such representatives shall be permitted to audit, examine, and make excerpts or transcripts from such records and audits of all contracts, invoices, materials, payrolls, and other matters covered by this AGREEMENT. In order to facilitate any audits and inspections, all documents, papers, accounting records, and other materials pertaining to this AGREEMENT shall be retained by the CITY for six (6) years from the date of completion of the project or the project final payment date; or, in case of litigation, the CITY must retain all records until litigation is completed. The CITY shall be responsible to assure that it, WSDOT, the State Auditor, and any of their representatives, retain comparable audit rights with respect to subcontractors to the CITY within the scope of this Agreement.

#### **SECTION 10.0 STATEMENT OF WORK**

The CITY shall complete the tasks set forth in "Attachment B," Statement of Work for the City, attached hereto and incorporated herein by this reference.

#### **SECTION 11.0 SUBCONTRACTING**

As allowed under RCW 70.94.521-551, the CITY may elect to enter into a contract with a third party as a means of meeting the requirements of ACT. A separate

agreement/contract shall be adopted by affected parties. This action does not release the jurisdiction from meeting requirements of RCW 70.94.521-551.

Any subcontract entered into must identify the work being provided by the subcontractor and must contain an agreement to comply with all of the conditions and requirements associated with RCW 70.94.521-551. Each subcontract must also include a statement of indemnification that indemnifies Washington State, WSDOT, and the COUNTY.

Any party to this AGREEMENT may enter into agreements through the interlocal cooperation act or by resolution or ordinance, as appropriate, with other jurisdictions, local transit agencies, or regional transportation-planning organizations to coordinate the development and implementation of CTR plans. Parties entering into such agreements must provide notice to the COUNTY.

#### **SECTION 12.0 COMPLIANCE WITH LAWS AND REGULATIONS**

In carrying out the terms of this agreement, the CITY agrees to abide by all applicable state and federal laws and regulations, including but not limited to those concerning employment, equal opportunity employment, nondiscrimination assurances, project record keeping necessary to evidence agreement compliance, and retention of all such records. In carrying out the terms of this agreement, the CITY will adhere to all of the nondiscrimination provisions in Chapter 49.60 RCW and will also comply with the Americans with Disabilities Act, Public Law 101-336, which provides comprehensive civil rights protections to individuals with disabilities in the areas of employment public accommodations, state and local government services and telecommunication. In carrying out the terms of this agreement, the CITY will adhere to RCW 73.16.010 which provides employment preference in every public department and upon all public works of the state for certain veterans.

#### **SECTION 13.0 AGREEMENT MODIFICATIONS**

Either party may request changes to this agreement, including changes in the Statement of Work. Such changes which are mutually agreed upon shall be incorporated as written amendments to the AGREEMENT. No variation or alteration of the terms of this AGREEMENT shall be valid unless made in writing and signed by authorized representatives of the parties hereto.

#### **SECTION 14.0 TERMINATION OF AGREEMENT**

This AGREEMENT may be terminated immediately upon provision of written notice by one party in the event the other fails to perform its obligations as described in this AGREEMENT.

Any party may also terminate this AGREEMENT for convenience and without cause by providing the other party with written notice not less than the sixty (60) days in advance.

This AGREEMENT may be terminated upon provision of written notice not less than (14) fourteen days prior to the effective date of termination, if the requisite state funding is reduced or becomes unavailable through failure of appropriation or otherwise.

This AGREEMENT may be terminated immediately upon provision of written notice should WSDOT determine that the continuation of the project would not produce beneficial results commensurate with the further expenditure of funds.

If this AGREEMENT is terminated prior to fulfillment of the terms stated herein, the CITY shall be reimbursed only for actual and eligible expenses incurred under this AGREEMENT prior to the date of termination and only to the extent of appropriated funds available at the time of termination.

#### **SECTION 15.0 SPECIAL PROVISION**

The COUNTY'S or CITY'S failure to insist upon the strict performance of any provision of this AGREEMENT, or to exercise any right based upon breach thereof, or the acceptance of any performance during such breach, shall not constitute a waiver of any right under this AGREEMENT.

#### **SECTION 16.0 DEFENSE AND INDEMNITY**

The CITY agrees to defend, indemnify and save harmless the County, its appointed and elected officers and employees, from and against all loss or expense, including but not limited to judgments, settlements, attorney's fees and costs by reason of any and all claims and demands upon the County, its elected or appointed officials or employees for damages because of personal or bodily injury, including death at any time resulting there from, sustained by any person or persons and for damages to property including loss of use thereof, whether such injury to persons or damage to property is due to the negligence of the CITY, his/her Subcontractors, its successor or assigns, or its or their agent, servants, or employees, the County, its appointed or elected officers, employees or their agents, except only such injury or damage as shall have been occasioned by the sole negligence of the County, its appointed or elected officials or employees.

The preceding paragraph is valid and enforceable only to the extent of the CITY's negligence where the damages arise out of services or work in connection with or collateral to, a contract or agreement relative to construction, alteration, repair, addition to, subtraction from, improvement to, or maintenance of, any building, highway, road, railroad, excavation, or other structure, project, development, or improvement attached to real estate, including moving and demolition in connection therewith, a contract or agreement for architectural, landscape architectural,

engineering, or land surveying services, or a motor carrier transportation contract and where the damages are caused by or result from the concurrent negligence of (i) the County or its agents or employees, and (ii) the CITY or the CITY's agents or employees

With respect to the performance of this Agreement and as to claims against the County, its officers, agents and employees, the CITY expressly waives its immunity under Title 51 of the Revised Code of Washington, the Industrial Insurance Act, for injuries to its employees and agrees that the obligations to indemnify, defend and hold harmless provided in this Agreement extend to any claim brought by or on behalf of any employee of the CITY. This waiver is mutually negotiated by the parties to this Agreement.

#### **SECTION 17.0 GOVERNING LAW AND VENUE**

This AGREEMENT shall be construed and enforced in accordance with and the validity and performance thereof shall be governed by the laws of the State of Washington. Venue of any suit between the parties arising out of this AGREEMENT shall be the Superior Court of Pierce County, Washington.

#### **SECTION 18.0 SEVERABILITY**

In the event that any term or condition of this AGREEMENT or application thereof to any person or circumstances is held invalid, such invalidity shall not affect other terms or conditions of this AGREEMENT which can be given effect without the invalid term or condition. To this end the terms and conditions of this AGREEMENT are declared severable.

#### **SECTION 19.0 RECAPTURE PROVISION**

In the event WSDOT determines that the CITY fails to expend State funds in accordance with state law and/or the provisions of this AGREEMENT, WSDOT reserves the right to recapture state funds in an amount equivalent to the extent of noncompliance. The COUNTY reserves the right to withhold further reimbursements to the CITY until WSDOT notifies the COUNTY that reimbursements may be resumed.

Such right of recapture shall exist for a period not to exceed three (3) years following the termination of this AGREEMENT. Repayment by the CITY of State funds under this provision shall occur within thirty (30) days of demand.

#### **SECTION 20.0 ADDITION OF PARTIES OR CHANGE IN STATUS**

In the event a jurisdiction becomes affected by RCW 70.94.521-551, the COUNTY will assist the jurisdiction in the development of their CTR ordinance and plan until state funds can be reassessed on the quarterly schedule. The CITY is a party to this AGREEMENT, and if it finds it is no longer required to implement a CTR Plan, it may continue to be a party to this AGREEMENT for purposes of participating in the Technical Work Group for information

sharing but shall not receive state funds effective with the quarter following the change in status.

IN WITNESS WHEREOF, the parties have executed this AGREEMENT as of the date and year written above.

**PIERCE COUNTY**

**CITY OF GIG HARBOR**

\_\_\_\_\_  
BRIAN J. ZIEGLER  
Public Works and Utilities Director

\_\_\_\_\_  
CHUCK HUNTER  
Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

APPROVED AS TO FORM:

\_\_\_\_\_  
Deputy Prosecuting Attorney

\_\_\_\_\_  
City Attorney

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

\_\_\_\_\_  
Budget and Finance

\_\_\_\_\_  
Date



Attachment A

**FUND ALLOCATION METHODOLOGY FOR  
WASHINGTON STATE DEPARTMENT OF TRANSPORTATION  
COMMUTE TRIP REDUCTION (CTR) FUNDS**

Funding allocated by WSDOT for local implementation of CTR activities is based on the following formula:

1. Fifty percent of the WSDOT allocation to Pierce County shall be allocated to Pierce Transit.
2. The remaining state funding for local CTR implementation will be allocated to the affected jurisdictions based on the number of affected worksites in each jurisdiction.
3. At the end of the final quarter any unclaimed state funds shall be allocated to the entities which have reported expenses beyond their allocations. The allocation of unclaimed amounts shall follow steps 1 and 2 as stated above. Unclaimed state funds and over expenditures will be determined by the amounts reported in the final progress report.

**July 1, 2013 – June 30, 2015 Allocation  
Based on numbers as of April 15, 2013**

	Number of Worksites	Total Allocation
Pierce Transit	n/a	\$64,437
Pierce County	10	\$17,898
City of DuPont	3	\$5,370
City of Fife	3	\$5,370
City of Gig Harbor	2	\$3,580
City of Lakewood	8	\$14,319
City of Puyallup	5	\$8,949
City of Sumner	3	\$5,370
City of University Place	2	\$3,580
<b>TOTAL</b>	<b>36</b>	<b>\$128,873</b>

## ATTACHMENT B

### STATEMENT OF WORK FOR THE CITY

#### CITY Statement of Work

The CITY shall perform the following tasks:

#### 1. Administrative Work Plan

The CITY agrees to submit to WSDOT an administrative work plan by the end of the first quarter of this agreement or when the CITY submits its first invoice, whichever is sooner.

- A. The work plan shall identify the deliverables, schedule, expected outcomes, performance measures and the budget specific to strategies associated with this AGREEMENT and other strategies as defined in approved and locally adopted CTR or GTEC plans. These may include, but are not limited to, recruiting new employer worksites, reviewing employer programs, administering surveys, reviewing program exemption requests, providing employer training, providing incentives, performing promotion and marketing, and providing emergency ride home and other commuter services.
- B. The administrative work plan budget shall identify how the CITY will use the state funds provided in this AGREEMENT for each task. The work plan shall also provide an estimate of the other financial resources not provided in this AGREEMENT will be used to complete each task.
- C. The administrative work plan must be approved in writing by the WSDOT Project Manager and signed by the CITY, and shall be incorporated as a written amendment to the AGREEMENT. The work plan may be amended based on mutual written agreement between the WSDOT Project Manager and the CITY.

#### 2. Work to be Performed

- A. The CITY has enacted or will enact a Commute Trip Reduction (CTR) ordinance in compliance with RCW 70.94.521-.555.
- B. The CITY agrees to implement a CTR program based on the approved administrative work plan and the draft or adopted local CTR plan and to comply with all provisions of the CITY ordinance.

#### 3. Use of State Funds for Incentives

The CITY agrees to use State funds provided as part of this AGREEMENT in accordance with incentives guidance to be provided by WSDOT.

**4. Implementation Plans**

The CITY shall incorporate appropriate sections of the Project Scope of Work and Incentives Guidance, as well as the approved Work Plan, in all agreements with eligible contracting partner(s), as necessary, to coordinate the development, implementation, and administration of the CTR plans, and compliance with applicable ordinances.

**5. Appeals, Exemptions, and Modifications**

The CITY shall maintain an appeals process consistent with this AGREEMENT and applicable ordinances, and procedures contained in the Commute Trip Reduction Guidelines which may be obtained from WSDOT or found at <http://www.wsdot.wa.gov/transit/ctr/law.htm>.

**6. Survey Coordination**

The CITY agrees to coordinate with WSDOT and its contracting partners for commute trip reduction employer surveys.

**7. Database Updates**

The CITY agrees to provide WSDOT, the COUNTY and Pierce Transit with updated lists of affected or participating worksites, employee transportation coordinators, and jurisdiction contacts, as requested. These updates will be submitted in a format specified by WSDOT.

**8. Planning Data**

The CITY agrees to provide WSDOT with the CTR program goals established for newly affected worksites when they are established by the local jurisdiction. The CITY agrees to provide WSDOT with updated program goals for affected worksites and jurisdictions as requested. These updates shall be submitted electronically in a format specified by WSDOT.

**9. Coordination with Local CTR Efforts**

The CITY agrees to be an active member of the Pierce County TDM/CTR Technical Work Group.

**10. Coordination with Regional Transportation Planning Organization**

The CITY shall coordinate the development and implementation of its CTR plan and programs with the applicable regional transportation planning organization (RTPO). The CITY agrees to notify the RTPO of any substantial changes to its plans and programs that could impact the success of the regional CTR plan. The CITY agrees to provide information about the progress of its CTR plan and programs to the RTPO upon request.

ATTACHMENT C  
Project Progress Report

Commute Trip Reduction (CTR) Quarterly Project Report

<b>Reporting quarter:</b>		<b>Date:</b>	
<b>Organization:</b>		<b>Agreement number:</b>	GCB 1567
<b>Biennial targets</b>	Estimate of drive-alone trips to reduce to meet goal:		
<b>Key deliverables:</b> <i>(from work plan)</i>	•		
<b>Completed activities this quarter</b>			
•			
<b>Planned activities for next quarter</b>			
•			
<b>Describe issues, risks or challenges and resolutions</b>			
•			
<b>Estimated expenditures of state funds for this quarter</b>			
•			

**ATTACHMENT D**  
Final Project Progress Report

**Commute Trip Reduction (CTR) Final Project Report**

<b>Biennium:</b>	2013-2015	<b>Date:</b>	
<b>Organization:</b>		<b>Agreement number:</b>	GCB 1567
<b>Biennial targets</b>	Estimate of drive-alone trips to reduce to meet goal:		
	•		
<b>Deliverables:</b> <i>(from work plan)</i>	•		
<b>Describe your progress on each of your deliverables this biennium.</b>			
•			
<b>Did you meet your targets for this biennium? Why or why not?</b>			
<b>What were your major successes this biennium? How did they help you make progress toward the goals in your jurisdiction's CTR plan(s)?</b>			
•			
<b>What were your major challenges this biennium? How did they hinder your progress toward the goals in your jurisdiction's CTR plan(s)?</b>			
•			
<b>How do you measure the performance of your strategies?</b>			
•			
<b>What did you learn this biennium?</b>			
•			
<b>What would help you be more successful in the future? Please be specific (If it's more resources, how much and what would they be for, etc.).</b>			
•			

For each of the strategies in your administrative work plan, describe your expected outcomes, whether you met those outcomes, and why or why not.

<b>Strategy</b>	<b>Expected outcomes</b>	<b>Performance measures</b>	<b>Outcomes met?</b>	<b>Why or why not?</b>

If your organization used other financial resources besides state CTR funds to implement the activities in your administrative work plan for this agreement, please provide the information below.

Source of local funds	Total spent this agreement	How the funds were used
<b>Total local funds:</b>		

If your organization disbursed any state CTR funds to other organizations to implement the activities in your administrative work plan for this agreement, please list the total amount disbursed for the biennium below.

Organization	Total disbursed this agreement	Purpose of disbursement
<b>Total disbursement:</b>		



**Business of the City Council  
City of Gig Harbor, WA**

**Subject:** Public Hearing and First Reading - Downtown Waterfront Building Size and Height Amendments.

**Proposed Council Action:** Hold public hearing, consider public comments and review ordinance.

**Dept. Origin:** Planning

**Prepared by:** Jennifer Kester, JK  
Planning Director

**For Agenda of:** October 14, 2013

**Exhibit:** Draft Ordinance, Planning Commission Recommendation Packet, Written Public Comments

	Initial & Date
<b>Concurred by Mayor:</b>	CLH 10/9/13
<b>Approved by City Administrator:</b>	IC 10/8/13
<b>Approved as to form by City Atty:</b>	Cmail 10/8/13
<b>Approved by Finance Director:</b>	N/A
<b>Approved by Department Head:</b>	JK 10/8/13

<b>Expenditure Required</b>	\$0	<b>Amount Budgeted</b>	\$0	<b>Appropriation Required</b>	\$0
-----------------------------	-----	------------------------	-----	-------------------------------	-----

**INFORMATION/BACKGROUND**

This summer, the City Council considered a series of Planning Commission proposed amendments regarding building size and height in the downtown and waterfront areas. After a public hearing and three readings of the ordinance, the City Council passed the amendments related to the Downtown Business district (Ord. 1268, Adopted 9/9/13). The Council decided to reconsider the amendments affecting waterfront zones in order to allow for additional public comment. Staff was directed to hold an open house on October 14<sup>th</sup> prior to the City Council meeting and prepare a draft ordinance for consideration at a public hearing and first reading during that Council meeting.

An open house has been noticed and will be occurring prior to the October 14<sup>th</sup> Council meeting from 3:30pm to 5:00pm in the Community Rooms at the Civic Center. The Planning Department set-up a webpage at [www.GigHarborPlanning.com](http://www.GigHarborPlanning.com) to provide information on the amendments and solicit public comments. Graphics from that open house will be shown during the staff report portion of the agenda item.

A draft ordinance is enclosed specific to the waterfront zones which Includes the following amendments that were previously considered:

**Proposed Waterfront Building Size and Height Amendments:** The following amendments would apply to the Waterfront Commercial (WC) zoning district that abuts the DB district (Skansie Brothers Park to the Green Turtle restaurant)

- A. **Additional Interior Gross Floor Area:** For existing buildings, additional gross floor area could be added above the maximum allowed by the zoning district provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications are allowed provided they do not exceed the maximum building height allowed in the underlying zone.
- B. **Remodeling and Rebuilding Nonconforming Buildings:** Nonconforming buildings can be remodeled or torn down and rebuilt to the same or smaller configuration. Non-historic registry eligible buildings must meet the Design Manual requirements. All work on historic registry eligible or registered nonconforming buildings must meet specific Design Manual requirements for historic structures.
- C. **Two-Story Building Allowance:** Increase the maximum building height in the City's downtown area in order to allow flat-roof, two-story buildings in the City's downtown. All buildings would be allowed to be 27 feet high as measured from the building footprint at the uphill and downhill facades.

**Proposed Waterfront Residential Amendments:** The following amendment would apply to residential buildings in all waterfront zones (WR, WM and WC)

- D. For residential buildings in waterfront zones, the 18-foot uphill height limit measurement point would move from the building setback line to the property line abutting the street ROW. In addition the front yard setback would reduce to 6 feet for the porch, 12 feet for the house and 18 feet for the garage.

## **FISCAL CONSIDERATION**

None

## **BOARD OR COMMITTEE RECOMMENDATION**

The Planning Commission began review of these amendments in June of 2012. The Planning Commission participated in the Harbor Vision town hall meetings; conducted a walking tour of downtown; and, held 16 work-study sessions, an open house and three public hearings. The Planning Commission feels these code amendments fit within the existing character of downtown, the existing comprehensive plan policies and existing regulatory framework. Furthermore, the proposed amendments provide additional flexibility to allow for the revitalization of downtown while maintaining its character.

Please see enclosed Planning Commission Recommendation Packet for formal recommendation notices.

## **RECOMMENDATION/MOTION**

Hold public hearing, consider public comments and review ordinance.



ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO ZONING; ALLOWING INTERIOR ONLY GROSS FLOOR AREA ADDITIONS TO EXISTING BUILDINGS ABOVE GROSS FLOOR AREA MAXIMUMS AND ALLOWING NONCONFORMING BUILDINGS TO BE REMODELED OR REBUILT TO THE SAME OR SMALLER ENVELOPE IN THE WATERFRONT COMMERCIAL (WC) DISTRICT ABUTTING DOWNTOWN BUSINESS DISTRICT; REDUCING THE FRONT YARD SETBACKS AND MOVING THE HEIGHT MEASUREMENT POINT TO THE RIGHT-OF-WAY FOR RESIDENTIAL BUILDINGS IN THE WATERFRONT ZONES; ALLOWING BUILDINGS IN THE WATERFRONT COMMERCIAL (WC) DISTRICT ABUTTING DOWNTOWN BUSINESS DISTRICT TO BE 27-FEET HIGH AS MEASURED FROM NATURAL AND FINISHED GRADE AT THE BUILDING FOOTPRINT WITH STEPPED-DOWN ROOFS ON SLOPED LOTS; AMENDING SECTIONS 17.50.040, 17.68.040, 17.99.320 AND 17.99.510 OF THE GIG HARBOR MUNICIPAL CODE; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.**

---

WHEREAS, in March 2012, the City Council directed the Planning Commission to review and identify Codes that inhibit the preservation of character-defining historic buildings in the downtown as part of the downtown preservation and revitalization planning effort; and

WHEREAS, beginning in 2012, the Planning Commission began reviewing potential amendments, conducted a walk tour of downtown Gig Harbor and participated in two town hall meetings focused on the vision for downtown; and

WHEREAS, on December 10<sup>th</sup>, 2012, the City Council adopted Resolution No. 920, The Harbor Vision Statement for the downtown area; and,

WHEREAS, over the course of eleven months, the Planning Commission held 16 work-study sessions and one open house on a series of potential amendments for the downtown including amendments in the DB and waterfront zones; and,

WHEREAS, on December 6, 2012, the Planning Commission held a public hearing on two potential amendments related to downtown building size in the Waterfront Commercial (WC) District; and

WHEREAS, after considering public comment on the proposed downtown building size amendments, the Planning Commission made a formal recommendation on January 17, 2013 to amend downtown building size regulations to allow interior gross floor area additions and allow buildings to be torn down and rebuilt to the existing building envelopes; and

WHEREAS, on March 21, 2013, the Planning Commission held a public hearing on a proposal to increase the building height in the WC district. After considering public testimony, the commission recommended on May 2, 2013 to increase in maximum building height; and

WHEREAS, on April 11, 2013, the Planning Commission held a public hearing on a proposal to decrease the front setbacks and change the height measurement point for residential uses in the waterfront zones. After considering public testimony, the commission recommended approval of such amendments on May 2, 2013; and

WHEREAS, On June 3, 2013, the City Council held a joint meeting with the Planning Commission to review the recommended amendments; and

WHEREAS, at the direction of Council at joint meeting, the Planning Commission recommended additional language be added to require that building permits for remodels or rebuilds of any nonconforming building be submitted within 12 month of removal/damage in order to be consistent with existing requirements for "acts of nature" based rebuilds; and

WHEREAS, on September 9, 2013, the City Council passed Ordinance 1268 approving building size and height amendments for the Downtown Business (DB) District and directed staff to present a separate ordinance for waterfront zones at an open house, public hearing and 1<sup>st</sup> reading on October 14, 2013; and

WHEREAS, the Council finds that the waterfront amendments would aid in preserving the downtown character and scale; and

WHEREAS, the amendments are consistent with the Harbor Vision and the majority of the comments heard at the open house and public hearing for these amendments; and

WHEREAS, the Council finds the building size and building height amendments should be limited to along the waterfront to the Waterfront Commercial (WC) district abutting the DB as that is the generally accepted "downtown waterfront" area and have the highest concentration of existing nonresidential multi-story buildings compared to other waterfront areas; and

WHEREAS, the Council finds that no additional parking should be required for interior additions and remodels/rebuilds allowed by these amendments as requiring additional parking may not be possible given the land constraints downtown and would therefore limit the usefulness of the amendments; and

WHEREAS, the existing regulations for building height allow between 16 and 27 foot high buildings depending on topography and roof type which does not allow the construction of a flat two-story building that meets modern construction techniques and the requirements for ADA access and HVAC systems; and

WHEREAS, there are several existing buildings in the downtown waterfront core which are two or more stories and exceed the existing height limits; and

WHEREAS, two-story buildings that meet the new height limits and the requirements of the Design Manual will provide an appropriate human-scaled architecture for pedestrians on the sidewalk and provide the opportunity for mixed use buildings; and

WHEREAS, after discussions with architects on the Design Review Board and the City's Building Official/Fire Marshal, it was determined that 27 feet was the appropriate height limitation in order to allow two-story flat-roofed buildings using modern construction techniques, providing ADA access and screening HVAC systems on a roof; and

WHEREAS, the current height measurement location for residential buildings on the waterside of Harborview and North Harborview Drive has led to new homes being significantly lower than historic homes as viewed from the street. The current front yard setback provisions do not allow for the retention of the historic residential character of that streetscape; and

WHEREAS, nonresidential buildings along the Harborview and North Harborview frontages must be located within 10 feet of Harborview and North Harborview Drive and the maximum height can be measured at the property line along the right-of-way; and

WHEREAS, the new Shoreline Master Program is expected to require a setback from the ordinary high water mark, the smallest of which is 35 feet, thereby reducing the buildable area of a lot along the water. The proposed decrease in front yard setbacks will help mitigate that impact to the buildable area of the lot; and

WHEREAS, decreasing the front yard setbacks and height measurement point for residential uses in waterfront zones will make the residential requirements more consistent with the nonresidential buildings in the same zones; and

WHEREAS, the proposed text amendments are consistent with the following goals and policies in the Comprehensive Plan:

**GOAL 3.6: ARTICULATE AN ARCHITECTURAL STYLE WHICH REFLECTS GIG HARBOR'S BUILT AND NATURAL ENVIRONMENT AND WHICH APPEALS TO THE HUMAN SPIRIT; and**

**3.6.1. Maintain a small town scale for structures.**

*New structures should not overpower existing structures or visually dominate Gig Harbor's small town city-scape, except as approved landmark structures; and*

**3.6.2. Identify an appropriate form for structures.**

*New structures should be characterized by interesting forms and roof lines. Boxy, single-mass buildings should be discouraged except as may be appropriate in a downtown streetscape; and*

**GOAL 3.7: ENCOURAGE BUILDING DESIGNS WHICH DEFINE AND RESPECT THE HUMAN SCALE.** *The scale of the building in relation to the human form should be obvious, particularly at the sidewalk level; and*

**3.7.2. Encourage mixed-use structures.**

*Mixing uses within a structure enhances the ability to give interesting form and character to a building. For example, allowing residential units above retail shops encourages designs more common to a village or small town setting while providing another housing opportunity for local merchants or retirees with limited transportation; and*

**GOAL 3.15 IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE; and**

**GOAL 3.18 TO PRESERVE THE CHARACTER OF THOSE SITES OR DISTRICTS WHICH REFLECT THE STYLE OF GIG HARBOR'S HISTORICAL DEVELOPMENT; and**

**3.18.2. Develop guidelines which promote compatible development within designated areas.**

*Guidelines should specify building forms, styles, and motifs appropriate for Gig Harbor's historic areas; and*

**3.17.1. Encourage retention and adaptive reuse of older buildings with the following types of incentives:** (a) *Zoning incentives, e.g., setback and height standards which allow for restoration/renovation or expansion of existing structures; and*

**6.2.2. Property revitalization** *Assist with special planning and development efforts to reuse older buildings, redevelop vacant properties, and revitalize older commercial and business districts within the city. Help structure local marketing efforts, physical improvements programs, parking and building improvements and special management organizations.*

WHEREAS, the proposed development regulations amendments were forwarded to the Washington State Department of Commerce on November 20, 2012 and April 26, 2013, pursuant to RCW 36.70A.106; and

WHEREAS, the City's SEPA Responsible Official issued a Determination of Nonsignificance (DNS) for the amendments allowing interior floor area additions and remodels/rebuilds on January 19, 2012; and

WHEREAS, the City's SEPA Responsible Official issued a Determination of Nonsignificance (DNS) for the amendments allowing 27-foot high buildings WC zone abutting DB and the amendments reducing the front setbacks and height measurement point for residential uses on May 29, 2013; and

WHEREAS, the Gig Harbor City Council held an open house on the proposed waterfront amendments on October 14, 2013; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on \_\_\_\_\_, 2013; and

WHEREAS, on \_\_\_\_\_, 2013, the City Council held a second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Subection 17.50.040(I) in the Waterfront Commercial (WC) chapter of the Gig Harbor Municipal Code is hereby amended, to read as follows:

**17.50.040 Development standards.**

In a waterfront commercial district, the minimum development requirements are as follows:

	Single-Family Dwelling	Attached Up to 4 Units	Nonresidential
A. Minimum lot area (sq. ft.) <sup>1</sup>	6,000	6,000/unit	15,000
B. Minimum lot width	50'	100'	100'
C. Minimum front yard <sup>2</sup>			
D. Minimum side yard <sup>2</sup>			
E. Minimum rear yard <sup>2</sup>			
F. Minimum yard abutting tidelands	0'	0'	0'
G. Maximum site impervious coverage	50%	55%	70%
H. Density		4 dwelling units per acre	
I. Maximum footprint/ gross floor area <sup>4,5</sup>	3,000 square feet max. gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure
J. Separation between structures <sup>3</sup>	20'	20'	20'

<sup>1</sup>An undersized lot or parcel shall qualify as a building site if such lot is a lot of record at the time this chapter became effective.

<sup>2</sup>The setbacks of GHMC 17.99.310 and 17.99.320 are applicable in the WC district.

<sup>3</sup>Separation between structures is not required upon lots or parcels within the Finholm Market portion of the WC district which contain multiple structures and/or which abut the DB (downtown business) district.

<sup>4</sup>Historic net sheds as defined in GHMC 17.04.615 shall be excluded from the maximum gross

floor area requirements.

<sup>5</sup> For structures existing as of the effective date this ordinance and located in the portion of the WC district which abuts the DB district, additional gross floor area may be added to a structure and the total gross floor area may exceed the maximum allowed provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the building height allowed in GHMC 17.99.510. No additional parking spaces are required to accommodate the increase in gross floor area.

\* \* \*

Section 2. Subsection 17.68.040 (E) in the Nonconformities chapter of the Gig Harbor Municipal Code is hereby amended, to read as follows:

**17.68.040 Nonconforming structures.**

\* \* \*

E. Downtown Nonconforming Structures. Intentional removal or alteration of structures with a nonconforming structure status in the DB zoning district and the WC zoning district abutting the DB zoning district shall be subject to the following provisions:

1. Any such nonconforming structure or nonconforming portion of a structure that is intentionally removed or altered may be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was removed or altered. Building permits for the reconstruction shall be submitted within one year of the time of intentional removal or alteration and shall remain active or reconstruction will not be allowed. The reconstruction shall comply with all applicable building codes in force at the time of replacement; and

2. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible; and

3. The reconstruction of structures with a nonconforming structure status which are on a local, state or national historic registry or are eligible for such registries shall meet the requirements of GHMC 17.99.580 regardless of when the structure was built.

Section 3. Subsection 17.99.320(A) in the Design Manual chapter of the Gig Harbor Municipal Code is hereby amended, to read as follows:

**A. Conform to residential setback requirements.**

1. FRONT SETBACK MINIMUM House – 20 feet; in Waterfront Zones – 12 feet  
Garage – 26 feet; in Waterfront Zones – 18  
feet

Porches – 12 feet; in Waterfront Zones – 6 feet

**2. SIDE SETBACK/VIEW CORRIDOR MINIMUM\*\***

a. For site with one building - On a 50-foot-wide lot, 20 feet of combined side yard setback/view corridor is required and may be allotted as desired except that a minimum of five feet on any one side is required. For every additional foot of lot width beyond 50 feet, an additional one-quarter foot of side yard setback/view corridor is required. On sites with less than 50 feet of width, one-quarter foot of side yard setback/view corridor shall be eliminated for every foot of lot width less than 50 feet; provided that a minimum of 5 feet of setback/view corridor shall be provided on all side yards.

b. For sites with multiple buildings – Side yard setbacks/view corridors shall be provided in an amount equivalent to 20 feet for the first 50 feet of lot width. For every additional foot of lot width beyond 50 feet, an additional one-quarter foot of side yard setback/view corridor shall be provided. On sites with less than 50 feet of width, one-quarter foot of side yard setback/view corridor shall be eliminated for every foot of lot width less than 50 feet. The side yard setbacks/view corridors may be allotted in one of the following ways:

i. The total of the required side yard setback/view corridor shall be provided adjacent and parallel to the side property lines along the entire length of the property provided that a minimum of five feet of setback/view corridor shall be provided on all sides; or

ii. If the lot is 100 feet or more in width, a minimum side yard setback/view corridor of five feet shall be provided adjacent to abutting properties and setback/view corridor(s) a minimum of 20-foot wide shall be provided between buildings on the subject site. Lots narrower than 100 feet wide are not eligible for this provision.

c. View Corridors – In waterfront zoning districts, view corridors shall be provided perpendicular to a designated parkway or parallel to the side property lines along the entire length of the property. In all other zoning districts, view corridors shall be provided parallel to the side property lines along the entire length of the property. All required view corridors shall be open from the ground to the sky except that appurtenances allowed by the definitions of “yard” in Section 17.04.880 GHMC and “yard, side” in Section 17.04.910 GHMC may be located within the corridor.

**3. REAR SETBACK MINIMUM\*\*** – As defined for each underlying zone in the Gig Harbor Municipal Code, or 25 feet, whichever is less.

**4. OVERWATER STRUCTURE SETBACK:**

Setbacks for overwater structures shall be governed by the Gig Harbor Shoreline Master Program and shall be exempt from this section.

\*\* See additional setback provisions in subsection C of this section.

\* \* \*

Section 4. Subsections 17.99.510(A) and (B), Building massing and height – Historic District, in the Design Manual chapter of the Gig Harbor Municipal Code are hereby amended, to read as follows:

**A. Incorporate characteristic roof lines and massing into residential structures.**

Historic structures in Gig Harbor are characterized by similar roof lines and massing. All residential structures within the historic district must meet the following criteria:

**1. MINIMUM ROOF PITCH.**

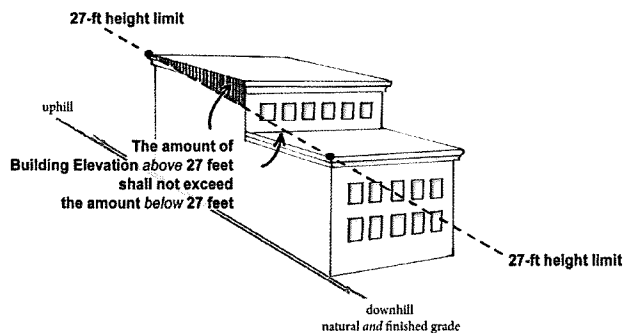
Roof pitches shall be minimum 6/12 and maximum 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portion on a saltbox-style structure, and (d) steeples, bell towers, and similar accentuated structures.

**2. MAXIMUM HEIGHT – DB ZONE SOUTH OF ROSEDALE STREET and PORTION OF THE WC ZONE ABUTTING THE DB ZONE.**

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in Figure A below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

FIGURE A





**2. 3. MAXIMUM HEIGHT – ALL OTHER ZONES.**

Each residential lot is allowed a building height of up to 18 feet from any point within the buildable area and within 50 feet of the building's footprint; provided, that no portion of the structure exceeds 27 feet above natural and finished grade. In applicable waterfront zones (WR, WM and WC), the point at which the 18-foot maximum is measured may be at the highest point within the lot along the street right-of-way. Additionally, one BASIC STRUCTURE measuring 25 feet wide by 40 feet deep by 27 feet high may be incorporated into the building design based upon the following criteria:

- a. The height of the basic structure shall be measured from the lowest elevation point at the setback lines. Height shall be measured from natural grade.
- b. The ridge of the basic structure shall be perpendicular to the shoreline or "point" to a significant view.
- c. No structures other than chimneys shall extend beyond the area defined by the gable or hip, i.e., no structure shall extend above the common rafter extending from the top wall plate to the ridge unless it is within the underlying 18-foot height envelope.
- d. The minimum roof pitch is 8/12. Equal pitches are used on the remaining portion of the house.
- e. A full-width front porch shall be included on the front side of the basic structure unit and windows on the entire structure shall be true-divided light windows if a grid pattern is desired.
- f. All other setback and height requirements are complied with.

**[Note: Retain graphic at this location]**

**3.4. INTERSECTING GABLES OR DORMERS.**

- a. To avoid expansive roof planes, fascia boards may not exceed 35 feet in length without an intersecting gable, dormer or similar architectural element incorporated into the roof plane above the fascia board on pitched roofs.
- b. The total width of all dormers, gables, and similar architectural elements shall not exceed 50 percent of the width of the roof plane on which those elements are located.
- c. This requirement does not apply to BASIC STRUCTURES defined under subsection (A)(2) of this section.

**B. Conform to height standards for nonresidential structures.**

Historic commercial structures were typically flat-roofed buildings with projecting cornices, sometimes with an extended parapet on the front. Pitched roof commercial buildings were also common. To allow similarly designed buildings, all nonresidential structures within the historic district shall conform to the following height and roof pitch standards:

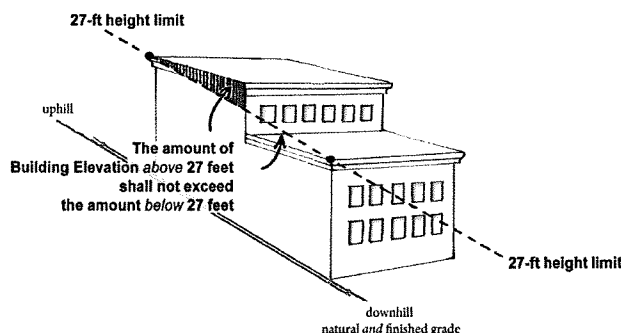
**1. DOWNTOWN BUILDING HEIGHTS**

In the portion of the Downtown Business (DB) district south of Rosedale Street and abutting portion of the Waterfront Commercial (WC) district, the building height limitations of this subsection 1 apply as do the requirements of subsection 5 below. In all other zones, the requirements of subsection 2 through 5 apply.

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in Figure B below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

FIGURE B



~~4.~~ 2. **MAXIMUM UPHILL HEIGHT**

No portion of a building shall exceed 16 feet for a flat roofed building, or 18 feet for a pitched roof building, as measured from the highest point within the buildable area and within 50 feet of the building footprint.

~~2.~~ 3. **MAXIMUM DOWNHILL HEIGHT**

No building shall exceed a height of 24 feet as measured from finished grade at the lowest point of the building footprint, except that additional height is allowed for roof planes, gables and dormer windows, not to exceed the uphill height limits.

~~3.~~ 4. **MAXIMUM HEIGHT ABOVE GRADE**

Buildings may not exceed a height of 27 feet above natural and finished grade at any given point within the building footprint.

~~4.~~ 5. **PITCHED ROOFS**

Pitched roofs shall have a minimum roof pitch of 6/12 and a maximum pitch of 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portions on a saltbox-style structure, which may all have lesser pitched roofs, and steeples and bell towers, which may have greater pitched roofs. The ridge of a pitched roof shall run perpendicular to (pointing toward) the view of the bay as seen from the street nearest the front setback line of the subject site, unless the ridge is within the flat roof height limits.

\* \* \*

Section 6. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance.

Section 7. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title.

PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this \_\_\_ day of \_\_\_\_\_, 2013.

CITY OF GIG HARBOR

Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:

---

Molly M. Towslee, City Clerk

APPROVED AS TO FORM:  
Office of the City Attorney

---

FILED WITH THE CITY CLERK:  
PASSED BY THE CITY COUNCIL:  
PUBLISHED:  
EFFECTIVE DATE:  
ORDINANCE NO:



DEVELOPMENT SERVICES

TO: Mayor Hunter and Members of the Council  
FROM: Harris Atkins, Chair, Planning Commission *HKA 5/7/13*  
RE: Summary of Proposed Changes to Downtown Regulations

---

In early 2012, the City Council directed the Planning Commission to *Review and Identify Codes that inhibit the preservation of character-defining historic buildings in the downtown.* This effort was the first step in the downtown preservation planning effort instituted by the Mayor and Council.

The following potential amendments specific to this task were identified:

1. Grandfather existing building sizes (sq footage) in the DB Zone. Allow existing non-historic buildings to be torn down and re-built within the existing building envelope. (DRB approval required.)
2. Allow increased floor area within an existing building's envelope (mezzanines, etc).
3. Provide building size allowances to eligible or listed historic buildings in the View Basin if the front façade is preserved.
4. Consider height increase allowances for buildings in the View Basin (up to 2 stories).
5. Consider incentives for first floor retail/restaurant.

The Planning Commission began review of these amendments in June of 2012. Over the course of the last year, the PC has attended the Harbor Vision town hall meetings; conducted a walking tour of downtown; and, held 16 work-study sessions, an open house and three public hearings. The result of that review is four code amendments encompassed in three recommendations. The proposals are grouped into two subjects: Building Size and Building Height

The recommended code amendments on building size, dated January 17, 2013, would address numbers 1 and 2 above. The recommended code amendments on building height, two documents dated May 2, 2013, would address number 4 above and the issue of "houses in a hole" along the water. The Planning Commission determined that items numbered 3 and 5 were not appropriate for review at this time due to their complexity.

In the course of the Commission's review, it became apparent that one of the next steps in this process should be a review of the current building size limitations and private parking requirements around the harbor. It is envisioned that this would be done as regulations are developed to implement the Harbor Vision. It should also be noted that during the course of the Commission's discussions, there were other factors and limitations identified unrelated to zoning, such as improvements in public parking opportunities, that may need to be addressed to fully realize the Harbor Vision.



DEVELOPMENT SERVICES

## NOTICE OF RECOMMENDATION

### CITY OF GIG HARBOR PLANNING COMMISSION PL-ZONE-12-0009

**TO:** Mayor Hunter and Members of the Council  
**FROM:** Harris Atkins, Chair, Planning Commission  
**RE:** PL-ZONE-12-0009 – Downtown Building Size Amendments

---

#### **Application:**

This application was initiated by the City of Gig Harbor as part of the City's focus on downtown visioning. The City Council specifically directed the Planning Commission to review and identify codes that inhibit the preservation of character-defining historic buildings in the downtown. The Planning Commission identified two amendments related to building size which would aid in preserving historic buildings downtown.

#### **Planning Commission Review:**

The Planning Commission held eight work study sessions between June and November 2012, attended two town hall meetings on downtown visioning (June 27<sup>th</sup> and October 18<sup>th</sup>, 2012) and conducted one walking tour of downtown in August 2012.

A public hearing was held on December 6<sup>th</sup>, 2012 after which the Planning Commission held a work study session and recommended **APPROVAL** of the amendments contained at the end of this notice.

#### **Findings of Fact:**

The Planning Commission makes the following findings of fact in relation to their recommendation of approval:

1. The City's Comprehensive Plan includes the following policies which support the amendments:

***GOAL 3.15 IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE***

***GOAL 3.18 TO PRESERVE THE CHARACTER OF THOSE SITES OR DISTRICTS WHICH REFLECT THE STYLE OF GIG HARBOR'S HISTORICAL DEVELOPMENT***

***3.17.1. Encourage retention and adaptive reuse of older buildings with the following types of incentives: (a) Zoning incentives, e.g., setback and height standards which allow for restoration/renovation or expansion of existing structures.***

**6.2.2. Property revitalization** Assist with special planning and development efforts to reuse older buildings, redevelop vacant properties, and revitalize older commercial and business districts within the city. Help structure local marketing efforts, physical improvements programs, parking and building improvements and special management organizations.

2. The Planning Commission finds that the proposed amendments would aid in preserving the downtown character.
3. The Planning Commission finds that the proposed amendments are consistent with the comments received at the two town hall meetings on downtown visioning and public hearing.
4. The Planning Commission finds these amendments should be limited to the Downtown Business (DB) district and the Waterfront Commercial (WC) district abutting the DB as those are the generally accepted "downtown" area. Later in 2013 after implementing policies have been developed for The Harbor vision statement, the City should consider if these allowances should expand to other zones.
5. The Commission finds that no additional parking should be for additions and remodels allowed by these amendments as requiring additional parking may not be possible given the land constraints downtown and would therefore limit the usefulness of the amendments.

Harris Atkins, Chair  
Planning Commission



Date 1/17/2013

**Additional Interior Gross Floor Area Code Amendments:**

**Downtown Business (DB):**

**17.31.075 Maximum gross floor area.**

A. Except as provided for in subsection B, in the DB district, the maximum gross floor area per building is 6,000 square feet. Multiple buildings on the same site shall be separated by a nonpenetrated fire wall as defined in the International Fire Code except that a single six-foot opening in the fire wall separating structures is permissible; provided, that each structure has an outside customer entrance accessible to the street. Each structure shall be designed to stand independent of other structures on the site (i.e., the addition or removal of any one building on a site will not require structural attachments or modifications to any other building on the site).

B. For structures existing as of the effective date this ordinance, additional gross floor area may be added to a structure and the total gross floor area may exceed the maximum allowed in subsection A provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the building height allowed in GHMC 17.99.510. No additional parking spaces are required to accommodate the increase in gross floor area.

**Waterfront Commercial (WC):**

**17.50.040 Development standards.**

In a waterfront commercial district, the minimum development requirements are as follows:

	Single-Family Dwelling	Attached Up to 4 Units	Nonresidential
A. Minimum lot area (sq. ft.) <sup>1</sup>	6,000	6,000/unit	15,000
B. Minimum lot width	50'	100'	100'
C. Minimum front yard <sup>2</sup>			
D. Minimum side yard <sup>2</sup>			
E. Minimum rear yard <sup>2</sup>			
F. Minimum yard abutting tidelands	0'	0'	0'
G. Maximum site impervious coverage	50%	55%	70%
H. Density		4 dwelling units per acre	
I. Maximum footprint/ gross floor area <sup>4,5</sup>	3,000 square feet max. gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure
J. Separation between structures <sup>3</sup>	20'	20'	20'

<sup>1</sup>An undersized lot or parcel shall qualify as a building site if such lot is a lot of record at the time this chapter became effective.

<sup>2</sup>The setbacks of GHMC 17.99.310 and 17.99.320 are applicable in the WC district.

<sup>3</sup>Separation between structures is not required upon lots or parcels within the Finholm Market portion of the WC district which contain multiple structures and/or which abut the DB (downtown business) district.

<sup>4</sup>Historic net sheds as defined in GHMC 17.04.615 shall be excluded from the maximum gross floor area requirements.

<sup>5</sup>For structures existing as of the effective date this ordinance and located in the WC district which abuts the DB district, additional gross floor area may be added to a structure and the total gross floor area may exceed the maximum allowed provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the building height allowed in GHMC 17.99.510. No additional parking spaces are required to accommodate the increase in gross floor area.



**Remodeling and Rebuilding Nonconforming Buildings Code Amendments:**

**17.68.040 Nonconforming structures.**

When a lawful structure existed at the effective date of the adoption or an amendment of the applicable regulations and could not be built under the terms of the current regulations set forth in GHMC Title 17, or amendments thereof, by reason of the restrictions on area, lot size or dimension, coverage, height, yards and the location on the lot or other requirements concerning the structure, such structure may be continued as a nonconforming structure so long as it remains otherwise lawful and shall be subject to the following provisions:

A. No such nonconforming structure may be altered or remodeled in any way that increases its nonconformity respective to bulk or dimensional standards in effect, but any structure or portion thereof may be altered or remodeled to decrease its nonconformity;

B. A nonconforming structure that is damaged by fire, act of nature or other causes beyond the control of the owners may be reconstructed as long as it is not discontinued for more than 12 consecutive months. Any such structure that is unintentionally destroyed shall be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was damaged or destroyed. The reconstruction shall comply with all applicable building codes in force at the time of replacement. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible. "Discontinued" is defined in GHMC 17.68.038;

C. ~~Except as provided for in subsection E of this section, a~~Any such nonconforming structure or nonconforming portion of a structure that is intentionally damaged or intentionally altered may be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was damaged or altered, provided the alterations and/or damage is valued at less than 50 percent of the replacement value of the structure as determined by the square foot construction cost table in the city's fee schedule. Reconstruction shall occur within one year of the time of intentional damage or alteration or not at all. The reconstruction shall comply with all applicable building codes in force at the time of replacement. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible. Interior-only remodels which do not increase a structure's nonconformity shall not count towards the replacement cost as it relates to this section; and

D. ~~Except as provided for in subsection E of this section, w~~When a structure has a nonconforming structure status, the intentional removal, intentional damage, or intentional alteration of the structure shall eliminate the nonconforming status. Upon the elimination of the nonconforming status, the structure shall be brought into conformity with the existing code or shall be removed. "Intentional removal, intentional damage, or intentional alteration" for the purposes of this subsection is defined as damage and/or alterations valued at more than 50 percent of the replacement value of the structure at the time of damage and/or alterations, over the lifetime of the structure, as determined by the square foot construction cost table in the city's fee schedule.

~~E. Downtown Nonconforming Structures. Intentional removal or alteration of structures with a nonconforming structure status in the DB zoning district and the WC zoning district abutting the DB zoning district shall be subject to the following provisions:~~

~~1. Any such nonconforming structure or nonconforming portion of a structure that is intentionally removed or altered may be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was removed or altered, and~~

~~2. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible, and~~

3. The reconstruction of structures with a nonconforming structure status which are on a local, state or national historic registry or are eligible for such registries shall meet the requirements of GHMC 17.99.580 regardless of when the structure was built.



DEVELOPMENT SERVICES

**NOTICE OF RECOMMENDATION  
CITY OF GIG HARBOR PLANNING COMMISSION**

**TO:** Mayor Hunter and Members of the Council  
**FROM:** Harris Atkins, Chair, Planning Commission  
**RE:** Downtown Building Height Amendments

---

**Application:**

This application was initiated by the City of Gig Harbor as part of the City's focus on downtown visioning and revitalization. The City Council specifically directed the Planning Commission to review and identify codes that inhibit the preservation and redevelopment of character-defining historic buildings in the downtown. The City identified the need to allow new two-story buildings within the downtown core.

**Planning Commission Review:**

The Planning Commission held seven work study sessions between November 2012 and April 2013, attended two town hall meetings on downtown visioning (June 27<sup>th</sup> and October 18<sup>th</sup>, 2012) and conducted one walking tour of downtown in August 2012.

Upon review of existing codes and built conditions, the Planning Commission proposed allowing all buildings to be 27 feet above natural and finished grade as measured at the building footprint. In order to accommodate sloped lots, the Planning Commission proposed allowing roofs to be stepped down where some portions of the roof can exceed 27 feet with certain limitations as described in the amendments and shown on Figure A.

An open house and public hearing on the proposed amendments were held on March 21, 2013. Upon consideration of the comments received, the Planning Commission held a work study session on May 2, 2013 and recommended **APPROVAL** of the amendments contained at the end of this notice.

**Findings of Fact:**

The Planning Commission makes the following findings of fact in relation to their recommendation of approval:

1. The City's Comprehensive Plan includes the following policies which support the amendments:

**GOAL 3.6: ARTICULATE AN ARCHITECTURAL STYLE WHICH REFLECTS GIG HARBOR'S BUILT AND NATURAL ENVIRONMENT AND WHICH APPEALS TO THE HUMAN SPIRIT.**

**3.6.1. Maintain a small town scale for structures.**

*New structures should not overpower existing structures or visually dominate Gig Harbor's small town city-scape, except as approved landmark structures.*

**3.6.2. Identify an appropriate form for structures.**

*New structures should be characterized by interesting forms and roof lines. Boxy, single- mass buildings should be discouraged except as may be appropriate in a downtown streetscape.*

**GOAL 3.7: ENCOURAGE BUILDING DESIGNS WHICH DEFINE AND RESPECT THE HUMAN SCALE.**

*The scale of the building in relation to the human form should be obvious, particularly at the sidewalk level.*

**3.7.2. Encourage mixed-use structures.**

*Mixing uses within a structure enhances the ability to give interesting form and character to a building. For example, allowing residential units above retail shops encourages designs more common to a village or small town setting while providing another housing opportunity for local merchants or retirees with limited transportation.*

**GOAL 3.15: IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE**

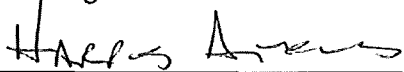
**3.18.2. Develop guidelines which promote compatible development within designated areas.**

*Guidelines should specify building forms, styles, and motifs appropriate for Gig Harbor's historic areas.*

2. The existing regulations allow between 16 and 27 foot buildings depending on topography and roof type which does not allow the construction of a flat two-story building that meets modern construction techniques and the requirements for ADA access and HVAC systems.
3. The Planning Commission finds that there are a considerable number of existing buildings in the downtown core which are two or more stories and exceed the existing height limits.
4. The Planning Commission finds these amendments should be limited to the Downtown Business (DB) district and the Waterfront Commercial (WC) district abutting the DB since those contain the highest concentration of existing multi-story buildings. After implementing policies have been developed for The Harbor Vision statement, the City may consider if these allowances should expand to other zones.

5. The Planning Commission finds that given the number of character-defining buildings that are multiple stories in height the proposed amendments would aid in preserving the downtown character and scale.
6. Two-story buildings that meet height limits and the requirements of the Design Manual will provide an appropriate human-scaled architecture for pedestrians on the sidewalk and provide the opportunity for mixed use buildings.
7. After discussions with architects on the Design Review Board and the City's Building Official/Fire Marshal, it was determined that 27 feet was the appropriate height limitations in order to allow two-story flat-roofed buildings using modern construction techniques, providing ADA access and screening HVAC systems on a roof.
8. The Planning Commission finds that the proposed amendments are consistent with the Harbor Vision and the majority of the comments heard at the open house and public hearing for these amendments.

Harris Atkins, Chair  
Planning Commission



Date 5/2/2013

**Downtown Building Height Amendments:**

**From GHMC 17.99.510 Building massing and height – Historic district**

\* \* \*

**A. Incorporate characteristic roof lines and massing into residential structures.**

Historic structures in Gig Harbor are characterized by similar roof lines and massing. All residential structures within the historic district must meet the following criteria:

**1. MINIMUM ROOF PITCH.**

Roof pitches shall be minimum 6/12 and maximum 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portion on a saltbox-style structure, and (d) steeples, bell towers, and similar accentuated structures.

**2. MAXIMUM HEIGHT – DB and ABUTTING WC ZONES.**

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in figure A below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the

design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

**2. 3. MAXIMUM HEIGHT – ALL OTHER ZONES.**

Each residential lot is allowed a building height of up to 18 feet from any point within the buildable area and within 50 feet of the building's footprint; provided, that no portion of the structure exceeds 27 feet above natural and finished grade. Additionally, one BASIC STRUCTURE measuring 25 feet wide by 40 feet deep by 27 feet high may be incorporated into the building design based upon the following criteria:

- a. The height of the basic structure shall be measured from the lowest elevation point at the setback lines. Height shall be measured from natural grade.
- b. The ridge of the basic structure shall be perpendicular to the shoreline or "point" to a significant view.
- c. No structures other than chimneys shall extend beyond the area defined by the gable or hip, i.e., no structure shall extend above the common rafter extending from the top wall plate to the ridge unless it is within the underlying 18-foot height envelope.
- d. The minimum roof pitch is 8/12. Equal pitches are used on the remaining portion of the house.
- e. A full-width front porch shall be included on the front side of the basic structure unit and windows on the entire structure shall be true-divided light windows if a grid pattern is desired.
- f. All other setback and height requirements are complied with.

\* \* \*

**B. Conform to height standards for nonresidential structures.**

Historic commercial structures were typically flat-roofed buildings with projecting cornices, sometimes with an extended parapet on the front. Pitched roof commercial buildings were also common. To allow similarly designed buildings, all nonresidential structures within the historic district shall conform to the following height and roof pitch standards:

**1. DOWNTOWN BUILDING HEIGHTS**

In the Downtown Business (DB) district and abutting Waterfront Commercial (WC) district, the building height limitations of this subsection 1 apply as do the requirements of 5 below. In all other zones, the requirements of 1 through 5 apply.

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows: On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill

facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in figure A below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

4. 2. MAXIMUM UPHILL HEIGHT

No portion of a building shall exceed 16 feet for a flat roofed building, or 18 feet for a pitched roof building, as measured from the highest point within the buildable area and within 50 feet of the building footprint.

2. 3. MAXIMUM DOWNHILL HEIGHT

No building shall exceed a height of 24 feet as measured from finished grade at the lowest point of the building footprint, except that additional height is allowed for roof planes, gables and dormer windows, not to exceed the uphill height limits.

3. 4. MAXIMUM HEIGHT ABOVE GRADE

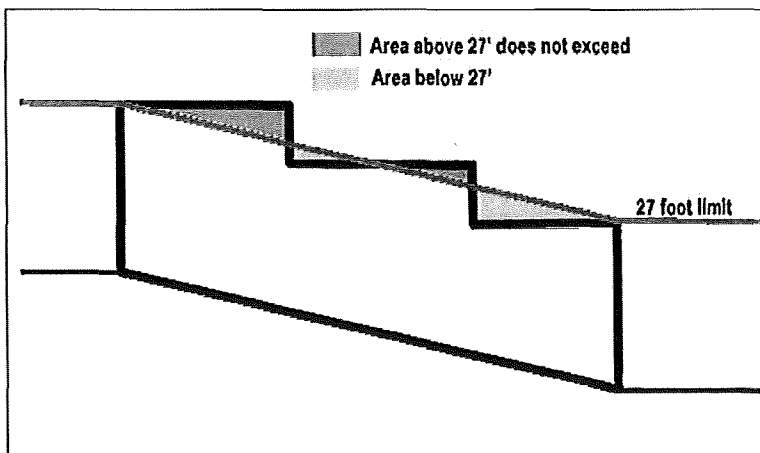
Buildings may not exceed a height of 27 feet above natural and finished grade at any given point within the building footprint.

4. 5. PITCHED ROOFS

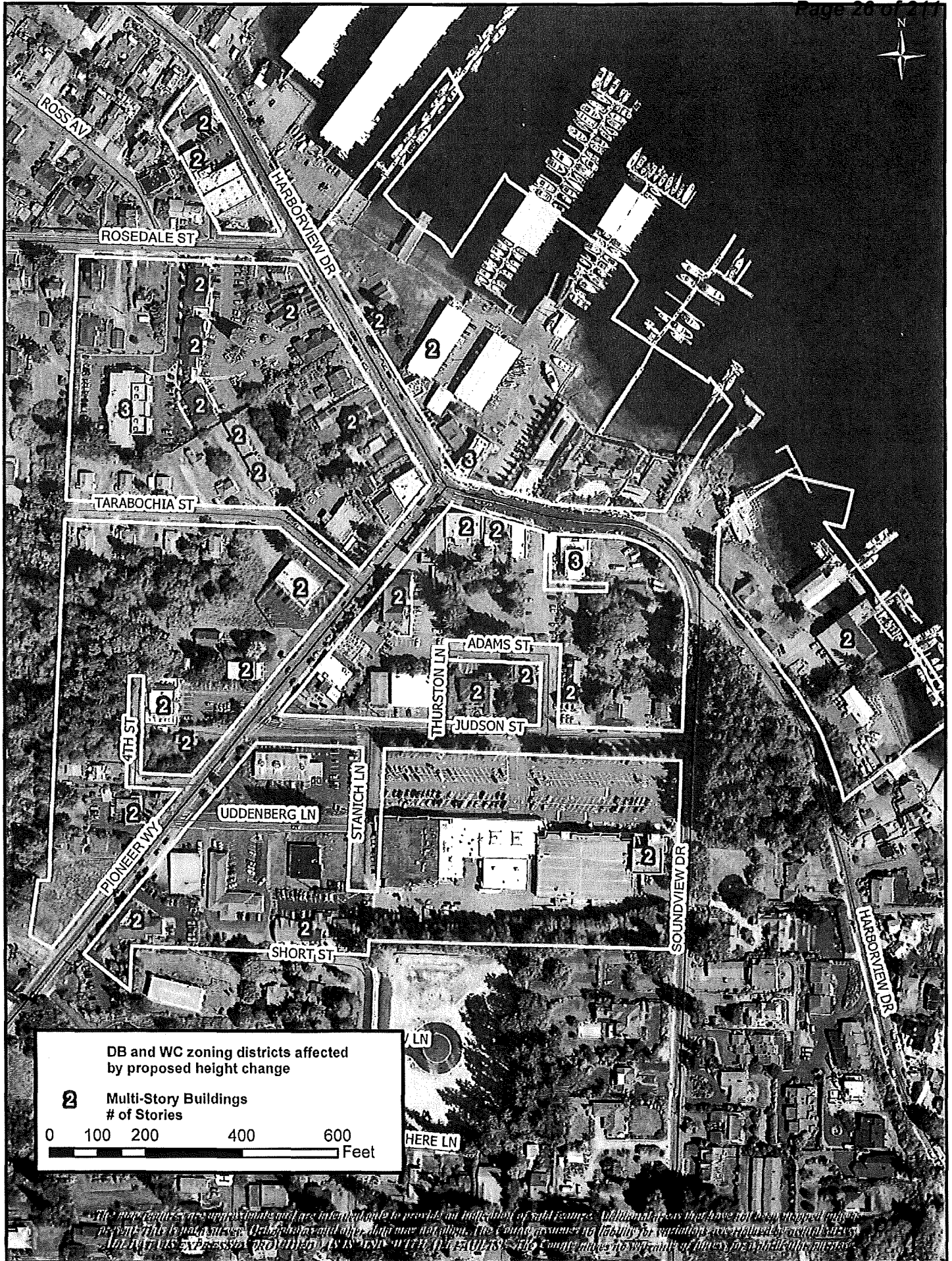
Pitched roofs shall have a minimum roof pitch of 6/12 and a maximum pitch of 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portions on a saltbox-style structure, which may all have lesser pitched roofs, and steeples and bell towers, which may have greater pitched roofs. The ridge of a pitched roof shall run perpendicular to (pointing toward) the view of the bay as seen from the street nearest the front setback line of the subject site, unless the ridge is within the flat roof height limits.

\* \* \*

FIGURE A

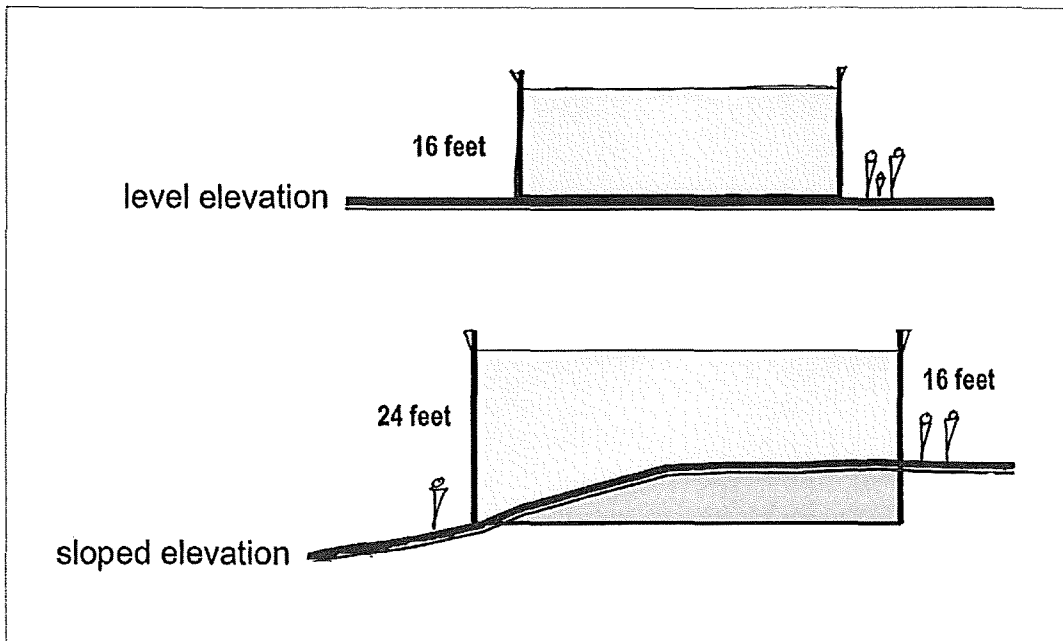




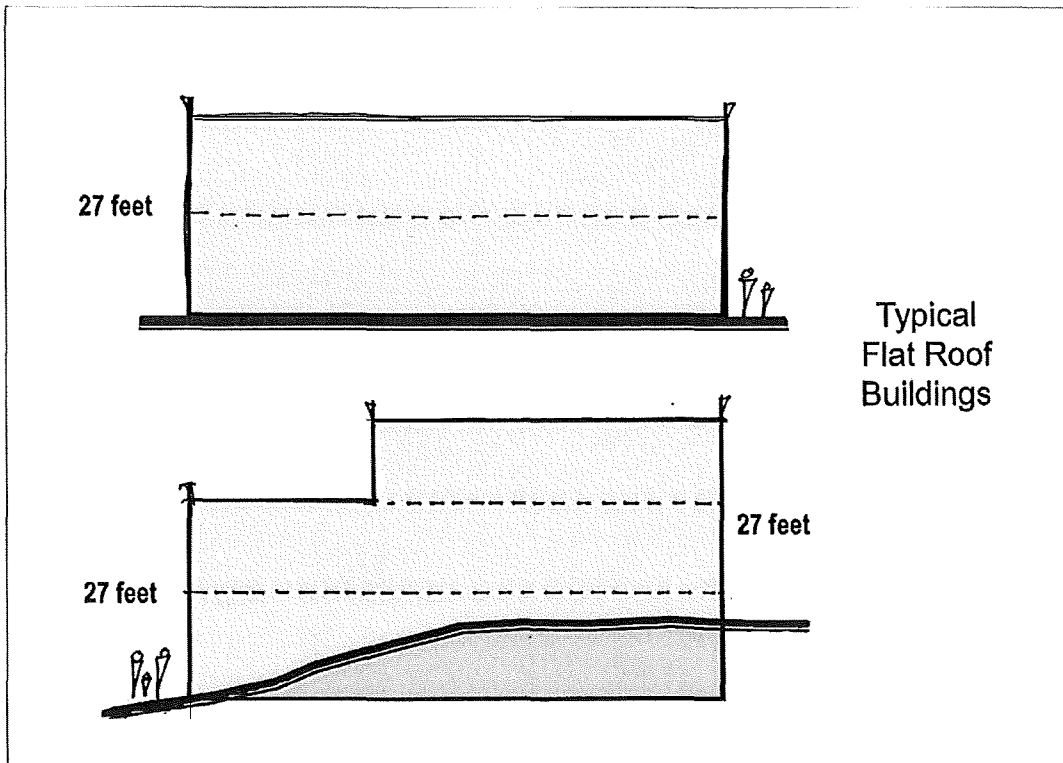


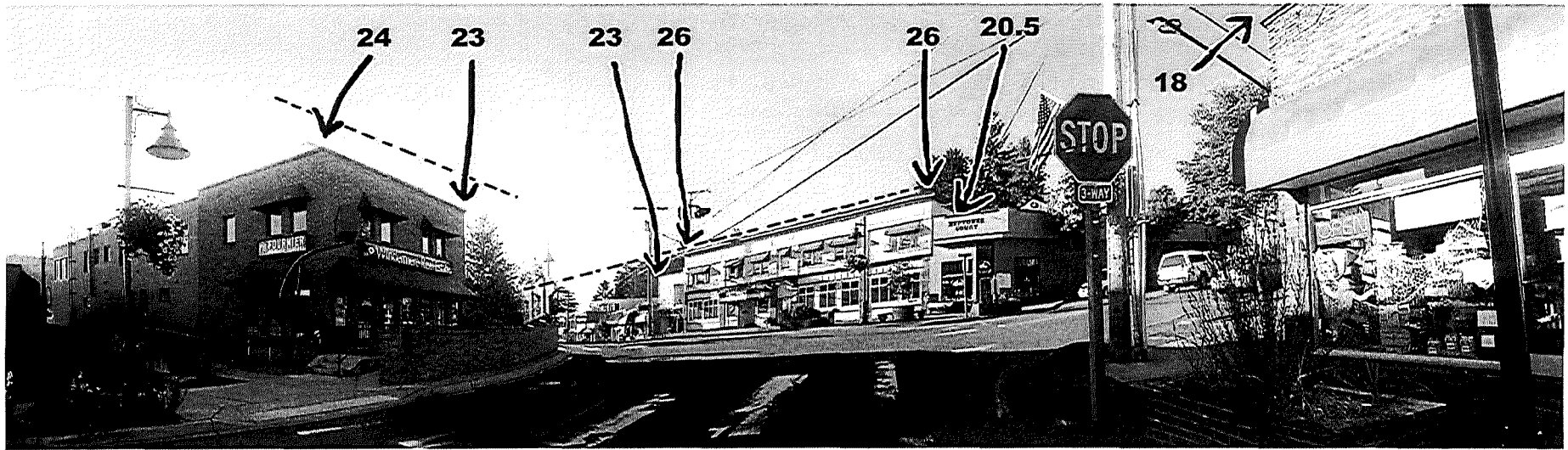


### CURRENT HEIGHT LIMITS

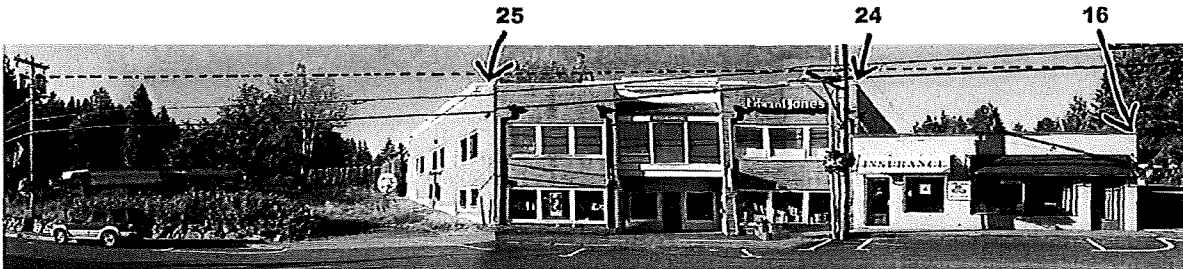


### PROPOSED HEIGHT LIMITS



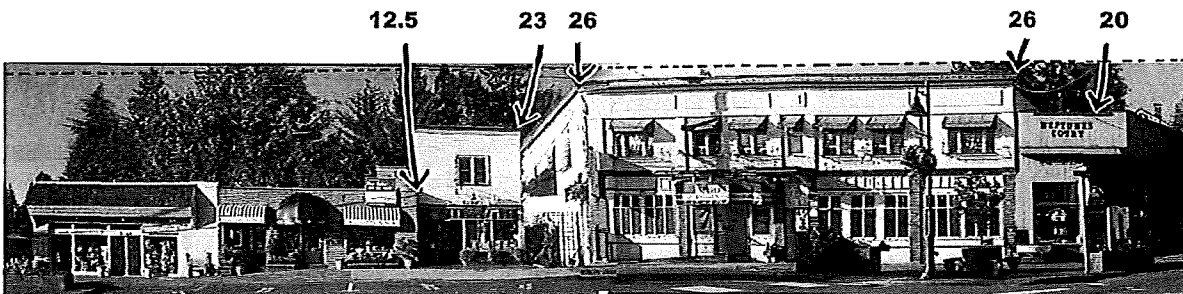


**Existing Heights (approx)  
and the proposed  
27-ft Height Limit for  
Downtown Business (DB)  
and adjacent  
Waterfront Commercial (WC)**

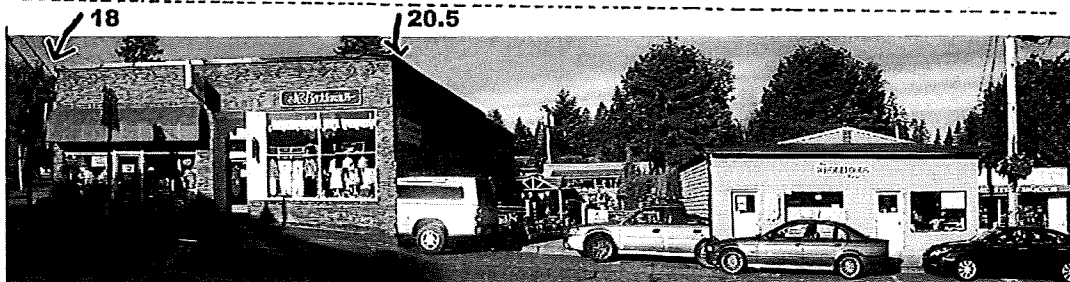


**Stutz Site - Willis Bldg - Insurance Bldg on Harborview Dr**

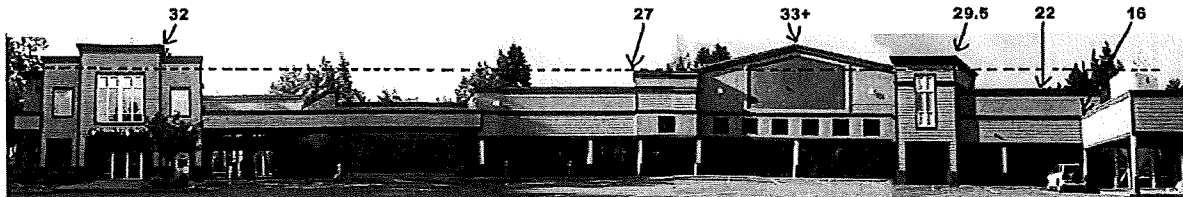
**BLACK LINE REPRESENTS PROPOSED  
27-FT HEIGHT LIMIT**



**Peninsula Hotel Steetscape on Harborview Dr**



**McBecklands - WildBirds - Whole Foods - Mostly Books on Harborview Dr**



**QFC Shopping Center on Judson Str**



DEVELOPMENT SERVICES

**NOTICE OF RECOMMENDATION  
CITY OF GIG HARBOR PLANNING COMMISSION**

**TO:** Mayor Hunter and Members of the Council  
**FROM:** Harris Atkins, Chair, Planning Commission  
**RE:** Residential Building Height and Front Setbacks Requirements in Waterfront Zones

---

**Application:**

This application was initiated by the City of Gig Harbor after the City's Historic Preservation Office and the Planning Department identified an issue with where height is being measured for residential buildings along the waterside of Harborview and North Harborview Drive in the Historic District. New homes built under current regulations are significantly lower than historic homes as viewed from the street and the front yard setbacks are not consistent with the historic streetscape.

**Planning Commission Review:**

The Planning Commission held two work study sessions on February 21, 2013 and March 7, 2013.

Upon review of existing codes and built conditions, the Planning Commission proposed two amendments for residential buildings in the waterfront zones:

1. Height Measurement Location: Change where the 18-foot uphill height limit is measured from the building setback line to the property line abutting the street ROW.
2. Front Setback: Change the front setback to more closely reflect existing street setbacks of historic homes as follows:

House – 12 feet  
Garage – 18 feet  
Porches – 6 feet

A public hearing was held on April 11, 2013. Upon consideration of the comments received, the Planning Commission held a work study session on May 2, 2013 and recommended **APPROVAL** of the amendments contained at the end of this notice.

**Findings of Fact:**

The Planning Commission makes the following findings of fact in relation to their recommendation of approval:

1. The City's Comprehensive Plan includes the following policies which support the amendments:

**GOAL 3.15: IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE**

**GOAL 3.18: TO PRESERVE THE CHARACTER OF THOSE SITES OR DISTRICTS WHICH REFLECT THE STYLE OF GIG HARBOR'S HISTORICAL DEVELOPMENT.**

**3.18.2. Develop guidelines which promote compatible development within designated areas.**

*Guidelines should specify building forms, styles, and motifs appropriate for Gig Harbor's historic areas.*

2. The current height measurement location for residential buildings on the waterside of Harborview and North Harborview Drive has led to new homes being significantly lower than historic homes as viewed from the street.
3. The current front yard setback provisions do not allow for the retention of the historic residential character of that streetscape.
4. Nonresidential buildings along the same street frontage must be located within 10 feet of Harborview and North Harborview Drive and the maximum height can be measured at the property line along the right-of-way.
5. Proposed amendments will allow new homes to be closer to the sidewalk and bring entries to the street level to better match the historic streetscape.
6. Existing view corridor and side setback requirements will not change under the proposal.
7. The proposed amendments will make the residential requirements more consistent with the nonresidential buildings along the same streetscape.
8. The new Shoreline Master Program is expected to require a setback from the ordinary high water mark, the smallest of which is 35 feet, thereby reducing the buildable area of a lot along the water. The proposed decrease in front yard setbacks will help mitigate that impact to the buildable area of the lot.
9. The Planning Commission finds that the proposed amendments are consistent with the Harbor Vision statement and with the comments heard at the public hearing for these amendments.

Harris Atkins, Chair  
Planning Commission



Date 5/2/2013

**Residential Height Measurement Location in Waterfront Zones**

**GHMC 17.99.510(A). Incorporate characteristic roof lines and massing into residential structures.**

Historic structures in Gig Harbor are characterized by similar roof lines and massing. All residential structures within the historic district must meet the following criteria:

\* \* \*

**2. 3. MAXIMUM HEIGHT – ALL OTHER ZONES.**

Each residential lot is allowed a building height of up to 18 feet from any point within the buildable area and within 50 feet of the building's footprint; provided, that no portion of the structure exceeds 27 feet above natural and finished grade. In applicable waterfront zones (WR, WM and WC), the point at which the 18-foot maximum is measured may be at the highest point within the lot along the street right-of-way. Additionally, one BASIC STRUCTURE measuring 25 feet wide by 40 feet deep by 27 feet high may be incorporated into the building design based upon the following criteria:

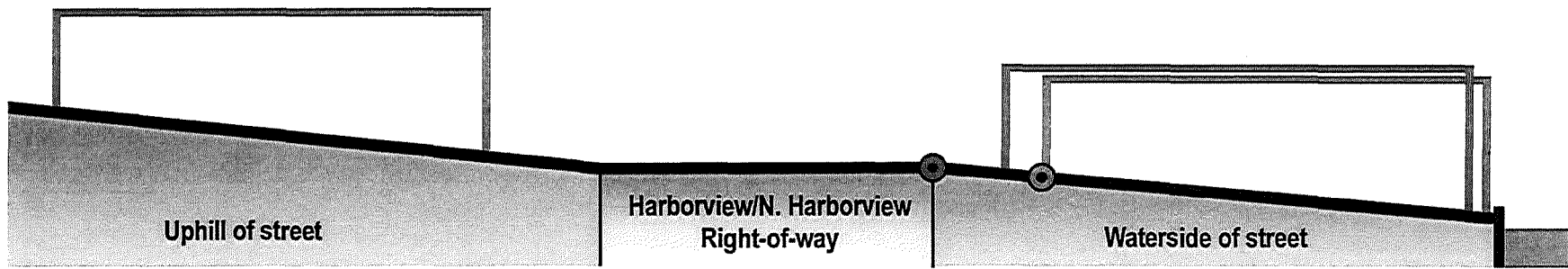
- a. The height of the basic structure shall be measured from the lowest elevation point at the setback lines. Height shall be measured from natural grade.
- b. The ridge of the basic structure shall be perpendicular to the shoreline or "point" to a significant view.
- c. No structures other than chimneys shall extend beyond the area defined by the gable or hip, i.e., no structure shall extend above the common rafter extending from the top wall plate to the ridge unless it is within the underlying 18-foot height envelope.
- d. The minimum roof pitch is 8/12. Equal pitches are used on the remaining portion of the house.
- e. A full-width front porch shall be included on the front side of the basic structure unit and windows on the entire structure shall be true-divided light windows if a grid pattern is desired.
- f. All other setback and height requirements are complied with.

\* \* \*

**GHMC 17.99.320 Historic district residential setbacks.**

**A. Conform to residential setback requirements.**

- |                          |   |
|--------------------------|---|
| 1. FRONT SETBACK MINIMUM | House – 20 feet; <u>in Waterfront Zones – 12 feet</u><br>Garage – 26 feet; <u>in Waterfront Zones – 18 feet</u><br>Porches – 12 feet; <u>in Waterfront Zones – 6 feet</u> |
|--------------------------|---|



**Site Section**

scale: 1" = 30'



Existing Allowed Residential Building Envelope



Proposed Residential Building Envelope in Waterfront Zones (WR, WM and WC)



Existing height measurement location (18-foot maximum height)



Proposed height measurement location (18-foot maximum height)

**Front Yard Setbacks**

**Existing:**

Porch - 12 feet

House - 20 feet

Garage - 26 feet

**Proposed:**

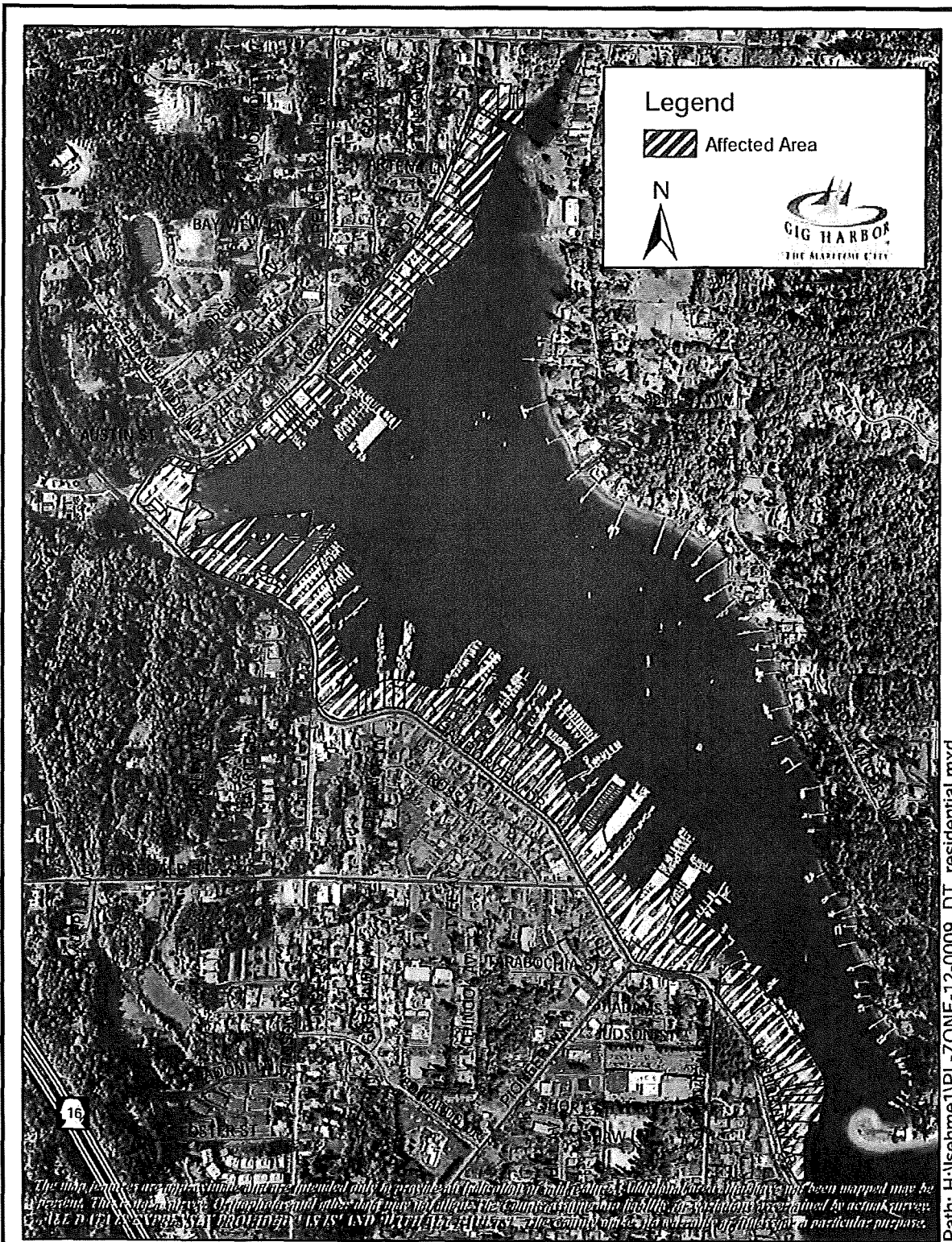
Porch - 6 feet

House - 12 feet

Garage - 18 feet

**Residential Buildings in Waterfront Zones Proposed Height & Setback Amendments**





## Residential Buildings in Waterfront Zones Proposed Height & Setback Amendments



- Written public comments received since July 8<sup>th</sup> and through noon on Tuesday, October 8<sup>th</sup>. Written comments received after noon will be transmitted separately.

**Kester, Jennifer**

---

**From:** Stanton, Lita  
**Sent:** Wednesday, August 28, 2013 10:53 AM  
**To:** Kester, Jennifer  
**Subject:** FW: Building Sizes

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Jenn:

As a CLG (Certified Local Government), the City has access to state experts in archeology, anthropology, and architecture. Nicholas is the state's historic architect.

He has attended the Storefront Studio Project and is very familiar with our downtown.

I asked Nicholas to review <http://www.cityofgigharbor.net/page.php?id=1691> and the proposed 27-ft height allowance for WC and DB.

Below is his input.

Please circulate to City Council if you think it appropriate.

(Nicholas is aware that I intended to share his input.)

Dawn.

---

**From:** Vann, Nicholas (DAHP) [mailto:nicholas.vann@dahp.wa.gov]  
**Sent:** Tuesday, August 27, 2013 1:53 PM  
**To:** Stanton, Lita  
**Subject:** RE: Building Sizes

Lita Dawn,

Thanks for the call. I share some of the same concerns that you do about the existing zoning code in regards to building height allowance. Given the current building height allowance of 16', there is no possible way to match the scale of many of the existing two story buildings in the downtown historic district. A two story building is very difficult to design well given that limitation. Some general comments on proper infill construction within historic contexts are as follows:

- Historic preservation is not meant to stagnate historic districts in a period of time. Rather, its intentions are to provide continued urban life and pedestrian activity to a historic district. This often is possible through rehabilitation of historic structures *as well as* sensitively designed infill construction. By allowing the increase in zoning height, the city would be matching many of the existing building heights as well as promoting infill development that can economically benefit the city, while giving the historic district additional support. This is a very sustainable approach and is very economically viable.
- The *Secretary of the Interior's Standards* 9 and 10 respectively read:
  - “[9] New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”
  - “[10] New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”
- It is important to also consider that zoning regulations are not intended to be design. They establish the maximum or minimum framework in which building construction must fit, but it has no aesthetic design qualities associated with it. This is where design review comes in, and where reviews by the Gig Harbor Historic

Preservation Commission come in to play. The theoretical proposals you have showed me with infill construction match the historic district quite well. It carries through the pedestrian-scale ground floor design elements evident elsewhere in the district (covered / canopied storefronts, welcoming entrance sequence, appropriately sized window openings with large amounts of transparency to the interior of spaces. The overall form is simple, and also has architectural features such as a transomed windows and a roof cornice. There are also side elevation setbacks.) Material choices are also vital and can make a huge difference in determining whether or not infill construction is successful. These are all design decisions that get reviewed by the City, thus ensuring that any infill construction will be thoughtfully and carefully reviewed by professionals with experience in design and/or historic preservation. The purpose of design review is to ensure that proposed development is sensitive to its historic / existing context.

- In regards to viewsheds and infilling open lots where these viewsheds might currently be supreme, Gig Harbor's history has been littered with different iterations of its building stock. The city has always had a very active waterfront, and the views of this working waterfront have been constantly evolving. At some point in time, the waterfront was full of large wharf buildings that didn't offer much in terms of today's viewsheds. Today's experience is also varied in regards to these viewshed opportunities. As a whole, there are plenty of existing viewsheds that would be uncompromised overall (only if you think about how one *moves* through the urban corridor, not how one *stands* in it).

I would stick to my first three points. The viewsheds topic can probably be a touchy one, and I'm not sure I have eloquently captured my point. Let me know what you think or if you have any questions or comments.

Thanks,  
Nick

**Nicholas Vann** | State Historical Architect  
360.586.3079 (office) | 360.628.2170 (cell) | [nicholas.vann@dahp.wa.gov](mailto:nicholas.vann@dahp.wa.gov)

Department of Archaeology & Historic Preservation  
1063 South Capitol Way, Suite 106 | PO Box 48343 | Olympia WA 98504-8343 | [www.dahp.wa.gov](http://www.dahp.wa.gov)

 please consider the environment before printing this email

*My weekly hours are 7am - 5pm, Mon-Thurs*  
Like [DAHP on Facebook!](#)

**From:** Stanton, Lita  
**Sent:** Thursday, August 08, 2013 10:55 AM  
**To:** 'Vann, Nicholas (DAHP)'  
**Subject:** Gig Harbor and Building Sizes

Great to talk with you yesterday.  
I'm following up on your gracious offer to take a look at our *building height ordinance* that's under review. I've posted images online that illustrate the *where, what, and why's*.  
Would you be available to review those web pages together over the phone?  
Let me know when it's convenient.

Thanks,  
Lita Dawn  
(253) 853-7609



**Kester, Jennifer**

---

**From:** Dave Morris [davem@kw.com]  
**Sent:** Friday, July 12, 2013 11:56 AM  
**To:** Payne, Tim; 'Jill Guernsey'; Steve Ekberg; Malich, Ken; paulkadzik@comcast.net; Young, Derek; Perrow, Michael  
**Cc:** Kester, Jennifer; 'Casey Arbenz'; 'David Boe'; 'Brett Marlo DeSantis'  
**Subject:** FW: Downtown Building Size and Height Amendments proposals

Greetings councilmembers:

Please review our recommendations attached regarding proposed building size and height amendments proposed for downtown. We understand you will be considering this topic later this month. Thank you, Dave Morris

---

**From:** Dave Morris [<mailto:davem@kw.com>]  
**Sent:** Friday, July 12, 2013 11:34 AM  
**To:** 'Kester, Jennifer'  
**Cc:** 'Hunter, Chuck'; 'Jill Guernsey'; 'David Boe'; 'Brett Marlo DeSantis'  
**Subject:** Downtown Building Size and Height Amendments proposals

Greetings Jennifer:

First of all, we thank you for the efforts of you and your staff for proactively considering changes that can help the downtown business corridor & climate survive & prosper in the future. Reasonable increases in both building size and height opportunities will translate to improvements in both the economics AND the architectural aesthetics of downtown gig Harbor.

My brother and I own property in downtown –so we are affected property owners. My wife and I reside at 2809 Harborview, so we are also residents. We all support the maximum reasonable increases in building size and height potential – and we support the height amendment as proposed by David Boe. Without adopting his amendment, the unintended consequences of the existing proposal would make buildings along sidewalk levels in particular – not only architecturally deficient, but potentially unsafe and subject to water damage to the extent that some structures would have their rear wall constructed “below sidewalk grade” which simply doesn’t make good sense.

To conclude -- we suggest that any increases in size and height be “adequate” and practical. In other words, make the increases substantial enough to allow architects, builders, business property owners, homeowners, etc. – to really take advantage of the intent of the changes, without having to be embroiled in legal entanglements, variances, appeals, etc., because the new regs, for example, were a few inches too conservative to meet practical height to accomodate fire codes, HVAC installations, insulation, roofing thickness etc. etc.

Best Regards,

Dave & Merrilyn Morris & Tom Morris

**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Friday, July 12, 2013 2:25 PM  
**To:** Hunter, Chuck; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Ekberg, Steve; Perrow, Michael; Young, Derek  
**Cc:** Kester, Jennifer; Stanton, Lita; jarcher@boearc.com; Rice, Paul  
**Subject:** RE: Downtown Building Size and Height Amendments Public Hearing Notice  
**Attachments:** IBC Building Height Definition.pdf; Harborview Residential Heights.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Mayor and Council Members, in response to the discussion at the Public Hearing on Monday Evening I respectfully submit the following for your additional consideration:

1. Residential Building Height: Last October I met with Tom Dolan, Jennifer Kester and Lita Dawn Stanton on this specific issue. At that time I was directed not to upset the apple cart on how building height is defined in the Zoning Code but look at using the existing way Gig Harbor calculated Building Height – and thus why I proposed the amendment last Monday to measure from the existing sidewalk (as it just moved the point not redefined how height is measured).

Since the concern is now to assure consistency within your code(s) on how Building Height is measured and the concern of future public work projects impacting allowable building height (as presented by Jennifer) – then I strongly recommend that the City of Gig Harbor measure Building Height consistent among all of your codes – your adopted Zoning, Building and Fire Codes. As you recently adopted the 2012 International Building and Fire Codes, Building Height with sloped roofs is measured to the Average Height of the roof (logically since ½ the roof is 'above' the height and ½ the roof is 'below'). Please see the attached excerpt from the International Building Code. This will bring your Zoning Code in conformance with your other adopted codes.

2. Historical Character along Harborview: Also attached are two examples of the exact same new residence – one per your current proposed code and one where the Building Height is measured per the International Building Code using the same point of reference on the property (from the highest point along the property line). You can toggle back and forth on the pdf to see the difference in what impact this will have to the streetscape and the pedestrians along the sidewalk.
  - A. This drawing shows the residence designed from the current highest point down (i.e. it is designed from the roof peak down in order to fit within the maximum height). This results in the Main Level 18" BELOW the existing sidewalk on Harborview Drive. The house will still be in a 'hole' relative to the street. If you approve the current code as proposed, this will be the structure that is built.
  - B. This drawing shows how residence will look if it is designed from the ground-up with three 6" steps up from the existing sidewalk at the midpoint of the site to the front porch – and when the Building Height is measure from the same point on the property using the International Building Code, the overall Building Height is less than 16-feet. All of your historic residential structures were designed from the ground-up – not from an arbitrary point in the sky down.

So it is really pretty simple, if you toggle back and forth and like Option A better and think that fits with the other historic residences along Harborview, then you are safe with approving the Planning Commission's recommendation. If you like Option B because the result is much more in keeping with the historic character of The Harbor – then I strongly recommend that you modify your height requirement to be consistent with you own adopted Building Code definition as this will also allow for the City of Gig Harbor to be consistent among your codes (and allow for new structures to be designed in a historically accurate way as well).

As an architect who has designed on over a dozen sites along the waterfront side of Harborview Drive and North Harborview Drive, I don't want to design a new building out-of-character to its surrounding (especially on a property in Historic Millville and directly adjacent to a historic residence – a photo of which is included in your own Design Manual) - but your current proposal will unfortunately result in a final product that will continue that awkward trend of houses built into holes and be contrary to all the effort spent on Visioning in Gig Harbor. Please consider this simple amendment to allow for quality projects to once again be built along the waterfront in Gig Harbor. Thanks for your consideration. David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** David Boe [mailto:dboe@boearc.com]

**Sent:** Friday, July 05, 2013 5:36 PM

**To:** Hunter, Chuck (Hunterc@cityofgigharbor.net); guernseyj@cityofgigharbor.net; 'paulkadzik@comcast.net'; MalichK@cityofgigharbor.net; 'tpayne@ema-inc.com'; EkbergS@cityofgigharbor.net; 'perrowm@cityofgigharbor.net'; 'YoungD@cityofgigharbor.net'

**Cc:** 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net); 'Stanton, Lita'; jarcher@boearc.com

**Subject:** RE: Downtown Building Size and Height Amendments Public Hearing Notice

Mayor and City Council Members, I again send you an e-mail regarding the Proposed Height Amendments for which you are having a Public Hearing on Monday (I hope to be able to attend to present as well). And again, I greatly appreciate the City of Gig Harbor revisiting the existing code relative to the Visioning process that you completed.

But again, I strongly urge you to consider measuring the uphill height to the back of the existing sidewalk instead of the along the front property line as currently proposed.

Why? Because if it stays as currently proposed, you will still get new residential buildings that will be built into a 'hole' relative to the sidewalk along the waterside of Harborview Drive (a condition that is not attractive nor represents the historical character of the Harbor.

Attached is a Drawing that highlights this – using a real site, with real site elevations, with a real project that is going to be submitted upon approval of the revised code (and will thus will be designed to the new revised code in whatever form it ultimately takes).

The true reality of this site, is that when measuring the building height as proposed currently by the City, the actual height relative to the existing sidewalk is not 18-feet but 16-feet 4 + 11/16ths-inches because the existing ground at the front property line is significantly below the existing sidewalk). Thus, the new residence design will end up having a main porch level also significantly BELOW the elevation of the existing sidewalk. All New Urbanism design manuals recommend that the front porch should be at least 18" ABOVE the corresponding pedestrian sidewalk level – and here we will end-up with a porch that is closer to 18" BELOW the existing sidewalk. This is the residence elevation



that is shown on the left side of the drawing (note 6-foot tall figure relative to the house!). With no change to the proposed code, this will be very close to what this project will look like.

Now IF the building height is measured to the back of the existing sidewalk, then at least the main porch level can be at or slightly above the existing sidewalk height. This allows the new residence to be designed much closer to the historic character and patterns of the Gig Harbor Waterfront. Also, because the sidewalk exists, any pedestrian walking along the sidewalk will know how high a new building can be – it is 18-feet from where they are standing. This is the residence elevation shown on the right side of the drawing that our client would much rather have us design and for them to occupy.

I propose that a simple amendment can be made to at least allow for new construction to be closer to the historical patterns and character of The Harbor. This would be to add the following:

"For new residences that have their main roofline parallel to the view towards the water, the maximum height is measured from the highest point located at the back of the existing public sidewalk within the property frontage."

I hope I am able to attend the Public Hearing on Monday to share these points with you personally. Thank you for taking the time to consider this amendment and I hope proposed an amendment which will allow for a new residence to be built along the waterfront in a manner much closer to the unique character of Gig Harbor. David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

**Sent:** Wednesday, June 26, 2013 9:14 AM

**To:** 'Ali Afrassiabi'; 'Anderson, Jani'; 'Anderson, Myron'; 'Archer, Jessica'; 'Bacchus, Ladd'; 'Berntsen, Edward'; 'Bevin, Avery'; 'Boe, David'; 'Bomkamp, Brent'; 'Bourscheidt, Barbara'; 'Bucy, Russ and Lynne'; 'Carlson, Chuck'; 'Cassell, Constance'; 'Champaco, Brent'; 'Chuck & Charli Meacham'; 'Chuck & June Meacham'; 'Clark, Dennis'; 'Clark, Marjie and Dennis'; 'Coutts, Valerie'; 'Crites, Michael'; 'Czuleger, Tami'; 'Davis, Brett'; 'Declements, Annie'; 'DesMarais, Mary'; 'Dishman, Bruce and Linda'; 'Dompier, Norma'; 'Draggool, Bob'; 'Draggool, Bob'; 'Drohan, Tom'; 'Evans, Bill and Karen'; 'Ford, Richard'; 'Frisbee, Bob'; 'Gagliano, Jeanne'; 'Gagliano, Joseph'; 'Gaigher, Shannon'; 'Gair, Bruce'; 'Gary, Tom'; 'Gerald, Bill'; 'Glein, Gary'; 'Glock-Johnson, Charlee'; 'Graffe, Jo'; 'Grinberg, Roy'; 'Harder, Barbara'; 'Herneux, Curtis'; 'Hill, Leonard'; 'Hill, Leonard'; 'Hoppen, Guy'; 'Hoppen, Mark'; 'Hunter, Dianne'; 'Jason Faulkner'; 'Johnson, Martha'; 'Johnson, Noah'; 'Junge, Scott'; 'Kabbhalim, Paris'; 'Kent-Smith, Tomi'; 'Kreitzer, Karl and Lois'; 'Lantz, Pat and John'; 'Lee, Janet'; 'Leroy, Margot'; 'Loiland, Sue'; 'Lovell, Abby'; 'McClements, Patty'; 'Meyer, Gary'; 'Miller, Wayne'; 'Mitton, Joanie'; 'Moist, John'; 'Morris, Dave'; 'Morrison, Julian'; 'Mott Janine'; 'Mueller, Randy'; 'Murray, Joyce'; 'nedderman, Ted and Nancy'; 'Norman, Peter'; 'Norton, Larry'; 'Oka Akiko'; 'Page, Trena'; 'Perrow, Wade'; 'Peterson, Joyce'; 'Peterson, Pam'; 'Pollitt, George'; 'Pugh, Nick'; 'Quincy, Jake'; 'Ragan, Greg and Karen'; 'Reed, Cindy'; 'Richardson, Lousie'; 'Rose, Andrew'; 'Ross, Debra'; 'Rushforth, Dennis'; 'Scanlan, Conor'; 'Seaquist, Larry'; 'Shaffer, Keirsten'; 'Shaffer, Lilly'; 'Simon Barbara'; 'Smith, lee'; 'Steifel, Justin'; 'Stenlyein, Alice'; 'Stevenson, Lynn'; 'Stouz, Nancy'; 'Thurston, Kathy'; 'Turley, Bryce'; 'Vance, Jan'; 'Vance, John'; 'Vergera, Haleigh'; 'Willenbrock, Jacob'; 'Willenbrock, Kelsea'; 'Wills Christine'; 'Winfrey, Patti'; 'Acker, Colene'; 'Acker, Jeff'; 'Ancich - Quigg, Kathleen'; 'Anderson, Claudia'; 'Bauder, John Vice President'; 'Beyerly, Bruce'; 'Bickford, Kaye'; 'Brent Tayet'; 'Brett Marlo-Desantis'; 'Bucher, Charles'; 'Clark, Dennis'; 'Curry, Laury'; 'Devereux, Betty'; 'Driggers, Barbara'; 'Frazier, Suzanne'; 'Gerlof, Charlotte'; 'Grimmer, Kurt'; 'Hartley, Steve'; 'Hopkins, D.'; 'Janes, Marc'; 'Jeane Gazabat'; 'Knapp, Robert'; 'Lepape, Marilyn'; 'Lucas, Bett'; 'Martinez, Fil'; 'Michaelson, Tony'; 'Millichap, Marcus'; 'Money, Bruce'; 'Norman, Peter'; 'Ortgiesen, Jon'; 'Perrow, Michael'; 'Pine, David'; 'Rodney Tayet'; 'Rogers, Bruce'; 'Schlicher, Nathan'; 'Smith, Lee'; 'Sorensen, Doug'; 'Stanley, Peter'; 'Sutich, Tom'; 'Taghavi, Jafar'; 'Wooock, Jenia'; 'Wood, Rob'

**Subject:** Downtown Building Size and Height Amendments Public Hearing Notice

Please find attached the Notice of Public Hearing for the Downtown Building Size and Height Amendment proposed for City Council public hearing on Monday July 8<sup>th</sup>, 2013 at 5:30 pm. Please contact Jennifer Kester, Planning Director at 253-853-7631 or [kesterj@cityofgigharbor.net](mailto:kesterj@cityofgigharbor.net) if you have any questions. Thank you Cindy Andrews

*Cindy Andrews*

*Community Development Assistant*

*City of Gig Harbor Planning Department*

*(253) 851-6170*

*[andrewsc@cityofgigharbor.net](mailto:andrewsc@cityofgigharbor.net)*



# HOW BUILDING HEIGHT IS MEASURED

## DEFINITIONS

**[F] HANDLING.** The deliberate transport by any means to a point of storage or use.

❖ The term "handling" pertains to the transporting or movement of hazardous materials within a building. Handling presents a level of hazard that is of a lesser degree than that of use or dispensing operations but greater than storage. Material is handled only when it is transported from one point to another; it is the act of conveyance. The definition provides the means to determine proper controls necessary to provide safety in the transport mode. Specific handling requirements for various hazardous materials are contained in the IFC.

**HANDRAIL.** A horizontal or sloping rail intended for grasping by the hand for guidance or support.

❖ Handrails are provided along walking surfaces that lead from one elevation to another, such as ramps, and stairways. Handrails may be any shape in cross section provided that they can be gripped by hand for support and guidance and for checking possible falls on the adjacent walking surface. In addition to being necessary in normal day-to-day use, handrails are especially needed in times of emergency when the pace of egress travel is hurried and the probability for occupant instability while traveling along the sloped or stepped walking surface is greater. Handrails, by themselves, are not intended to be used in place of guards to limit falls at drop-offs. Where guards and handrails are used together, the handrail is a separate element typically attached to the inside surface of the guard. The top guard cannot be used as a required handrail, except within dwelling units where the height is restricted to that of a handrail (see Section 1012). See the commentary for "Guard." For loading on handrails, see Section 1607.8.

**HARDBOARD.** A fibrous-felted, homogeneous panel made from lignocellulosic fibers consolidated under heat and pressure in a hot press to a density not less than 31 pcf (497 kg/m<sup>3</sup>).

❖ Hardboard is used for various interior applications, as well as siding applications. Other ingredients may be added during processing to provide or improve properties, such as strength, water resistance and general utility.

**[F] HAZARDOUS MATERIALS.** Those chemicals or substances that are *physical hazards* or *health hazards* as classified in Section 307 and the *International Fire Code*, whether the materials are in usable or waste condition.

❖ The term "hazardous materials" refers to those materials that present either a physical or health hazard. A specific listing of hazardous materials is indicated in Sections 307.3, 307.4, 307.5 and 307.6. An occupancy containing greater than the MAQ per control area of these materials as indicated in Table 307.1(1) or 307.1(2) is classified in one of the four high-hazard occupancy classifications.

**[F] HAZARDOUS PRODUCTION MATERIAL (HPM).** A solid, liquid or gas associated with semiconductor manufacturing that has a degree-of-hazard rating in health, flammability or instability of Class 3 or 4 as ranked by NFPA 704 and which is used directly in research, laboratory or production processes which have as their end product materials that are not hazardous.

❖ This definition identifies those specific materials that can be contained within an HPM facility. The restriction in the definition for only hazardous materials with a Class 3 or 4 rating is not intended to exclude materials that are less hazardous, but to clarify that materials of the indicated higher ranking are still permitted in an HPM facility without classifying the building as Group H. NFPA 704 is referenced in order to establish the degree of hazard ratings for all materials as related to health, flammability and instability risks.

**HEAD JOINT.** Vertical mortar joint placed between masonry units within the wythe at the time the masonry units are laid.

❖ Vertically oriented joints between masonry units are head joints [see Figure 202.2(2)].

**[F] HEALTH HAZARD.** A classification of a chemical for which there is statistically significant evidence that acute or chronic health effects are capable of occurring in exposed persons. The term "health hazard" includes chemicals that are toxic or highly toxic, and corrosive.

❖ Materials that present risks to people from handling or exposure are considered health hazards. Examples of these types of materials are indicated in Section 307.6. Buildings and structures containing materials that present a health hazard in excess of the MAQ would be classified as Group H-4. Materials that present a health hazard may also present a physical hazard (see the definition of "Physical hazard") and must comply with the requirements of the code applicable to both hazards.

**HEAT DETECTOR.** See "Detector, heat."

❖ Heat detector is defined under "Detector, heat" and is addressed in the commentary for that term.

**HEIGHT, BUILDING.** The vertical distance from grade plane to the average height of the highest roof surface.

❖ This definition establishes the two points of measurement that determine the height of a building. This measurement is used to determine compliance with the building height limitations of Section 503.1 and Table 503, which limits building height both in terms of the number of stories and the number of feet between the two points of measurement.

The lower point of measurement is the grade plane (see the definition of "Grade plane"). The upper point of measurement is the roof surface of the building, with consideration given to sloped roofs (such as a hip or gable roof). In the case of sloped roofs, the average height would be used as the upper point of measurement, rather than the eave line or the ridge

## DEFINITIONS

line. The average height of the roof is the mid-height between the roof eave and the roof ridge, regardless of the shape of the roof.

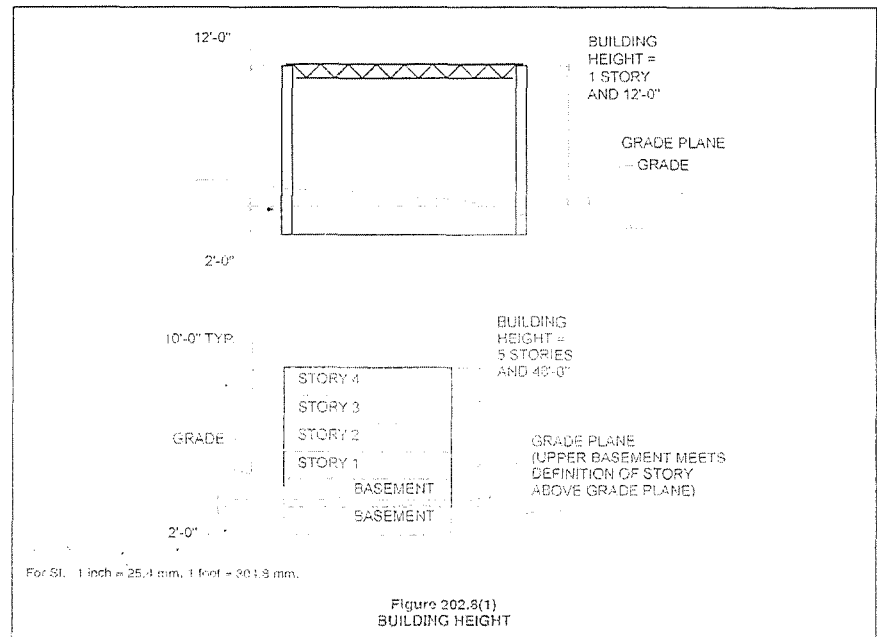
This definition also indicates that building height is measured to the highest roof surface. In the case of a building with multiple roof levels, the highest of the various roof levels must be used to determine the building height. If the highest of the various roof levels is a sloped roof, then the average height of that sloped roof must be used. The average height of multiple roof levels is not to be used to determine the building height. Where structures are divided into multiple buildings by fire walls, building height is determinable for each building separately.

The distance that a building extends above ground also determines the relative hazards of that building. Simply stated, a taller building presents relatively greater safety hazards than a shorter building for several reasons, including fire service access and time for occupant egress. The code specifically defines how building height is measured to enable various code requirements, such as type of construction and fire suppression, to be consistent with those relative hazards [see Figure 202.8(1) for the computation of building height in terms of feet and stories].

The term "height" is also used frequently in the code for other limitations related to, and sometimes not related to, "building height." For example, Section 1509 limits the height of a penthouse above the top of the roof. Since a "Penthouse" is defined as a structure that is built above the roof of a building, it is above the point to which "Building height" is measured. Therefore a penthouse would not affect the measurement of building height and can be located above the maximum allowed roof height provided it complies with the limitations of Section 1509. Other provisions such as Sections 1013 and 1406 specify requirements based on height, but such height is usually measured from a location other than grade plane and is not intended to be building height.

**HELICAL PILE.** Manufactured steel deep foundation element consisting of a central shaft and one or more helical bearing plates. A helical pile is installed by rotating it into the ground. Each helical bearing plate is formed into a screw thread with a uniform defined pitch.

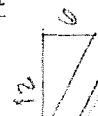
❖ This definition clarifies a term that refers to a specific type of deep foundation element (see the design requirements in Section 1810.3.1.5).





4520'

MAXIMUM HEIGHT ALLOWED BY CURRENTLY PROPOSED CODES  
43.750'



17'-8" NOM.



HIGHEST ELEVATION OF PROPERTY VMS & PROTRACTOR

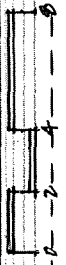
12" UP FROM

9'-6"

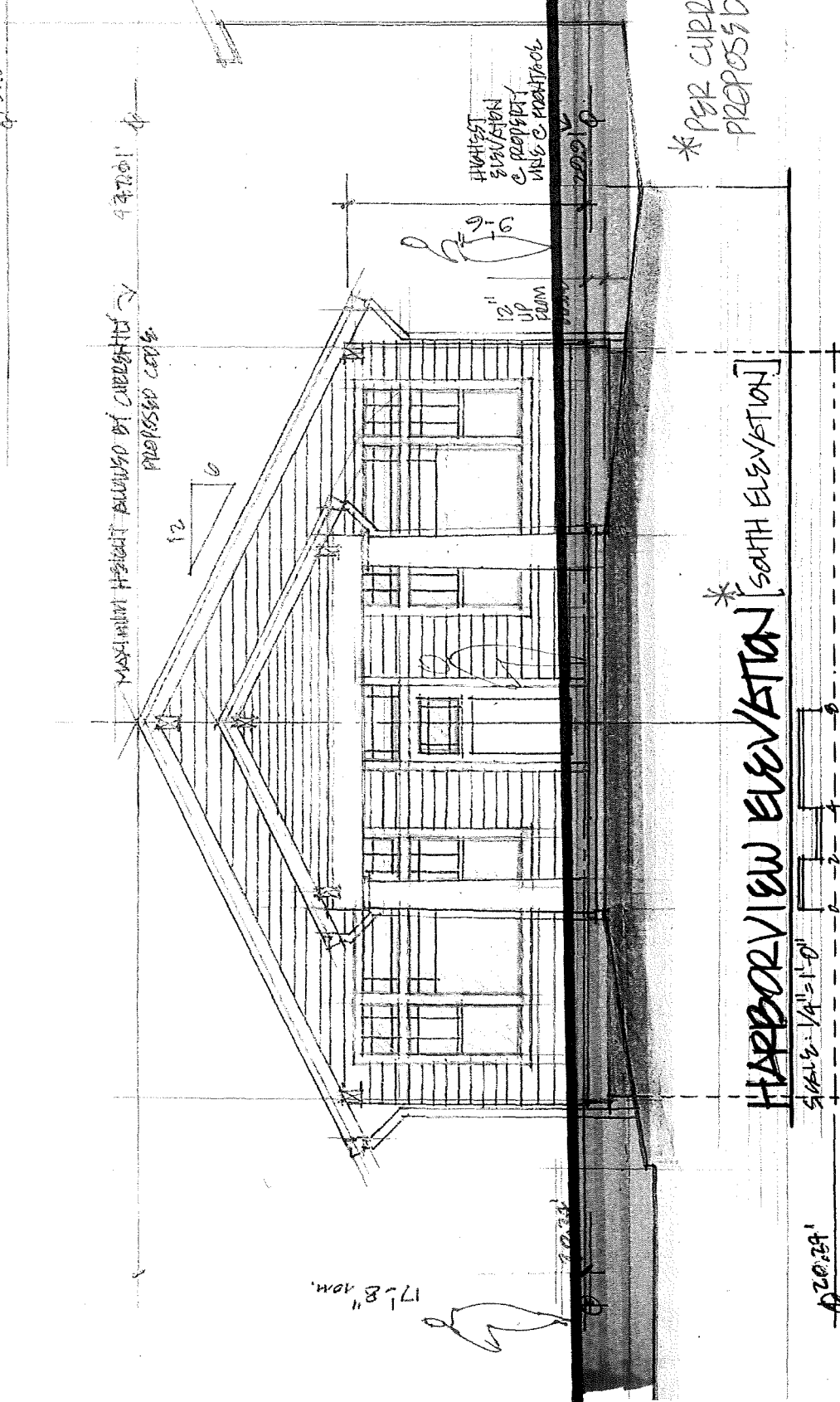
\* PER CURRENT PROPOSED CODE

HARBORVIEW ELEVATION [SOUTH ELEVATION]

SCALE: 1/4" = 1'-0"



15.029'



0.530

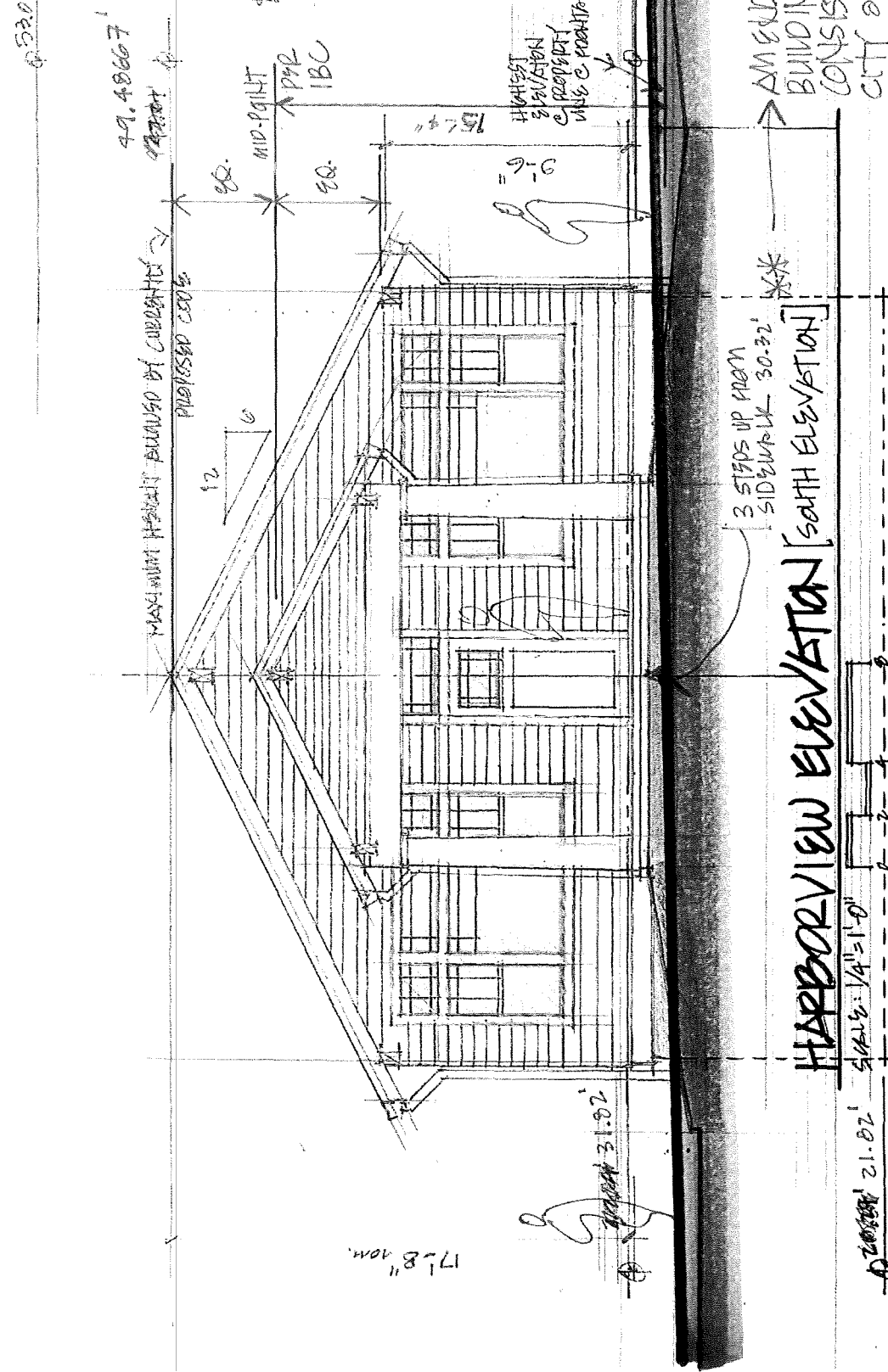
49.48667'

MAXIMUM HEIGHT ALLOWED BY CURRENTLY APPLICABLE PROPOSED CODE

MID-HEIGHT PAR IBC

HIGHEST ELEVATION OF PROPOSED WALKWAY

20.0'



3 STEPS UP FROM SIDEWALK 30.32'

# HARBORVIEW ELEVATION [SOUTH ELEVATION]

SCALE: 1/4" = 1'-0"

21.82'

AMENDMENT PAR BUILDING HEIGHT CONSISTENT WITH CITY OF ELG HARBOR ADOPTED BUILDING CODE

# B.

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Tuesday, July 23, 2013 11:12 AM  
**To:** Kester, Jennifer  
**Subject:** FW: Zoning Heights

FYI

---

**From:** barbgig35 [mailto:barbgig35@comcast.net]  
**Sent:** Monday, July 22, 2013 2:40 PM  
**To:** Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Young, Derek; Ekberg, Steve; Payne, Tim; Perrow, Michael; Hunter, Chuck  
**Subject:** Zoning Heights

What would a water view be without a view of the water? Please consider the value of our beautiful Gig Harbor Village as a place where walkers, bikers and drivers can all see the water, not just those able to afford waterfront property. When you vote, please do the right thing for the greatest amount of common good, not just a privileged few.

Thank You

Barb Bourscheidt

[guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net); [paulkadzik@comcast.net](mailto:paulkadzik@comcast.net); [MalichK@cityofgigharbor.net](mailto:MalichK@cityofgigharbor.net); [YoungD@cityofgigharbor.net](mailto:YoungD@cityofgigharbor.net); [EkbergS@cityofgigharbor.net](mailto:EkbergS@cityofgigharbor.net); [hunterc@cityofgigharbor.net](mailto:hunterc@cityofgigharbor.net); [tpayne@ema-inc.com](mailto:tpayne@ema-inc.com); [perrowm@cityofgigharbor.net](mailto:perrowm@cityofgigharbor.net);

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Monday, July 29, 2013 11:49 AM  
**To:** Kester, Jennifer  
**Subject:** FW: (no subject)

---

**From:** CFisc78212@aol.com [mailto:CFisc78212@aol.com]  
**Sent:** Monday, July 22, 2013 10:37 AM  
**To:** Hunter, Chuck  
**Subject:** (no subject)

I am adding my voice to voting down an increase in the building height along the beautiful harbor of Gig Harbor. I elected to move here 2 years ago because of the harbor and the wonderful views afforded to ALL the residents and the tourists. My choice was Edmonds or Gig Harbor -- the unobstructed view was one of the major reasons I chose Gig Harbor. In the last 2 years I have noticed more real estate and commercial offices taking the place of local retail stores --why would tourists come to see them?

Thank you for listening.

Claudia D. Fischer  
6766 Spinnaker Lane  
Gig Harbor, WA 98335  
253-509-0766 - Primary  
360-271-5015 - Cell

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Wednesday, July 31, 2013 10:59 AM  
**To:** Kester, Jennifer  
**Subject:** FW: New Building Heights

---

**From:** [webbbryan@comcast.net](mailto:webbbryan@comcast.net) [mailto:[webbbryan@comcast.net](mailto:webbbryan@comcast.net)]

**Sent:** Wednesday, July 31, 2013 12:28 AM

**To:** Hunter, Chuck; Payne, Tim; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; [paulkadzik@comcast.net](mailto:paulkadzik@comcast.net); Malich, Ken; Young, Derek

**Subject:** New Building Heights

Council Members,

It has come to my attention that new zoning rules are being considered for the historic waterfront in Gig Harbor.

While I am not totally clear on the reasons why these new rules are being considered, it really doesn't appear to me that there is ANY reason to consider these changes. Looking at the photos and drawings of what is being proposed made me want to cry.

The beautiful waterfront in Gig Harbor is a big reason why I chose to move here in the first place.

The beautiful waterfront is a big reason why people come here to spend their vacations. If the council decides to change the rules to make it possible to build 27' high buildings that would block the beautiful views of our beloved harbor, then it is the beginning of the end of our great city. Our historic waterfront is what sets the City of Gig Harbor apart from all other cities in the region. Every time I tell someone that I live in Gig Harbor, they comment on how beautiful the city is....**ESPECIALLY** the downtown area that includes the waterfront.

Set zoning rules for taller buildings elsewhere in the city if you must, but **LEAVE THE HARBOR ALONE!** In fact, you should all be **PROTECTING** the harbor from changes like this. There is a reason why they call it "historic"! I'm willing to bet that if you all took the time to ask the city residents and the people who like to vacation here what their opinion would be on this matter, they would agree with me.

It's funny, I was just recently commenting to someone on how well-run my city is. I mentioned the great idea to make the changes in traffic patterns at Donkey Creek Park. But this? This is very disappointing to say the least.

I encourage you all to think long and hard before making a decision on this one...your city is watching.

Bryan Webb  
253-509-0380 h  
253-888-5915 c  
[webbbryan@comcast.net](mailto:webbbryan@comcast.net)

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Wednesday, August 14, 2013 7:52 AM  
**To:** Kester, Jennifer  
**Subject:** FW: Harbor View

FYI

---

**From:** Mera Neufeldt [mneufeldt@comcast.net]  
**Sent:** Tuesday, August 13, 2013 7:59 PM  
**To:** Hunter, Chuck  
**Subject:** Harbor View

Dear Sir,

I am writing on behalf of those who wish to keep the wonderful views and warm ambience of the harbor. I am one of many people who regularly walk and enjoy the harbor . I see how many people enjoy the scene the way it is. Please do not vote for the 27 foot height change that has been proposed to the city council.

Respectfully,

Mera L. Neufeldt  
9722 Harborview Place,  
Gig Harbor

**Kester, Jennifer**

---

**From:** Brekke, Laurelyn  
**Sent:** Friday, August 16, 2013 5:30 PM  
**To:** Ekberg, Steve; Guernsey, Jill; Kadzik, Paul; 'Kadzik, Paul'; Malich, Ken; Payne, Tim; Perrow, Michael; Young, Derek  
**Cc:** Hunter, Chuck; Towslee, Molly  
**Subject:** FW: Care 2 Petition

Good Afternoon:

The e-mail below came in addressed to Council.

*Laurelyn Brekke*  
Executive Assistant  
City of Gig Harbor  
Desk: 253.853.7638  
[www.cityofgigharbor.net](http://www.cityofgigharbor.net)

---

**From:** Jayne Dempsey [<mailto:jaynedempsey@yahoo.com>]  
**Sent:** Friday, August 16, 2013 4:54 PM  
**To:** Brekke, Laurelyn  
**Subject:** Care 2 Petition

Dear Council Members,

As a lifelong resident of Gig Harbor, there are changes I've witnessed that are good for the growth of the City, and those that do not serve that purpose!!

Re: new zoning rules for Harborview Drive, I strongly OPPOSE!!!

Jayne Stanich Dempsey



**Kester, Jennifer**

---

**From:** Mark Hoppen [hoppenm@gmail.com]  
**Sent:** Thursday, August 29, 2013 7:27 AM  
**To:** Payne, Tim; Ekberg, Steve; Guernsey, Jill; Malich, Ken; Young, Derek  
**Cc:** Hunter, Chuck; Stanton, Lita; Kester, Jennifer; paulkadzik@comcast.net; Richards, Dennis  
**Subject:** Zoning DB and WC

The illustrations that Lita Dawn is drawing up should include perspectives from El Pueblito, from the top of Tarabochia Lane, and from the under-developed and undeveloped lots up Pioneer Way. In other words, the real problem with this zoning proposal may be a mass-and-scale and height issue in the transition between zones in the upper reaches of the DB Zone. The issue of view corridors, other than main arterial hill corridors already protected in the Comprehensive Plan, are a separate policy issue, if the concept is to be expanded in some fashion. Frankly, I think the term "view corridors" is not what Jeni Woock really means. If she was versed enough, then I think she would have described a mass-and-scale and height issue in both WC and DB as her concern. View issues, then, are by-products, not the issue in-and-of itself.

In my view, the WC is no problem for numerous, obvious reasons. The upper DB, though, is a serious enough problem that without thought and mitigation to the policy, it ought to be a fatal flaw.

Mark Hoppen  
8133 Shirley Avenue  
Gig Harbor, WA  
253 279-2415 (cell)

**Kester, Jennifer**

---

**From:** Chris Coates [CCoates@tranow.com]  
**Sent:** Monday, September 09, 2013 9:31 AM  
**To:** Kester, Jennifer  
**Subject:** FW: I am fine with the new zoning (address: 4912 Deer Creek in Gig Harbor)

---

**From:** Chris Coates  
**Sent:** Monday, September 09, 2013 9:31 AM  
**To:** 'andrewsc@cityofgigharbor.net'  
**Subject:** I am fine with the new zoning (address: 4912 Deer Creek in Gig Harbor)

I have a residence in Gig Harbor city limits and am fine with allowing more commercial development in downtown. We have so many opportunities for growth to allow tourism and economic development. People need to support change (like the new narrows bridge) instead of living in the past.

Chris

**Confidentiality Note:** This message, including any attachments, is for the sole use of the addressee and may contain protected health information and/or other confidential and privileged information. Access to the message by anyone other than the intended recipient is unauthorized. If you are not the intended recipient, any disclosure, copying, distribution, forwarding or any action taken or not taken in reliance on it, is prohibited and may be unlawful. If you are not the intended recipient, please contact the sender and destroy all copies of the original message.

**Kester, Jennifer**

---

**From:** erik hansen [hans55@sbcglobal.net]  
**Sent:** Thursday, October 03, 2013 6:52 AM  
**To:** Kester, Jennifer  
**Subject:** Waterfront development - no changes please

Please do not change or allow any changes to the waterfront. We do not need to ruin this gem.

Thanks E. Hansen

**Kester, Jennifer**

---

**From:** Michael Crites [mjcrites@gmail.com]  
**Sent:** Thursday, October 03, 2013 1:45 PM  
**To:** Kester, Jennifer  
**Subject:** New downtown zoning

I'm in complete support of the new down town zoning regulations. To have a healthy, functional, down town you need to have buildings that are fronted to the street, mixed use zoning, and densities that are high enough to support a live-work-play environment. The proposed zoning changes are a good first step in that direction. I hope that in the future that buildings taller than 27' will be allowed in areas other than on Harborview Drive.

Michael Crites  
9514 Goodman Ave  
Gig Harbor Wa 98332

**Kester, Jennifer**

---

**From:** Jim Nelson [jen@jnels.org]  
**Sent:** Friday, October 04, 2013 10:25 AM  
**To:** Kester, Jennifer  
**Subject:** Waterfront Buildings & Waterfront Home Regulations

An experience - and a suggestion:

In many German cities, when building heights are a matter of public concern, there is a requirement prior to building/code approval that maximum-height-poles be installed at all roofline corners of the property. This provides an immediate check on the visual impact of all building plans prior to zoning or construction.

My suggestion is that, prior to voting on new proposed Harborview zoning regulations, maximum-height-poles be installed as examples to illustrate the issues in question. Through this approach, all parties would be better informed about potential impact of the proposed changes.

Regards....//Jim Nelson//

8103 Bayridge Ave  
Gig Harbor, WA 98332  
Ph: 253-851-3983

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Tuesday, October 08, 2013 11:25 AM  
**To:** Kester, Jennifer  
**Subject:** FW: zoning changes

FYI

---

**From:** Carmela Micheli [<mailto:carmela@harboret.com>]  
**Sent:** Saturday, October 05, 2013 8:38 AM  
**To:** Hunter, Chuck  
**Subject:** zoning changes

I am writing to urge you to not amend the current zoning rules on building heights and setbacks. The views of our harbor are limited enough now. As we have seen before, when the Russell Building was finished, that all the pictures, drawings and words go out the window when in the end more of our view is gone. The views (as well as access) should belong to the community not to individuals and businesses with enough money to control them.

*Carmela Micheli*  
[carmela@harboret.com](mailto:carmela@harboret.com)

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Tuesday, October 08, 2013 11:24 AM  
**To:** Kester, Jennifer  
**Subject:** FW: PLEASE DON'T LET THEM BLOCK OUR GIG HARBOR WATERVIEW

FYI

-----Original Message-----

**From:** Irene Kelton [<mailto:kelton.irene532@gmail.com>]  
**Sent:** Monday, October 07, 2013 1:44 PM  
**To:** Hunter, Chuck  
**Subject:** PLEASE DON'T LET THEM BLOCK OUR GIG HARBOR WATERVIEW

YOU WILL BE REMOVING THE CHARM OF THIS DESTINATION TOWN....

NEXT THING , BIG BOX STORES WILL MOVE IN HERE

I'M TELLING EVERYONE I KNOW ABOUT THIS SNEAKY PLAN BY THE CITY COUNCIL

NOBODY IN GIG HARBOR WANT THIS

**Kester, Jennifer**

---

**From:** Hunter, Chuck  
**Sent:** Tuesday, October 08, 2013 11:19 AM  
**To:** Kester, Jennifer  
**Subject:** FW: Revised zoning - Gig Harbor Waterfront

FYI

---

**From:** Charles Thompson [<mailto:thompsonch1@gmail.com>]  
**Sent:** Tuesday, October 08, 2013 9:03 AM  
**To:** Hunter, Chuck  
**Cc:** [jeni@citizens4ghwaterfront.mygbiz.com](mailto:jeni@citizens4ghwaterfront.mygbiz.com)  
**Subject:** Revised zoning - Gig Harbor Waterfront

To the Counsel... Consider this email as an opportunity to re-establish the fact that you represent the voice of the people ( Gig Harbor residents ) as opposed to supporting any special interest groups (developers) wanting to change the face of the waterfront side of downtown Gig Harbor.

With over 1200 signatures along and the outcry of concerned Gig Harbor residents on this issue, it is clear that that the Counsel need to understand that: WE DON'T WANT YOU TO SUPPORT ANY REVISED ZONING FOR OUR GIG HARBOR WATERFRONT! I would restate this again but I hope the forgoing message is clear.

It's not a matter of who is right or wrong on this issue. It's a matter of perception by Gig Harbor residents as to a potential impact on this issue. LEAVE WELL ENOUGH ALONE.


C. Thompson  
Gig Harbor, wa



- Written public comments received prior to July 8, 2013 close of public comment period
- Meeting minutes documenting testimony taken at Planning Commission hearings on December 6, 2012, March 21, 2013 and April 11, 2013 and the City Council hearing on July 8, 2013

7/18/13 Council mtg

Mayor Hunter opened the public hearing at 5:43 p.m. No one came forward and the hearing closed. This will return at the next meeting for second reading on the consent agenda.

 3. Public Hearing and First Reading of Ordinance – Downtown Building Size and Height Amendments. Planning Director Jennifer Kester presented an extensive background of four proposed amendments to the downtown building size and height, and waterfront residential codes.

Planning Commission Chair Harris Atkins explained that these amendments are the first step in the process to promote the Harbor Vision adopted by the city. He mentioned that the Planning Commission took this task seriously and spent quite a bit of time coming to these proposed amendments. Chair Atkins thanked staff for their support during the process, especially for helping them to understand the ramifications of any action. He said that they are working towards converting the vision statement to policy recognizing that there are potential elements that may be in conflict. He said that these amendments are an attempt to strike the balance between a successful downtown and maintaining the character of Gig Harbor.

Director Kester addressed Council questions. Mayor Hunter opened the public hearing at 6:15 p.m.

Marilyn Lepape – 10408 Kopachuck Dr. NW. Ms. Lepape said she grew up in Gig Harbor and she would hate to see the wonderful character of the town change. She said to leave the waterfront as is to allow people to walk along and see the water, and also commented that these changes could cause a corridor feeling. She said she likes the variations in the sizes of the buildings and that she thinks we are trying to urbanize Gig Harbor. She said that changing the height requirements on the water side will diminish one of the greatest assets of the harbor, citing the vision plan “to keep a vibrant place with a walkable waterfront with picturesque views in a natural environment.” She said she would hate to see Gig Harbor become something it isn’t.

Ralph Christ – 865 11<sup>th</sup> Ave. Fox Island. Mr. Christ said that he and his wife own under-developed property in Gig Harbor, and have seen their taxes go up over 100% in the past two years. He asked for clarification on whether building to the existing footprint decreases the property value. Ms. Kester responded that there is no proposed changed to the footprint; you could build up to the existing 6,000 square foot limit and up to 27 feet in height with this proposal. She also responded that State guidance decides what homes are historical; usually those over 50 years old, and that it’s up to the homeowners to register the property.

David Pine – 3317 Rosedale Street. Mr. Pine showed Council a photo of the El Pueblito Restaurant which he said is 18 feet high. If they are allowed to increase that another 9 feet, it will block the views from the homes located behind. He said he hopes there will

be exemptions to this rule as property values would be impacted. He said he is against the 27 foot height increase.

Nick Pugh – 3311 Ross Avenue. Mr. Pugh thanked the Council and Mayor for doing an excellent job in the downtown area. He said he and his architect worked through all the criteria to build in the historic district and that they had an expectation that they would be looking at 6/12 roof pitches on the other buildings in that area. He said he understands the proposal for a 27 foot height increase, but is somewhat bitter, and wanted to know if he could increase his height to 27 feet with a flat roof/square building like he had before he stepped up and followed the city guidelines. He would like to see guidelines remain in force and suggested you look at each property individually to prevent impact to the view corridor and to preserve the historic nature of the downtown.

Jeni Woock – 3412 Lewis Street. Ms. Woock thanked Council and the Planning Commission for their hard work on this proposal. She said Gig Harbor is known for its beautiful harbor, walks to the water, and wildlife, adding that the vision statement makes mention of the views. She emphasized that the harbor and its view doesn't belong to any of us, but to all of us, and we are the caretakers for future generations, so it is our responsibility to be good caretakers of the harbor, including the view. She asked how anyone has the right to build two-story buildings on the water-side in front of the view that we have been given to protect. Stressing that tourists visit to enjoy the view of the water, she said that when it's gone, it's gone. Once the precedence has been set, other waterfront commercial buildings will want to do the same. She said she has been told that no one is asking for these changes, so why make them. These rules will affect the picturesque views that are supposed to be important. Precedent has possibility of changing how downtown looks forever. She asked Council to be a hero to our kids by modeling that the beautiful view is more important than two-story buildings, by grandfathering in existing two-story buildings to rebuild in a catastrophe, and by encouraging new businesses to build two-story buildings elsewhere.

Jack Bujacich – 3607 Ross Avenue. Mr. Bujacich explained that he wanted to mostly speak to the residential area from Skansie Park to Hoppen's. He stressed that even a new 10 foot house would block the view if you are walking down the street. He said that the established residential homes consist of older tall buildings; that's what makes Gig Harbor. He named off many "double-story" houses, some over 27 feet, adding that they aren't blocking any more views. He said that there are city parks all along the street, and there is only one vacant lot left to build that he and his brother own; and it's used for a parking lot. What's there is there, and if you want to retain the historic character of Gig Harbor then keep that type of construction on the waterfront...it looks good that way.

Greg Hoeksema – 9105 Peacock Hill Avenue. Mr. Hoeksema asked for clarification on rebuilding to the current footprint. Ms. Kester explained that if you are under the

maximum 6000 square foot limit, you could tear down and rebuild. If you are over the 6000 limit, this proposal would allow you to rebuild to the existing footprint.

Mr. Hoeksema said he decided to move to Gig Harbor after walking down the street in 1985. He explained that he became an activist when changes to the design manual were being considered around ten years ago when the Waterfront Inn was built. He disagreed with what was said about taller buildings not impacting the view due to the steep topography on either the waterside or uphill side of Harborview. He voiced concern that you are proposing something that seems reasonable now, but through the variance process, you could end up with a huge building on a tiny lot like the Waterfront Inn. They were allowed a higher roofline, and then the neighbors on each side were given variances. There now is a significant impact to the view corridor as you are walking along Harborview Drive. He voiced concern that as you raise the heights of the buildings in that area you will impact the view, adding that he is opposed to the lot after lot of two-story buildings that would occur over time.

David Boe – 705 Pacific Avenue, Tacoma. Mr. Boe addressed the historical nature of the residential area, specifically the height of the existing houses. He said that the older homes were designed from the ground up; they have porches that are up two or three steps up from grade and then there's the house. In the past ten years, the measurement is happening from the top down in order to fit the lot, and now houses are being placed two or three feet below the sidewalk. He presented two drawings illustrating a simple craftsman style home that fits the historic character of the neighborhood, but with the first floor below the sidewalk. He explained that this is because Harborview was filled in and banked so that in some areas the water-side is higher than the upland side. He said in order to make the houses look correct you need to measure the height from the highest point on the sidewalk.

Councilmember Kadzik asked for clarification on how he would address a very steep grade. Mr. Boe responded that you would fill in the gap with dirt excavated from the construction. This way the porch would have more of a relationship with the sidewalk which would create a more walkable, historical character of a streetscape.

Councilmember Ekberg asked if the two new houses next to the Bujacich Netshed were built according to this recommendation, then wouldn't that create a much higher elevation. Mr. Boe responded that on that steep of a site, trying to get two levels you would still be working down.

Wade Perrow – 9105 Harborview Drive. Mr. Perrow thanked Council for moving the Vision Statement forward and stressed that it's challenging to try and legislate good taste. He voiced concern that we have a desire to maintain the historic nature through the design manual, but are limited as far as measuring the building height. He cited two

properties: 9113 Harborview Drive which is 7-1/2 feet below the street, and 8715 which is approximately 17 feet below. He explained that these buildings are low because the road has been built up creating an artificial landscape that you are now trying to match. This forces buildings down in a hole so that you are looking at roofs, sewer vents, and skylights. He agreed that the height should be measured from the sidewalk, but added that this is a challenge that needs to be considered in more depth. He then voiced his concern with the commercial area by saying the Vision Statement talks about the downtown going from Vernhardson to the Old Ferry Landing, but only the core downtown is being considered in this proposal. The Finholm District has a preponderance of flat-roofed buildings, and leaving this area out of the discussion is avoiding a big part of the vision, he said. He then asked Council to consider asking the Planning Commission to include the Finholm District.

Councilmember Kadzik asked for a contractor's point of view on how practical it would be to fill the void if you measure height from the sidewalk or the property line as has been proposed. Mr. Perrow responded that it's practical to fill the void, adding that you would still have stair step buildings in order for it to blend. He said that from the sidewalk you would have more of the historic flavor and look. He also said that you would have to rely upon the property owner to do the right thing. As Mr. Bujacich said, two-story buildings are part of the fabric of the area and we need to figure out a way to continue to do that on the water side.

Councilmember Young asked to clarify why the Finholm District was excluded from these recommendations.

Ms. Kester explained that the results of the town-hall survey show that the majority of people identify "the downtown" as the core area. The Planning Commission was asked to look at small changes that would provide flexibility and maintain the scale under the current parameters of the comp plan, adding that they began working on this before the Harbor Vision was adopted. Because the DB Zone had the most intense uses, they decided to focus the process there, acknowledging that it once these changes are adopted it will be necessary to look at the entire stretch along the harbor up to the Finholm District.

Gary Meyers, GKS Building Design - 2009 53<sup>rd</sup> St. NW. Mr. Meyers asked who to approach to discuss plans for their property located between the Tides Tavern and The Green Turtle Restaurant. He explained that it might be quite some time before the Haub's move forward with the master plan for that area, but they would like to move ahead with their own plans for their property that fits with the Master Plan that has already been reviewed. He was directed to come to the Planning Department with any new plans that they would like to discuss.

Colleen Aker – 3320 Lewis Street. Ms. Aker moved here from Wisconsin a year ago because it's so beautiful, and she said the city has done a good job of preservation of such a gorgeous, wonderful area. She said that people consider the area downtown historic, and if someone purchases commercial property here, they should know there are rules to follow in an historic district and so there shouldn't be any need to make changes for it to be more business friendly. She said one ramification of changing the building height is it could change the character of the area. She added that other people have mentioned that they were told that the Russell Building would allow you to see the water, have open areas, and access all around it. She said that this building doesn't fit in with the character and historic nature of the town. She asked Council to keep this in mind, saying that she hopes we can preserve the beauty that makes Gig Harbor the historic, wonderful community it is.

Mark Hoppen - 8133 Shirley Ave. Mr. Hoppen pointed out that the Russell Building is only 13 feet high and set back from the street, stressing that it could have been 18 feet high and right at the sidewalk. He also explained that there had never been a promise that the building would not block some of the view. He continued by saying that the problem with this proposal is not about the water side. When you look at design review, site layout, connection to the public right of way, and architecture, these proposals seem to handle these concerns in the DB zones, he said. But what may not be handled is the El Pueblito building, because the fourth part of design review is transition between zones. Areas up Pioneer, Tarabochia Lane, and behind El Pueblito need to be thought out better, he stressed. Something helpful that would help everyone understand, he suggested, is a 3-D visual layout that could show the maximal results of this proposal. You then could readily know the flaws.

Jim Franich – 3702 Harborview Drive. Mr. Franich said thoughtful comments have been made that he hopes Council will keep in mind moving forward. He then said that the 27 foot height limit maybe appropriate in certain locations in the DB zone, but it would be more appropriate to break up the zone into sub-areas such as the more intense Judson area, then less intense use up Pioneer; and then the transition zones such as at El Pueblito. He said that the eclectic mix of taller and shorter buildings we currently have is fine, but if everyone builds to 27 feet it wouldn't preserve that uniqueness. He clarified that this proposal isn't limiting the overall building height to 27 feet because on severely sloped parcels you have a potential for buildings substantially taller, which he thinks is a problem. Mr. Franich stressed that not requiring parking while expanding square footage goes against common sense, as buildings need to accommodate their impact. He then addressed the retention of historical street scape and the proposed parkway setbacks which states "the exact number should be reflective of the existing historic homes." He said that he went and measured setbacks in the existing homes in that corridor. He cited the Ivanovich house as an example, saying this house is set back

roughly 18 feet from the sidewalk including the 5'9" porch, and the Ancich house next door is set back another 7 feet back from that. He said he has a problem with moving setbacks closer to the road because it doesn't meet the stated intent to retain the historic character of the neighborhood; and six feet to the road is not the natural characteristic. Addressing North Harborview drive, Mr. Franich said that he can't remember how much fill was brought in, but stressed that no matter what, you would still have houses in a hole without road buildup. People buy lots and should know the conditions and regulations, and so trying to redesign under some new urbanist definition isn't the way to progress, he stated, and finalized by saying past Councils and Administrations have worked to further the goal of maintaining the basin; Council are the gatekeepers of the regulations and should work to maintain the uniqueness we have been fortunate to have for so long.

Jeff Aker – 3320 Lewis Street. Mr. Aker said he agrees with the last two speakers that if you allow 27 foot high building in that zone up to the residential area would be a big mistake, you would be adding 11 feet of height in front of the existing houses. He said if they wanted to live in Uptown, they would have moved there, but we like the character of this downtown area and would hate to see it change.

Mary Andrews – 8915 Franklin Avenue. Ms. Andrews asked if the city would follow up with the Finholm District.

Ms. Kester responded that once the policies for the Harbor Vision have been developed, the Planning Commission will begin to look at regulations to implement the vision that may include what kind of size and height changes would be appropriate for the Finholm District. She said the public comment process will continue, and that she estimates that they may begin to look at the Finholm District in the early-to-mid-2014 timeframe.

Dale Woock – 3412 Lewis Street. Mr. Woock said that that several of the speakers have talked in defense of the downtown, waterside of Harborview. We want to protect this area along with the Finholm waterfront area, he said, and so why are these areas included with the uphill regulations. He said that the view and character up on Judson Street isn't as important, but the downtown water side of Harborview should have a separate zone of protection.

There were no further public comments and the Mayor closed the public hearing at 7:13 p.m.

Ms. Kester responded to Councilmember Malich's hypothetical question regarding what could be built at the Millville Condo site. She also responded to his questions regarding why the Finholm District is included on the map, (relates to residential only), and trees



planted in the view corridor that could block views (amended last year to limit height of vegetation).

Councilmember Perrow asked for clarification on whether these proposals change the side-yard setbacks (no), the view corridor protections in place now (no), and if the Shoreline Master Program allows for another layer of protection (it does).

Ms. Kester was asked to clarify why the Planning Commission didn't incorporate the suggestion to measure height from the sidewalk. She explained that one, they wanted to keep consistency with how commercial property is measured in the same zone; and two, if we measure from the public right of way, public works projects could potentially change someone's property rights.

Councilmember Malich said that he would like to see amendment "D" removed from the ordinance, would like the Waterfront Commercial considered separately from the DB zone, and also would like to amend the borders of the DB zone to run from Rosedale to Soundview Drive. Ms. Kester said that if Council wants to amend or remove sections of the ordinance they could do so.

Ms. Kester addressed the Harbor Landing / El Pueblito site by explaining that city code requires zone transition standards that limit the footprint and height of commercial buildings to mirror surround homes. The project can go to the Design Review Board and through public meetings, the proposal is looked at in 13 different ways in order to mitigate impact to the adjacent residential area. Also, there is a 20' setback in that area abutting the single family residents. Any new building would have to be 20 feet back from the property line, so height would be measured from the parking lot. She said that the views from the first floor of the four adjacent would be blocked, but there is less chance of the 2<sup>nd</sup> floor view being blocked. When the Planning Commission did a walking tour they identified this as the one area most likely to have view blockage, but they didn't recommend carving it out at this time. She said they realize that zoning changes may be required to address this conflict.

Mayor Hunter agreed this needs to be considered. He announced that this would return for a second reading under old business. Councilmember Kadzik said he would like time to really discuss this in order to digest the information. Ms. Kester suggested that Councilmembers come and meet with her in the next two weeks to address specific questions.

Councilmember Young voiced concern that grandfathering of buildings could create two classes of property owners within the same zone that might raise constitutional concerns. He said that he is concerned with the legal ramifications.



Angela Belbeck responded by saying the law recognized non-conforming uses and structures, and asked if a structure comes down and is rebuilt to same footprint, if it is taking away from anyone. Councilmember Young said that it's one thing if a building is destroyed by natural disaster, or if there is normal maintenance or upkeep, but if the property owner chooses to tear down to raw land, but the adjoining property can't build to the same size or height, it's wrong.

4. Interlocal Agreement - Pierce Transit / Gig Harbor Trolley Demonstration Project. City Administrator Denny Richards explained that at the last meeting Council voted to participate with \$10,000 towards this project. Since that time there has been a commitment from the both the Chamber of Commerce and Uptown Association for \$10,000 each, and the Downtown Alliance for \$5,000. This brings the total to \$35,000, which is \$6,161 short of the total amount being requested. In order for the project to move forward, the city has been asked to sign an Interlocal with Pierce Transit.

Councilmember Young explained that the reason we are short is because of the quick turnaround time and because we haven't been able to get the private contributions we were hoping for. The fare has already been advertised at 25 cents, and because it starts tomorrow, Pierce Transit is committed; so it would be a good gesture for the city to make up the difference. He said that it's not a huge amount of money compared to other things we invest in, and has an economic development purpose. Councilmember Young said that he recognizes we are not obliged, but we should do it from a smart business standpoint to make sure the project works. He also said that he doesn't to go back to the board and have the evaluation be on shaky ground because we didn't get to the 16% fare box recovery.

Councilmember Ekberg voiced concern that the 16% fare box recovery requirement was never discussed. He said he likes the trolley idea; Mayor Wilbert tried for sixteen years to get a town-around bus, but it didn't made economic sense. He said that he thought Pierce Transit was taking on the project and was unaware that the city was going to be contributing anything. Then we were asked to come up with \$10,000; now it's to commit to be responsible for \$41,000 when we didn't have any input into the fare or the route. We are also being asked to make up the difference when there are other ways to do that such as charging \$1 to ride all day, which makes sense and increases revenue. At this late date, he said that he's not willing to contractually commit the city for the full \$41,000, but added that he doesn't have a problem with the \$10,000 contribution. He voiced appreciation for the efforts from the other organizations to go in on this.

Councilmember Young clarified that transit agencies don't have the process to accept private contributions and so the city was always meant to be the agent. The issue is when this first came up, the community investment team comprised of the city, the chamber, other groups, came up with the idea of the reduced fare and fare box recovery

**City of Gig Harbor Planning Commission  
Work Study Session and Public Hearing  
Council Chambers  
SPECIAL MEETING  
April 11, 2013  
6:00 pm**

**PRESENT:** Rick Gagliano, Craig Baldwin, Bill Coughlin, and Reid Ekberg. Jim Pasin, Pam Peterson, and Harris Atkins were absent

**STAFF PRESENT:** Staff: Lindsey Sehmel and Jennifer Kester

**6:00 p.m. - Call to order, roll call**

**PUBLIC HEARING**

1. **CITY OF GIG HARBOR, 3510 Grandview St, Gig Harbor, WA 98335 -**  
Application for a Gig Harbor Municipal Code text amendment (PL-ZONE-12-0009) to consider recommendation on code amendments regarding the measurement of residential building height and front setbacks along the waterside of Harborview and North Harborview Drives.

Ms. Kester gave a brief summary of the proposal and background.

Mr. Baldwin opened the public hearing at 6:00 p.m.

**Jack Bujacich, 3607 Ross Ave., Gig Harbor**

He noted that when he had been Mayor they had established a height restriction area. He stated that 18' on the waterfront measured closer to the sidewalk would be more uniform with the other side of the street.

**David Boe 705 Pacific Ave., Tacoma**

Mr. Boe noted that this proposal was coming out of the visioning process and keeping new development in line with the historic character. He felt that height should not be measured from the property line but from the sidewalk. He noted that in some areas the water side of Harborview is higher than the upland side. Mr. Boe further explained how measuring from the sidewalk would improve the placement of the porch. He strongly recommended that the 18' be measured from the back of the sidewalk and distributed an illustration.

**Kathleen Ancich Quigg, 1831 Bel Air Ave.** Ms. Quigg stated that they had purchased the property at 3617 Harborview. She voiced her support for the proposal.

**Doug Sorenson, 9409 N Harborview Dr., Gig Harbor** Mr. Sorenson stated that they have lived at this residence for 41 years. He commended the Planning Commission for pursuing this issue and stated that he supported David Boe's suggestion to measure

from the sidewalk. He noted that there are only 6-10 vacant lots that haven't been developed and he owned 4 of them. Mr. Sorenson pointed out that the shoreline regulations are going to impact these lots to such an extent they will have to use a reasonable use exception to build something. He stated that most people are not going to tear down their house on the waterfront because of the regulations. He also noted that businesses have a zero setback and he felt that the residential should have the same setback. Mr. Sorenson suggested that they develop a map of the right of way in order to help with this decision and volunteered to be on a committee to research this further.

**Dennis Clark, 4011 Burnham Dr., Gig Harbor**

Mr. Clark stated that he thought the height restriction on the uphill side was 16' as measured from the setback line. Ms. Kester noted that this is only within the Historic District. He wondered what research has been done on preserving the view for the uphill houses. He felt that the current regulations seemed to be working pretty well. Mr. Clark expressed concern for the view corridors along Harborview.

**Kay Bickford, 3155 Erickson St., Gig Harbor**

She said she supported Mr. Boe's idea of measuring from the sidewalk and felt it was more consistent with the historic homes in Gig Harbor.

**Beth Lucas, 10911 Crescent Valley Drive, Gig Harbor**

She noted that she walks Harborview Drive quite often. She supported Mr. Boe's idea of measuring from the sidewalk.

**Bruce Rogers 2804 Harborview Drive Unit B, Gig Harbor**

He voiced his concern for the houses on the uphill side and hoped the commission was considering this. He noted that the topography is not that steep. He also said that although people may not tear down houses today, that might be different in the future.

Mr. Baldwin closed the public hearing.

Ms. Kester addressed the question posed regarding view corridors. She noted that this proposal will not change the requirement to have a view corridor on either side of a residence. She further explained the difference in regulations if a person was remodeling versus tearing down and rebuilding.

Mr. Coughlin asked if the view corridor changed with the new shoreline master program. Ms. Kester said that no, the view corridor changed approximately a year ago.

Mr. Baldwin thanked everyone for coming and said that the commission will be considering everyone's comments and possibly making a recommendation at their next meeting on this topic.

Ms. Kester asked if there was any other information the commission required prior to further discussion. Mr. Gagliano suggested that the information regarding the right of

way would be helpful and Ms. Kester said that she would provide some maps. Additionally he suggested that further information be provided on the shoreline regulations and how they relate to this area.

Mr. Baldwin deferred the approval of the minutes until the next meeting.

Mr. Coughlin asked if some detailed topographic maps of the shoreline and the uphill lots could be provided. Ms. Kester said she would try to provide some aerial based topography.

### **OTHER BUSINESS**

Discussion of upcoming meetings – April 18, 2013 & May 2, 2013

### **Adjournment**

MOTION: Move to adjourn at 6:33 p.m. - Ekberg/Gagliano. Motion carried.

**City of Gig Harbor Planning Commission**  
**Open House and Public Hearing**  
**Council Chambers**  
**March 21, 2013**  
**5:00 pm**

**PRESENT:** Rick Gagliano, Jim Pasin, Pam Peterson, Craig Baldwin, Bill Coughlin, Reid Ekberg and Harris Atkins.

**STAFF PRESENT:** Staff: Jennifer Kester, Lita Dawn Stanton, Lindsey Sehmel, Peter Katich and Diane McBane

**Open House – 5:00 p.m.**

**Downtown Building Height Amendment**

The Planning Commission is considering recommending increases to the maximum building height in the City's downtown area in order to allow flat-roof, two-story buildings in the City's downtown. Under the Commission's initial proposal, all buildings would be allowed to be 27 feet high as measured from the building footprint. The Commission is considering allowing this increased height in the Downtown Business (DB zoning district and the Waterfront Commercial (WC) zoning district that abuts the DB district.

The public had an opportunity to look at various graphics and photographs placed around the room illustrating how the proposed height increase may affect the downtown.

Mr. Atkins gave a brief overview of the history of this proposed amendment and it's intent. Ms. Kester gave a presentation using pictures and graphics of the streetscape. She explained that all of the other character defining elements of size, setbacks and design would still have to be adhered to. She stated that the Council's direction in the summer of 2012 was to review and identify codes that inhibit the preservation of character defining historic buildings in the downtown. Ms. Kester thanked everyone for coming and invited them to move around the room and look at the various graphics.

**5:40 Questions and Answers**

**What is the view corridor dimension?**

Ms. Kester explained the view corridor dimensions and the required sideyard setbacks, stating that it depends on the width of the lot with the minimum total being 20' with perhaps 5' on one side and 15' on another. She noted that there is also a requirement for public access to the shoreline for waterfront lots.

**Why do the yellow lines on the map go out into the water?**

The map is based on tax parcels and some of those parcels go out into the water.

How will the parking be addressed?

The parking requirements will remain the same. If square footage is added, the developer will have to provide parking.

What about traffic impacts?

Those would be addressed at the project level.

What is the overall goal?

The goal was to allow the historic character defining buildings to be maintained and to allow new buildings to match that character.

What about the pie shaped piece of property on Soundview and Harborview?

It is zoned RB-1 and would not be a part of this proposal. It would have to be rezoned in order to take advantage of these changes.

How do the existing buildings along Harborview meet setbacks?

The uphill side of Harborview if the building was no more than 6000 square feet in size and they had firewalls you could have buildings right next to each other, but not on the water side.

What is the tallest building in Gig Harbor?

St Anthony's Hospital. Downtown it would be the Bayview Plaza or the Luengen Building where Morso is located.

Would a project have to go through the same approval process for traffic?

Yes, each project would have to go through site plan review and have traffic analyzed. We analyze different areas of town in about a three year cycle or if there is a big project. We have a traffic model that analyzes the traffic.

Is the height being calculated within the buildable area for the properties downhill of Harborview?

It would be measured within the footprint of the building.

Chairman Atkins called a 5 minute recess before the public hearing.

### **6:00 Public Hearing**

Mr. Atkins opened the public hearing at 6:00 pm

Jeni Woock, 3412 Lewis St., Gig Harbor WA Ms. Woock read the Harbor vision statement. She emphasized that two story buildings do nothing to promote the historic character of the downtown and stated that there is no room for picturesque views or the natural environment. Ms. Wood said it would be grand if there were second floor living with retail below, maybe that should be the requirement. How will this affect traffic? Perhaps we should do a traffic study first.

Dave Morris, 2809 Harborview Dr., Gig Harbor Mr. Morris expressed appreciation for the work that has gone into this and he thought it made sense and provided some equity and fairness to the downtown property owners and gives them some capabilities that others already have. He noted that most of the historic buildings downtown are 27' tall and it might help preserve them. He stated that he does own buildings downtown and fully support this.

David Boe, 705 Pacific Ave., Tacoma WA 98402 Mr. Boe stated that he has worked on many projects in Gig Harbor. He point out that this goal is in the comprehensive plan so it should be part of the zoning code. It says we want street frontage retail with housing above and he noted that you can't do that with 16' height restrictions. Mr. Boe went on to say that there are no flat roofed buildings, they are minimum pitch roofs, buildings settle so you need a 1/2" for every foot. It's very important that the 27' be measured from the sidewalk if you want retail at the street. They need 10' ceilings and room for duct work, etc. He explained that he would recommend measuring from the sidewalk in order to have an active street face. The minimum square footage you need is a 12,000 foot print in order to make a second floor pencil. He felt that the design requirements would support larger buildings. Mr. Boe pointed out that there are very few properties that could be redeveloped and concluded by saying that he supported the change with these slight amendments.

Peter Stanley, Tides Tavern, P.O. Box 287, Vaughn WA 98394

Thanked the commission for their hard work and said he was supportive of the proposal. He felt that this will help preserve downtown and he also felt that an increase in building size should be considered as well. The Tides would never have been built if it needed a traffic study. People will go where they want, regardless of traffic. We want downtown to be viable.

Mr. Atkins closed the public hearing at 6:16 p.m.

Mr. Atkins suggested that the commission have an opportunity to think about what has been said. Is there any additional data that could be helpful? None noted. Mr. Pasin noted that they should discuss measuring from the sidewalk. Ms. Kester also noted that it should be clarified existing grade or final grade. She pointed out that she had provided them with copies of the e-mails and written comments received. She noted that she had received verbal comments regarding concern about the water side of Harborview. Mr. Gagliano said that he had heard comments about expanding the area. He suggested creating a map of two story buildings in the other commercial areas. Mr. Atkins asked what the issues were around measuring from the sidewalk. Ms. Kester noted that not every building has sidewalk frontage so we would have to define something. She would suggest limiting the location where you would measure from the sidewalk. Some of what appears to be right of way is private property and vice versa. She went over the setbacks. Mr. Pasin stated that the expectation in a downtown is that you step off the sidewalk into the building. Mr. Atkins suggested that they could measure differently in WC and DB. Ms. Kester said you could word it that you measure from the footprint and if you put your building at the front property line you measure from

the sidewalk. Mr. Atkins clarified that we need to discuss where we measure from and do we have the right area. Mr. Gagliano noted that view of the water seems to be a big concern. He also noted that Mr. Boe's suggestion that you needed to increase gross floor area could be addressed with two 6000 square foot buildings with a firewall.

**Other Business**

Discussion of upcoming meetings – April 4<sup>th</sup>, 2013. Ms. Kester reminded them that the public hearing on residential height will be April 11<sup>th</sup>. She noted that she will not be at the April 4<sup>th</sup> meeting. Mr. Pasin said he would like to still meet on the 4<sup>th</sup>. It was decided that they would meet to deliberate this issue on April 4<sup>th</sup>.

Move to adjourn 6:50 pm. Pasin/Gagliano – Motion carried.



12/6/12 PC MTG.

Ms. Kester noted that she had added the B-2 zone to the consideration per notes from the last meeting and the commission decided to keep it DB and WC until they heard comments from the public hearing.

Discussion was held on only allowing 2 stories along the street face and 32' on the downhill side. Mr. Pasin emphasized the importance of having the same height on both sides of the street. It was decided to continue this discussion when they could draw scenarios and visualize it more accurately at the next meeting. Ms. Kester also recommended that the measurement could be taken from the parkway in order to include other streets than Harborview. Discussion followed on what this would do to the streetscape and other possibilities for where you would measure from.

Chairman Atkins called a 5 minutes recess prior to the public hearing.

### **Public Hearing – 6:00 p.m.**

Chairman Atkins reconvened the meeting and Ms. Kester introduced the two topics for the public hearing. Ms. Kester noted that she had received written comments from both David Boe and Debra Ross. Chairman Atkins opened the public hearing at 6:00 p.m.

**Downtown Building Size Amendments** – Both of the following amendments would apply to the Downtown Business (DB) zoning district and the Waterfront Commercial (WC) zoning district that abuts the DB district.

1. **Additional Interior Gross Floor Area:** For existing buildings, additional gross floor area may be added and the total gross floor area may exceed the maximum allowed by the zoning district provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the maximum building height allowed in the underlying zone.
2. **Remodeling and Rebuilding Nonconforming Buildings:** Nonconforming buildings can be remodeled or torn down and rebuilt to the same or smaller configuration. Non-historic registry eligible buildings must meet the Design Manual requirements to the extent possible (materials, windows, color etc.) All work on historic registry eligible or registered nonconforming buildings must meet the requirements of GHMC 17.99.580 Preservation of historic structures, no matter the age of the building.

**David Boe, Boe Architects, 705 Pacific Ave., Tacoma WA** – Mr. Boe noted that the city's comprehensive plan asked for these types of incentives and was really happy to see these amendments being proposed. He stated he had worked on several projects in the harbor. He stated that the only comment he had was regarding the building height. He also noted that there are other tweaks that could be done to get a better design result on a challenging site. He said he was

addressing item #1. He said that when you are looking at a building you want to make the integrity of the building complete. He noted if the height is already nonconforming then you should not exceed the existing height of the building rather than using a site related height measurement. He emphasized the need for any building modifications to stay within the existing building height and character. He said that he felt that item #2 made sense and agreed with being able to rebuild something that is nonconforming.

Ms. Kester summarized Debra Ross's letter to the commission. She stated that her main comment was that she would like to see the amendments apply to the WM zone as well.

Mr. Atkins closed the public hearing at 6:10 p.m.

The commission discussed the comments received and Mr. Pasin noted that he did feel that more discussion was needed on whether or not to include the WM zone as Ms. Ross has suggested. Mr. Dolan proposed that both the suggestions of Ms. Ross and Mr. Boe be discussed at the next meeting. Ms. Kester stated that in reference to Mr. Boe's comments, she would like to clarify that the commission had discussed the roof accommodation and whether they should be allowed to stay within the top of the ridge line no matter the underlying height allowance. It was her recollection was that because it was difficult to determine on a broad basis how allowing roof modifications above the height limits may affect views, the issue of height limit should be discussed separately. She noted that the Planning commission has since discussed recommending adjusting the height allowance to 26' or 28'.

### **Other Business**

Discussion of upcoming meetings – December 20<sup>th</sup> and January 3<sup>rd</sup>.

### **Adjournment**

Move to adjourn at 6:25 p.m. Gagliano/Baldwin – Motion carried.

Kester, Jennifer

---

**From:** Hunter, Chuck  
**Sent:** Tuesday, July 09, 2013 3:52 PM  
**To:** Towslee, Molly; Kester, Jennifer  
**Subject:** FW: Public Hearing 7/8/13

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

-----Original Message-----

**From:** NANCY JERKOVICH [<mailto:mysensaria@mac.com>]  
**Sent:** Monday, July 08, 2013 4:36 PM  
**To:** Hunter, Chuck  
**Subject:** Public Hearing 7/8/13

Dear Mayor and Council,

We oppose the proposed measures to change the Gig Harbor downtown zoning code. The change in setback measurement will create buildings taller and closer to the road. This will do nothing to enhance the character of our waterfront zones. Our current regulations have been long fought for and respected by previous councils. If the property will not sustain the buyers plans, they should look elsewhere. We need to encourage and respect our view corridors. Thank you. Nick and Nancy Jerkovich. 3710 Harborview Drive

Sent from my iPad

**Kester, Jennifer**

---

**From:** Towslee, Molly  
**Sent:** Monday, July 08, 2013 8:34 AM  
**To:** Kester, Jennifer  
**Subject:** FW: Gig Harbor height restriction change

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

-----Original Message-----

**From:** Sara McDaniel [<mailto:tbmcdaniel@juno.com>]  
**Sent:** Monday, July 08, 2013 8:18 AM  
**To:** Towslee, Molly  
**Subject:** Gig Harbor height restriction change

Good morning,

Im writing about the height restriction change in Gig Harbor because I walk the harbor several times a week. I do this with probably hundreds of other people. I believe they come from all over to experience the beauty the harbor provides. Allowing buildings to be taller will impact the view and as a result impact all of us who enjoy our time walking there. And that could impact a lot of other things like the coffee shops where we all get our drinks, etc. Keeping the buildings shorter is a good thing...don't change it!

Sara McDaniel

Sent from my iPad

**Kester, Jennifer**

---

**From:** Stanton, Lita  
**Sent:** Monday, July 08, 2013 9:49 AM  
**To:** Kester, Jennifer  
**Subject:** FW: Downtown Building Size and Height Amendments Public Hearing Notice  
**Attachments:** Gig Harbor Height Analysis 7-5-2013.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Jennifer:

Since the waterside edge of the sidewalk is unlikely to ever change -- measuring from it is reasonable. Since my comments (as Historic Preservation Coordinator) during PC meetings are not noted anywhere, please include this in the record.

As previously stated (but unrecorded), I agree that the measurement should be from the sidewalk but for different reasons.

NOT because this change is closer to the historic setbacks per Boe's comment (highlighted in yellow below) or because of "New Urbanism" porch protocols.

**Setback measurements along Harborview and North Harborview for historic buildings are inconsistent.**

Partly because (back then) there were no setback regulations and because over the years, road widths and sidewalks (including elevations and grades) changed.

Two considerations that help preserve the historic character:

1. Since **heights of historic homes along the waterfront are more often taller than 18 feet**, a change in the setback allows for additional height and (where grades are dramatic) helps pull them a little further out of the "hole".
2. This change gives property owners more buildable land in response to what the SMP buffer setback takes away.

Thanks,

Lita Dawn Stanton  
Historic Preservation Coordinator

---

**From:** David Boe [mailto:dboe@boearc.com]  
**Sent:** Friday, July 05, 2013 5:36 PM  
**To:** Hunter, Chuck; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Ekberg, Steve; Perrow, Michael; Young, Derek  
**Cc:** Kester, Jennifer; Stanton, Lita; jarcher@boearc.com  
**Subject:** RE: Downtown Building Size and Height Amendments Public Hearing Notice

Mayor and City Council Members, I again send you an e-mail regarding the Proposed Height Amendments for which you are having a Public Hearing on Monday (I hope to be able to attend to present as well). And again, I greatly appreciate the City of Gig Harbor revisiting the existing code relative to the Visioning process that you completed.

**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Friday, July 05, 2013 5:36 PM  
**To:** Hunter, Chuck; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Ekberg, Steve; Perrow, Michael; Young, Derek  
**Cc:** Kester, Jennifer; Stanton, Lita; jarcher@boearc.com  
**Subject:** RE: Downtown Building Size and Height Amendments Public Hearing Notice  
**Attachments:** Gig Harbor Height Analysis 7-5-2013.pdf

Mayor and City Council Members, I again send you an e-mail regarding the Proposed Height Amendments for which you are having a Public Hearing on Monday (I hope to be able to attend to present as well). And again, I greatly appreciate the City of Gig Harbor revisiting the existing code relative to the Visioning process that you completed.

But again, I strongly urge you to consider measuring the uphill height to the back of the existing sidewalk instead of the along the front property line as currently proposed.

Why? Because if it stays as currently proposed, you will still get new residential buildings that will be built into a 'hole' relative to the sidewalk along the waterside of Harborview Drive (a condition that is not attractive nor represents the historical character of the Harbor.

Attached is a Drawing that highlights this – using a real site, with real site elevations, with a real project that is going to be submitted upon approval of the revised code (and will thus will be designed to the new revised code in whatever form it ultimately takes).

The true reality of this site, is that when measuring the building height as proposed currently by the City, the actual height relative to the existing sidewalk is not 18-feet but 16-feet 4 + 11/16ths-inches because the existing ground at the front property line is significantly below the existing sidewalk). Thus, the new residence design will end up having a main porch level also significantly BELOW the elevation of the existing sidewalk. All New Urbanism design manuals recommend that the front porch should be at least 18" ABOVE the corresponding pedestrian sidewalk level – and here we will end-up with a porch that is closer to 18" BELOW the existing sidewalk. This is the residence elevation that is shown on the left side of the drawing (note 6-foot tall figure relative to the house!). With no change to the proposed code, this will be very close to what this project will look like.

Now IF the building height is measured to the back of the existing sidewalk, then at least the main porch level can be at or slightly above the existing sidewalk height. This allows the new residence to be designed much closer to the historic character and patterns of the Gig Harbor Waterfront. Also, because the sidewalk exists, any pedestrian walking along the sidewalk will know how high a new building can be – it is 18-feet from where they are standing. This is the residence elevation shown on the right side of the drawing that our client would much rather have us design and for them to occupy.

I propose that a simple amendment can be made to at least allow for new construction to be closer to the historical patterns and character of The Harbor. This would be to add the following:

"For new residences that have their main roofline parallel to the view towards the water, the maximum height is measured from the highest point located at the back of the existing public sidewalk within the property frontage."

I hope I am able to attend the Public Hearing on Monday to share these points with you personally. Thank you for taking the time to consider this amendment and I hope proposed an amendment which will allow for a new residence to be built along the waterfront in a manner much closer to the unique character of Gig Harbor. David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

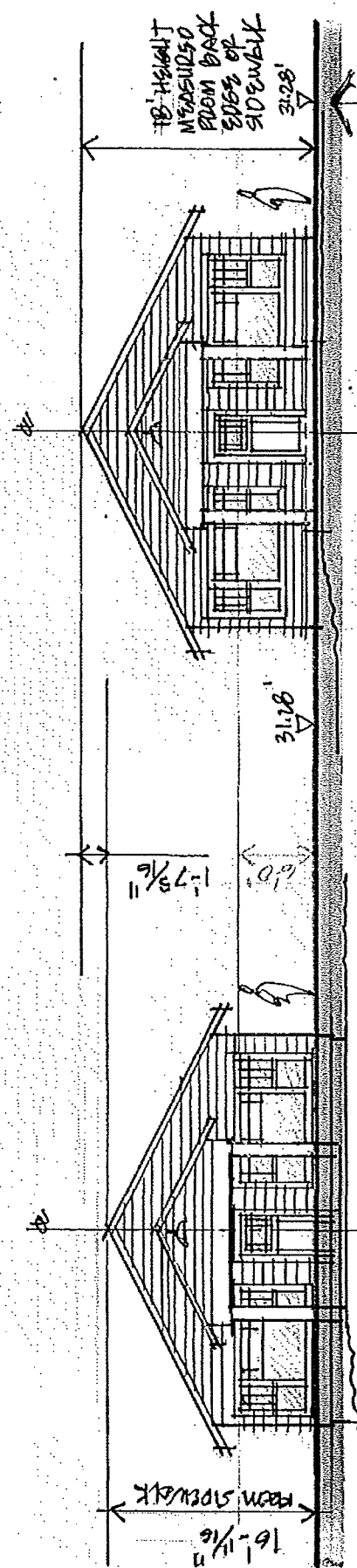
**Sent:** Wednesday, June 26, 2013 9:14 AM

**To:** 'Ali Afrassiabi'; 'Anderson, Jani'; 'Anderson, Myron'; 'Archer, Jessica'; 'Bacchus, Ladd'; 'Berntsen, Edward'; 'Bevin, Avery'; 'Boe, David'; 'Bomkamp, Brent'; 'Bourscheidt, Barbara'; 'Bucy, Russ and Lynne'; 'Carlson, Chuck'; 'Cassell, Constance'; 'Champaco, Brent'; 'Chuck & Charli Meacham'; 'Chuck & June Meacham'; 'Clark, Dennis'; 'Clark, Marjie and Dennis'; 'Coutts, Valerie'; 'Crites, Michael'; 'Czuleger, Tami'; 'Davis, Brett'; 'Declements, Annie'; 'DesMarais, Mary'; 'Dishman, Bruce and Linda'; 'Dompier, Norma'; 'Draggoo, Bob'; 'Draggoo, Bob'; 'Drohan, Tom'; 'Evans, Bill and Karen'; 'Ford, Richard'; 'Frisbee, Bob'; 'Gagliano, Jeanne'; 'Gagliano, Joseph'; 'Gaigher, Shannon'; 'Gair, Bruce'; 'Gary, Tom'; 'Gerald, Bill'; 'Glein, Gary'; 'Glock-Johnson, Charlee'; 'Graffe, Jo'; 'Grinberg, Roy'; 'Harder, Barbara'; 'Herneux, Curtis'; 'Hill, Leonard'; 'Hill, Leonard'; 'Hoppen, Guy'; 'Hoppen, Mark'; 'Hunter, Dianne'; 'Jason Faulkner'; 'Johnson, Martha'; 'Johnson, Noah'; 'Junge, Scott'; 'Kabbhalim, Paris'; 'Kent-Smith, Tomi'; 'Kreitzer, Karl and Lois'; 'Lantz, Pat and John'; 'Lee, Janet'; 'Leroy, Margot'; 'Lolland, Sue'; 'Lovell, Abby'; 'McClements, Patty'; 'Meyer, Gary'; 'Miller, Wayne'; 'Mitton, Joanie'; 'Moist, John'; 'Morris, Dave'; 'Morrison, Julian'; 'Mott Janine'; 'Mueller, Randy'; 'Murray, Joyce'; 'nedderman, Ted and Nancy'; 'Norman, Peter'; 'Norton, Larry'; 'Oka Akiko'; 'Page, Trena'; 'Perrow, Wade'; 'Peterson, Joyce'; 'Peterson, Pam'; 'Pollitt, George'; 'Pugh, Nick'; 'Quincy, Jake'; 'Ragan, Greg and Karen'; 'Reed, Cindy'; 'Richardson, Lousie'; 'Rose, Andrew'; 'Ross, Debra'; 'Rushforth, Dennis'; 'Scanlan, Conor'; 'Seaquist, Larry'; 'Shaffer, Keirsten'; 'Shaffer, Lilly'; 'Simon Barbara'; 'Smith, lee'; 'Steifel, Justin'; 'Stenlyein, Alice'; 'Stevenson, Lynn'; 'Stouz, Nancy'; 'Thurston, Kathy'; 'Turley, Bryce'; 'Vance, Jan'; 'Vance, John'; 'Vergera, Haleigh'; 'Willenbrock, Jacob'; 'Willenbrock, Kelsea'; 'Wills Christine'; 'Winfrey, Patti'; 'Acker, Colene'; 'Acker, Jeff'; 'Ancich - Quigg, Kathleen'; 'Anderson, Claudia'; 'Bauder, John Vice President'; 'Beyerly, Bruce'; 'Bickford, Kaye'; 'Brent Tayet'; 'Brett Mario-Desantis'; 'Bucher, Charles'; 'Clark, Dennis'; 'Curry, Laury'; 'Devereux, Betty'; 'Driggers, Barbara'; 'Frazier, Suzanne'; 'Gerlof, Charlotte'; 'Grimmer, Kurt'; 'Hartley, Steve'; 'Hopkins, D.'; 'Janes, Marc'; 'Jeane Gazabat'; 'Knapp, Robert'; 'Lepape, Marilyn'; 'Lucas, Bett'; 'Martinez, Fil'; 'Michaelson, Tony'; 'Millichap, Marcus'; 'Money, Bruce'; 'Norman, Peter'; 'Ortgiesen, Jon'; 'Perrow, Michael'; 'Pine, David'; 'Rodney Tayet'; 'Rogers, Bruce'; 'Schlicher, Nathan'; 'Smith, Lee'; 'Sorensen, Doug'; 'Stanley, Peter'; 'Sutich, Tom'; 'Taghavi, Jafar'; 'Wooock, Jenia'; 'Wood, Rob'

**Subject:** Downtown Building Size and Height Amendments Public Hearing Notice

Please find attached the Notice of Public Hearing for the Downtown Building Size and Height Amendment proposed for City Council public hearing on Monday July 8<sup>th</sup>, 2013 at 5:30 pm. Please contact Jennifer Kester, Planning Director at 253-853-7631 or [kesterj@cityofgigharbor.net](mailto:kesterj@cityofgigharbor.net) if you have any questions. Thank you Cindy Andrews

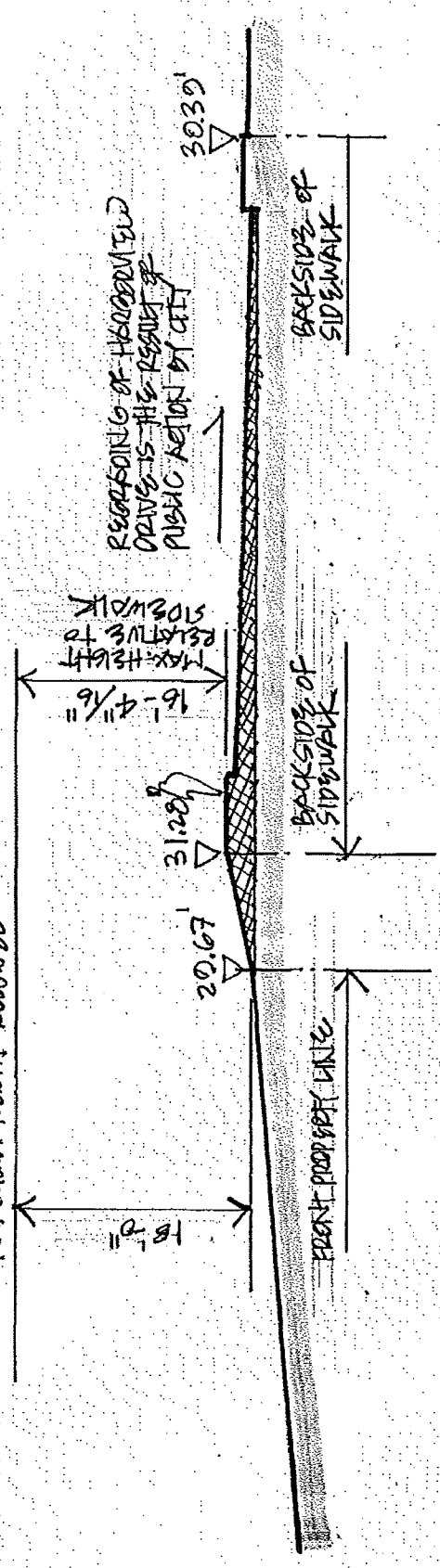
*Cindy Andrews*  
*Community Development Assistant*  
*City of Gig Harbor Planning Department*  
*(253) 851-6170*  
[andrewsc@cityofgigharbor.net](mailto:andrewsc@cityofgigharbor.net)



CURRENT PROPOSER WANTS  
REWORKERS WILL BE BUILT  
INTO A 10'-1" - MAIN LEVEL  
BELOW THE EXISTING SIDEWALK

ADJACENT RESIDENCES TO BE  
DESIGNED HISTORIC CORRECT  
WITH FRONT/MAIN FLOOR RELEVANT  
TO THE EXISTING SIDEWALK

MAXIMUM HEIGHT ALLOWED



REASONING OF HEIGHT LIMITED  
DRAWS IS THE RESULT OF  
PUBLIC ACTION BY CITY

BACKSIDE OF  
SIDEWALK

BACKSIDE OF  
SIDEWALK

FRONT PROPERTY LINE



**Kester, Jennifer**

---

**From:** Debra Ross [debraross80@yahoo.com]  
**Sent:** Monday, July 08, 2013 7:33 AM  
**To:** Kester, Jennifer  
**Subject:** Public Hearing

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Jennifer

I am not able to attend the Downtown Building Size & Height Amendments Public Hearing that is being held tonight, July 8th, 5:30 PM.

I have expressed my opinion before but would like to again state that I feel that the six (6) to eight (8) existing commercial buildings in the Millville Waterfront District which abuts the Downtown Business (DB) and the Waterfront Commercial (WC) would benefit from the Amendments that are being placed in front of the City Council at this hearing. These existing commercial buildings within the Millville Waterfront area are a vital part of downtown Gig Harbor commercial business and should be given the same advantages as the buildings right next door to them.

Thank you for your time and consideration.

Debra Ross

Debra L. Ross  
253-851-4751 home, office, fax  
253-970-3966 cell

Kester, Jennifer

---

**From:** Tomi Kent-smith [tomikent@msn.com]  
**Sent:** Thursday, June 27, 2013 4:40 PM  
**To:** Kester, Jennifer  
**Cc:** Hunter, Chuck; Young, Derek; paynet@cityofgigharbor.net; Malich, Ken; Ekberg, Steve; Perrow, Michael; Guernsey, Jill; Kadzik, Paul  
**Subject:** Proposed Waterfront Residential Amendments

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

In both WM and WC zones, the ground slopes down to the water edge on almost the entire water side (east) of Harborview Drive. Remember it's a hill and the downward slope is towards the water! (It also slopes down to the water's edge on North Harborview on the majority of properties.)

It has always been my understanding that we as a City would do whatever possible to maintain the water view for all. Not just for those fortunate enough to own waterfront property.

However, by moving the uphill height limit measurement to the property line abutting the street ROW, the City will be eliminating the view of the water for anyone residing on directly on Harborview Drive on the west or non-water side of the street. This seems unfair as all these residents will be looking across the street at the facade of the homes built in accordance with the proposed change. Any water view the residents on the west side of Harborview Drive have will be forfeited to the proposed waterfront amendment if it is adopted.

The Millville district is almost exclusively residential with the homes along Harborview Drive dating back to the early 1900s. It also has more resident homes on the street level (Harborview Drive) than any other area surrounding the harbor until one reaches North Harborview east of Peacock Hill.

This amendment seems to take undue advantage of the Millville district, and seems to eliminate access to a water view however limited it might be.

Ms. Tomi Kent-Smith  
3414 Harborview Drive  
Gig Harbor, WA 98332

**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Monday, June 03, 2013 3:22 PM  
**To:** Hunter, Chuck; Guernsey, Jill; Ekberg, Steve; paulkadzik@comcast.net; Perrow, Michael; Young, Derek; Payne, Tim; Malich, Ken  
**Cc:** Kester, Jennifer; Stanton, Lita  
**Subject:** Gig Harbor Waterfront Building Heights

Dear Mayor and Council Members, just a quick note regarding your Study Session today where you will be reviewing building heights along Harborview Drive (I apologize for not attending but it seems I have some council duties this afternoon on this side of the Narrows).

I commend you, the Planning Commission and staff at looking at these issues in order to provide incentive for new development that can be designed to reflect the historical patterns and character that make Gig Harbor such a unique waterfront.

I do have one concern, and that is 'where' the height is measured from. Because Harborview Drive was filled on the downhill side of the roadway in order to make it function for traffic, drainage, and pedestrians – it has artificially put the waterside of Harborview Drive into a hole relative to the existing sidewalk (typically 2 – 4 feet below the walking surface). While the proposed changes are welcome, they do not reflect this actual condition along the Harbor – thus even new development under the proposed rules will continue to be constructed with a main floor level that is below the sidewalk (a condition that is not typical of the historic character of the waterfront).

I strongly recommend that downhill properties allow for the zoning height to be measured from the back of the existing sidewalk. This will allow for new development that can be designed for pedestrian friendly interface between the sidewalk and the built environment (and will allow for more consistency between the uphill and the downhill sides of Harborview Drive).

Again, thanks for your review of the zoning code – and if you have any questions, please do not hesitate to give me a jingle. David

David Boe - Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

BOE architects, pllc  
705 Pacific Avenue  
Tacoma, WA 98402  
(253) 383-7762  
[www.boearc.com](http://www.boearc.com)

Kester, Jennifer

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Thursday, April 11, 2013 4:38 PM  
**To:** Kester, Jennifer  
**Cc:** Stanton, Lita; jarcher@boearc.com; Guernsey, Jill  
**Subject:** RE: Downtown Residential Building Height and Front Setback Amendments  
**Attachments:** Section at Harborview.pdf

Jennifer, in preparation for tonight's Planning Commission Public Hearing on Residential Heights along Harborview, I sketched a quick section using survey points from the site survey at the Quigg's property. This demonstratively shows that the back of sidewalk along the property is actually more than 18" above the highest point along their Property Front Setback Line. This is due to the filling of Harborview Drive when it was upgraded to make it level – and at this location on Harborview, the waterfront side of the street is actually 11.4 inches above the upland side due to the roadway being banked/sloped because of the curve of the roadway alignment.

So, the height of a structure relevant to the back of sidewalk (where the general public is walking) for a site like this will not be 18 feet – but actually be 16'-4". If a new structure was designed with a main level at the same elevation as the back of sidewalk, and using a 6:12 pitch for the roof, and keeping with the same width as the existing structure on the site (30 feet), the interior ceiling height of the main level would be less than 8'-0" tall. The resultant structure would also have less than a 2.5 width to 1 height ration which is a minimum proportional requirement of the Design Manual. To meet the minimum proportion requirement of the Design Manual, the building height would need to be 19.5 feet from the back of sidewalk (and if the main floor was 2 to 3 steps up from the back of sidewalk, this height would need to be closer to 21 feet).

Given this situation, the only option in order to get a reasonable ceiling height on the main level of the residence is to 'sink' the structure considerably below the back of the sidewalk. This will unfortunately result in a final design that does not compliment the historic character of the neighborhood as it will look as if it has been sunk into a hole (and all New Urbanism Design Guidelines recommend a main living level two or three steps above the adjacent sidewalk).

At a minimum, I recommend that the overall building height should be measured to the back of the existing Harborview Drive sidewalk as this give the opportunity of a final design that is much more in keeping with the historic character of the Gig Harbor Waterfront.

If you have time, can you please print out copies of the drawing for the commissioners. I hope to be able to make the meeting tonight – but just in case...

Thanks again for the opportunity to comment. David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** David Boe [mailto:dboe@boearc.com]  
**Sent:** Thursday, April 04, 2013 10:40 AM  
**To:** 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net)  
**Cc:** Stanton, Lita; jarcher@boearc.com; guernseyj@cityofgigharbor.net  
**Subject:** RE: Downtown Residential Building Height and Front Setback Amendments

Jennifer, attached is correspondence with my client regarding the proposed height increase for new residential projects along the waterfront side of Harborview Drive. The Quiggs asked for a drawing of what they would like to construct in comparison to the existing structure as they plan on going to all of their neighbors to show them what they are proposing – with the hopes of getting them to testify at next week's Planning Commission Public Hearing in support of raising the height to 18-feet measured from the highest point at the back edge of the sidewalk.

As I have noted many times before, measuring the building height from the highest point along backside of the sidewalk is going to result in a far superior result (a result that is more in keeping with character of historic Gig Harbor) and will be much easier and predictable for neighbors to understand the impact of any new proposal for a site.

Thanks for your attention. David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** David Boe [<mailto:dboe@boearc.com>]  
**Sent:** Friday, March 29, 2013 12:57 PM  
**To:** 'KesterJ@cityofgigharbor.net' ([KesterJ@cityofgigharbor.net](mailto:KesterJ@cityofgigharbor.net))  
**Cc:** 'Stanton, Lita'; [jarcher@boearc.com](mailto:jarcher@boearc.com); [guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net)  
**Subject:** RE: Downtown Residential Building Height and Front Setback Amendments

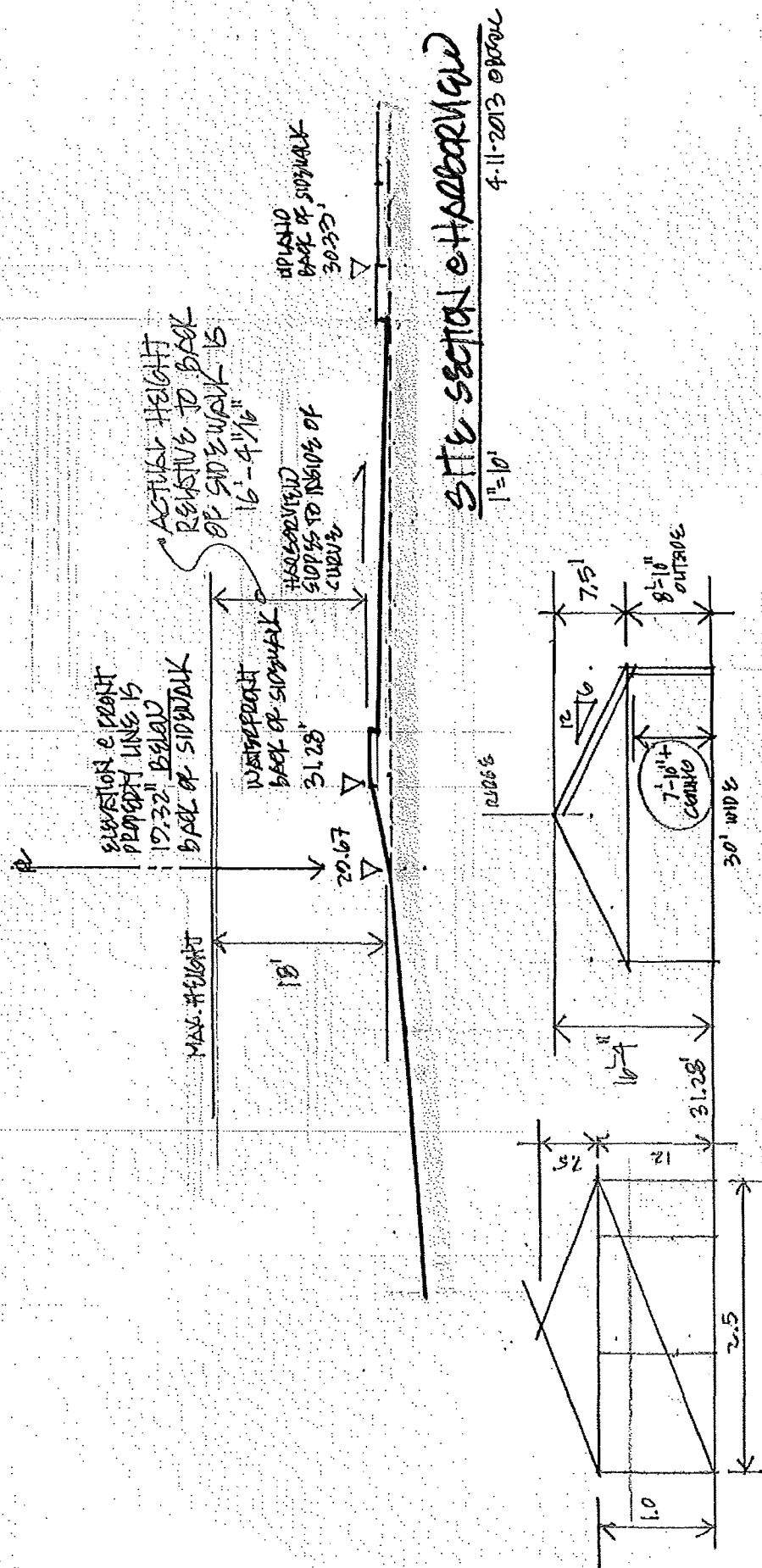
Jennifer, thanks for the notice of the proposed change to the building height along the waterfront – this general direction is to be applauded for realizing that the current code is not getting the type of projects that positively impact the historic street frontage along Harborview Drive.

Unfortunately, when applied to a real site with real dimensions and elevations, the result is a negligible increase in height when the goal of the change is to achieve a design that is more in keeping with the historic structures along Harborview.

I have attached a portion of a survey for a property within the area under consideration for this increase. By the current code, the highest elevation point on the front building setback is 29.5 feet. Measuring to the highest point along the property line as proposed by the change increases this by 6" to 30.0 feet; however, the back edge of the Harborview Drive sidewalk is still a further 1-'3" higher than this new measuring point (it is at elevation 31.25'). This is due to the engineering and construction of Harborview Drive by the City – not by any action of the property owner - and on this site the waterside of Harborview is actually higher than the upland side because of the need to 'bank' the road to the inside of the curve. When walking along the sidewalk, pedestrians view the facades relative to the existing sidewalk they are walking on and do not perceive the historic elevation of the property lines. Through action by the City, the perceived elevations of these sites have changed, thus it seems appropriate to adjust the allowable heights to this new created elevation (as the original properties were design to the old sloped roadway at the time).

Again, as I have noted with the increase in height to the recent DB/WC/etc... zones, I strongly recommend that the back of sidewalk be used at the measuring point for these waterside properties – since that is the 'real' elevation relative to the actual elevation of the street. Thanks for your continued attention to the issue.

David



**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Thursday, April 04, 2013 10:40 AM  
**To:** Kester, Jennifer  
**Cc:** Stanton, Lita; jarcher@boearc.com; Guernsey, Jill  
**Subject:** RE: Downtown Residential Building Height and Front Setback Amendments  
**Attachments:** Proposed Quigg Residence Comparison to Existing Structure

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Jennifer, attached is correspondence with my client regarding the proposed height increase for new residential projects along the waterfront side of Harborview Drive. The Quiggs asked for a drawing of what they would like to construct in comparison to the existing structure as they plan on going to all of their neighbors to show them what they are proposing – with the hopes of getting them to testify at next week's Planning Commission Public Hearing in support of raising the height to 18-feet measured from the highest point at the back edge of the sidewalk.

As I have noted many times before, measuring the building height from the highest point along backside of the sidewalk is going to result in a far superior result (a result that is more in keeping with character of historic Gig Harbor) and will be much easier and predictable for neighbors to understand the impact of any new proposal for a site.

Thanks for your attention. David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** David Boe [mailto:dboe@boearc.com]  
**Sent:** Friday, March 29, 2013 12:57 PM  
**To:** 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net)  
**Cc:** 'Stanton, Lita'; jarcher@boearc.com; guernseyj@cityofgigharbor.net  
**Subject:** RE: Downtown Residential Building Height and Front Setback Amendments

Jennifer, thanks for the notice of the proposed change to the building height along the waterfront – this general direction is to be applauded for realizing that the current code is not getting the type of projects that positively impact the historic street frontage along Harborview Drive.

Unfortunately, when applied to a real site with real dimensions and elevations, the result is a negligible increase in height when the goal of the change is to achieve a design that is more in keeping with the historic structures along Harborview.

I have attached a portion of a survey for a property within the area under consideration for this increase. By the current code, the highest elevation point on the front building setback is 29.5 feet. Measuring to the highest point along the property line as proposed by the change increases this by 6" to 30.0 feet; however, the back edge of the Harborview Drive sidewalk is still a further 1'-3" higher than this new measuring point (it is at elevation 31.25'). This is due to the engineering and construction of Harborview Drive by the City – not by any action of the property owner - and on this site the waterside of Harborview is actually higher than the upland side because of the need to 'bank' the road to the inside of the curve. When walking along the sidewalk, pedestrians view the

facades relative to the existing sidewalk they are walking on and do not perceive the historic elevation of the property lines. Through action by the City, the perceived elevations of these sites have changed, thus it seems appropriate to adjust the allowable heights to this new created elevation (as the original properties were designed to the old sloped roadway at the time).

Again, as I have noted with the increase in height to the recent DB/WC/etc... zones, I strongly recommend that the back of sidewalk be used at the measuring point for these waterside properties – since that is the 'real' elevation relative to the actual elevation of the street. Thanks for your continued attention to the issue.

David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

**Sent:** Thursday, March 28, 2013 3:24 PM

**To:** Ali Afrassiabi; Anderson, Myron; Archer, Jessica; Bacchus, Ladd; Berntsen, Edward; Bevin, Avery; Boe, David; Bomkamp, Brent; Bourscheidt, Barbara; Bucy, Russ and Lynne; Carlson, Chuck; Cassell, Constance; Champaco, Brent; Clark, Dennis; Clark, Marjie and Dennis; Coutts, Valerie; Crites, Michael; Czuleger, Tami; Davis, Brett; Declements, Annie; DesMarais, Mary; Dishman, Bruce and Linda; Dompier, Norma; Dragoo, Bob; Drohan, Tom; Evans, Bill and Karen; Ford, Richard; Frisbee, Bob; Gagliano, Jeanne; Gagliano, Joseph; Gaigher, Shannon; Gair, Bruce; Gary, Tom; Gerald, Bill; Glein, Gary; Glock-Johnson, Charlee; Graffe, Jo; Grinberg, Roy; Harder, Barbara; Herneux, Curtis; Hill, Leonard; Hill, Leonard; Hoppen, Guy; Hoppen, Mark; Hunter, Dianne; Johnson, Martha; Johnson, Noah; Kabbhalim, Paris; Kent-Smith, Tom; Kreitzer, Karl and Lois; Lantz, Pat and John; Lee, Janet; Leroy, Margot; Lolland, Sue; Lovell, Abby; McClements, Patty; Brett Marlo-Desantis; Dave Morris; David Boe; Dennis Clark; Jeff Acker; Jenia Woock; Lee Smith; Peter Norman; Peter Stanley; Meyer, Gary; Miller, Wayne; Mitton, Joanie; Moist, John; Morrison, Julian; Mueller, Randy; Murray, Joyce; nedderman, Ted and Nancy; Norman, Peter; Norton, Larry; Oka Akiko; Page, Trena; Perrow, Wade; Peterson, Joyce; Peterson, Pam; Pollitt, George; Pugh, Nick; Quincy, Jake; Ragan, Greg and Karen; Reed, Cindy; Richardson, Lousie; Rose, Andrew; Ross, Debra; Rushforth, Dennis; Scanlan, Conor; Seaquist, Larry; Shaffer, Keirsten; Shaffer, Lilly; Simon Barbara; Smith, Lee; Steifel, Justin; Stenlyein, Alice; Stevenson, Lynn; Stouz, Nancy; Thurston, Kathy; Turley, Bryce; Vance, Jan; Vance, John; Vergera, Haleigh; Willenbrock, Jacob; Willenbrock, Kelsea; Wills Christine; Winfrey, Patti

**Cc:** Sehmel, Lindsey

**Subject:** Downtown Residential Building Height and Front Setback Amendments

Please find attached the Notice of Public hearing for the Downtown Residential Building Height and Front Setback Amendments for the City of Gig Harbor Planning Commission Public Hearing scheduled for April 11<sup>th</sup>, 2013 at 6:00 pm. Please contact Lindsey Sehmel, Senior Planner at [sehmell@cityofgigharbor.net](mailto:sehmell@cityofgigharbor.net) or 253-853-7615. Thank you Cindy Andrews



**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Thursday, April 04, 2013 10:31 AM  
**To:** 'Patrick Quigg'  
**Cc:** jarcher@boearc.com  
**Subject:** Proposed Quigg Residence Comparison to Existing Structure  
**Attachments:** Quigg Residence Height Comparison.pdf

Kathy and Patrick, attached is a sketch overlay showing the approximate location of the proposed residence relative to the existing structure. What is important to convey to your neighbors is that the entire new structure 'shifts' to the East so that the side yard between the new residence and the existing residence to the East will be the same on each side of the property line. This shift will open up more of a view corridor to the Bay along the West side of the new residence for neighbors living on the upland side of Harborview Drive.

Also, the ridge of the house will turn 90 degrees so that it is parallel with the view towards the Bay (the existing structure's ridge is perpendicular to the Bay and thus more roof blocks view). With a larger Front Porch proposed, this will shift the main structure of the new residence further to the North so that the increase in height will be off-set by the visual foreshortening of perspective.

Now what I am showing assumes that the 18-feet of total building height is measured from the back side of the highest point of the existing sidewalk. What is being proposed by the City is to make the measuring point the highest point on the front property line – which really does not help your project in a meaningful way as that means only a 6" increase in height allowance to your property. The City's measuring point is actually 18" BELOW the back of the sidewalk along the West Property Line – thus why I am looking for support to have the back of sidewalk used as the measuring point (and this would very easy for the general public to understand as they could just go the high side of the site on the sidewalk, run a tape 18-feet into the air and see what that reality is – versus guessing where the front property line may or may not be).

Historically Harborview Drive used to slope with the land toward the Bay. When the City came in and improved Harborview Drive, they filled along the waterside of the street so that the street and sidewalk was approximately level with the upland side of the right-of-way; thus the current condition where the existing waterside structures appear 'below' the sidewalk. In fact, from the survey, this portion of Harborview Drive is actually ABOVE the upland side of the street because of the slight banking of the roadway due to your property being on the outside edge of a curve.

Hope this helps explain the proposed residence heights. Please do not hesitate to give me a jingle if you have any questions. David

David Boe - Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

BOE architects, pllc  
705 Pacific Avenue  
Tacoma, WA 98402  
(253) 383-7762  
[www.boearc.com](http://www.boearc.com)

**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Friday, March 29, 2013 12:57 PM  
**To:** Kester, Jennifer  
**Cc:** Stanton, Lita; jarcher@boearc.com; Guernsey, Jill  
**Subject:** RE: Downtown Residential Building Height and Front Setback Amendments  
**Attachments:** Harborview Survey Excerpt.pdf

Jennifer, thanks for the notice of the proposed change to the building height along the waterfront – this general direction is to be applauded for realizing that the current code is not getting the type of projects that positively impact the historic street frontage along Harborview Drive.

Unfortunately, when applied to a real site with real dimensions and elevations, the result is a negligible increase in height when the goal of the change is to achieve a design that is more in keeping with the historic structures along Harborview.

I have attached a portion of a survey for a property within the area under consideration for this increase. By the current code, the highest elevation point on the front building setback is 29.5 feet. Measuring to the highest point along the property line as proposed by the change increases this by 6" to 30.0 feet; however, the back edge of the Harborview Drive sidewalk is still a further 1-'3" higher than this new measuring point (it is at elevation 31.25'). This is due to the engineering and construction of Harborview Drive by the City – not by any action of the property owner - and on this site the waterside of Harborview is actually higher than the upland side because of the need to 'bank' the road to the inside of the curve. When walking along the sidewalk, pedestrians view the facades relative to the existing sidewalk they are walking on and do not perceive the historic elevation of the property lines. Through action by the City, the perceived elevations of these sites have changed, thus it seems appropriate to adjust the allowable heights to this new created elevation (as the original properties were design to the old sloped roadway at the time).

Again, as I have noted with the increase in height to the recent DB/WC/etc... zones, I strongly recommend that the back of sidewalk be used at the measuring point for these waterside properties – since that is the 'real' elevation relative to the actual elevation of the street. Thanks for your continued attention to the issue.

David

David Boe – Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

---

**From:** Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

**Sent:** Thursday, March 28, 2013 3:24 PM

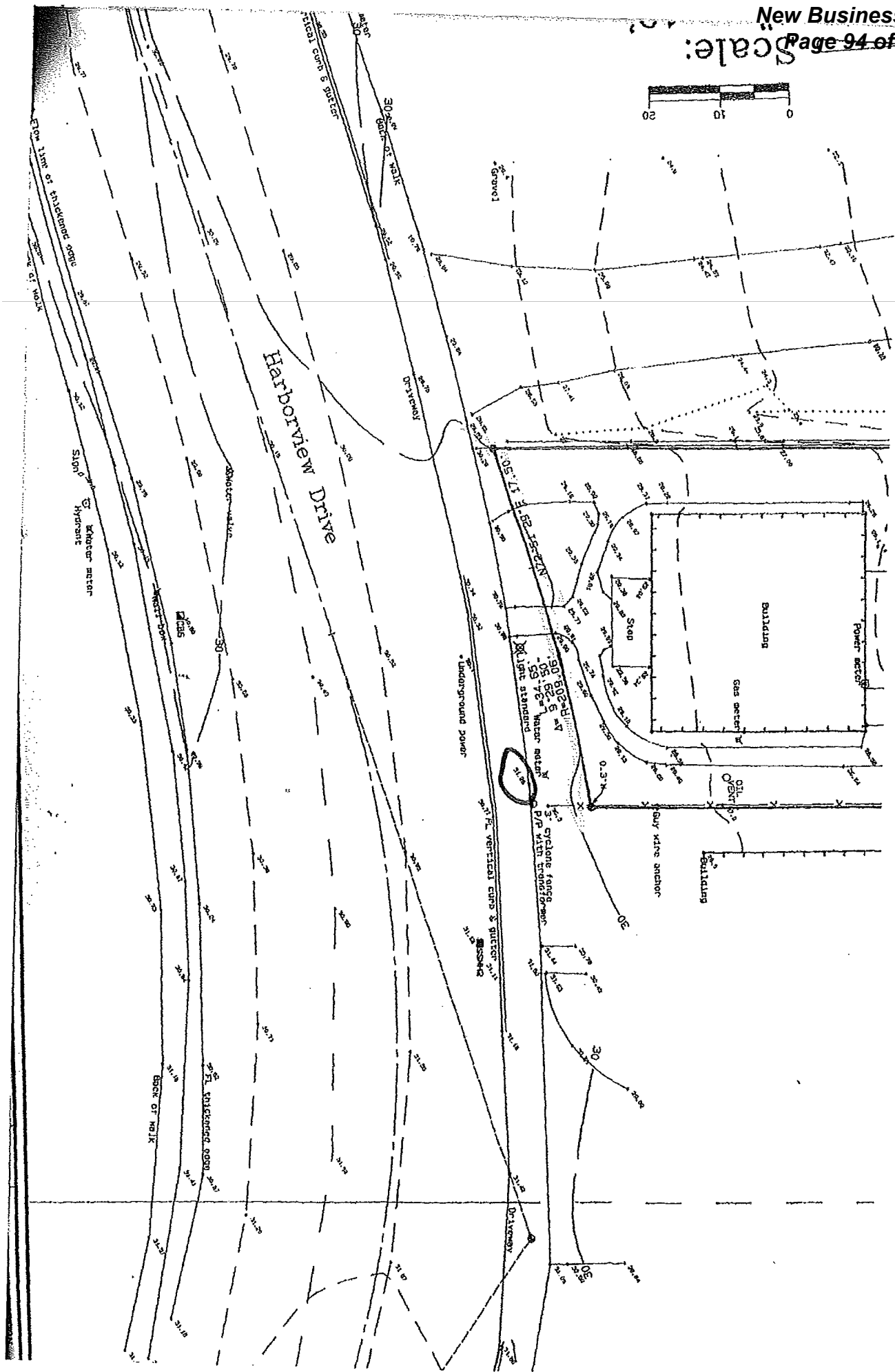
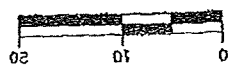
**To:** Ali Afrassiabi; Anderson, Myron; Archer, Jessica; Bacchus, Ladd; Berntsen, Edward; Bevin, Avery; Boe, David; Bomkamp, Brent; Bourscheidt, Barbara; Bucy, Russ and Lynne; Carlson, Chuck; Cassell, Constance; Champaco, Brent; Clark, Dennis; Clark, Marjie and Dennis; Coutts, Valerie; Crites, Michael; Czuleger, Tami; Davis, Brett; Declements, Annie; DesMarais, Mary; Dishman, Bruce and Linda; Dompier, Norma; Dragoo, Bob; Drohan, Tom; Evans, Bill and Karen; Ford, Richard; Frisbee, Bob; Gagliano, Jeanne; Gagliano, Joseph; Gaigher, Shannon; Gair, Bruce; Gary, Tom; Gerald, Bill; Glein, Gary; Glock-Johnson, Charlee; Graffe, Jo; Grinberg, Roy; Harder, Barbara; Herneux, Curtis; Hill, Leonard; Hill, Leonard; Hoppen, Guy; Hoppen, Mark; Hunter, Dianne; Johnson, Martha; Johnson, Noah; Kabbhallim, Paris; Kent-Smith, Tomi; Kreitzer, Karl and Lois; Lantz, Pat and John; Lee, Janet; Leroy, Margot; Lolland, Sue; Lovell, Abby; McClements, Patty; Brett Marlo-Desantis; Dave Morris; David Boe; Dennis Clark; Jeff Acker; Jenla Woock; Lee Smith; Peter Norman; Peter

Stanley; Meyer, Gary; Miller, Wayne; Milton, Joanie; Moist, John; Morrison, Julian; Mueller, Randy; Murray, Joyce; nedderman, Ted and Nancy; Norman, Peter; Norton, Larry; Oka Akiko; Page, Trena; Perrow, Wade; Peterson, Joyce; Peterson, Pam; Politt, George; Pugh, Nick; Quincy, Jake; Ragan, Greg and Karen; Reed, Cindy; Richardson, Lousie; Rose, Andrew; Ross, Debra; Rushforth, Dennis; Scanlan, Conor; Seaquist, Larry; Shaffer, Keirsten; Shaffer, Lilly; Simon Barbara; Smith, lee; Steifel, Justin; Stenlyein, Alice; Stevenson, Lynn; Stouz, Nancy; Thurston, Kathy; Turley, Bryce; Vance, Jan; Vance, John; Vergera, Haleigh; Willenbrock, Jacob; Willenbrock, Kelsea; Wills Christine; Winfrey, Patti

**Cc:** Sehmel, Lindsey

**Subject:** Downtown Residential Building Height and Front Setback Amendments

Please find attached the Notice of Public hearing for the Downtown Residential Building Height and Front Setback Amendments for the City of Gig Harbor Planning Commission Public Hearing scheduled for April 11<sup>th</sup>, 2013 at 6:00 pm. Please contact Lindsey Sehmel, Senior Planner at [sehmell@cityofgigharbor.net](mailto:sehmell@cityofgigharbor.net) or 253-853-7615. Thank you Cindy Andrews



**Kester, Jennifer**

---

**From:** jeniawoock@gmail.com  
**Sent:** Thursday, March 21, 2013 4:38 PM  
**To:** Kester, Jennifer  
**Subject:** Proposed amendment

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

To our Gig Harbor Planning Commission...

"The Harbor

Shaped by our maritime heritage the Harbor is a reflection of our past and the foundation for our future. The Harbor is:

A vibrant place where residents, visitors and boaters enjoy a walkable waterfront, picturesque views and the natural environment.

A place that celebrates and perpetuates the character and traditions of a working waterfront and preserves historic neighborhoods.

A place that supports and values local retail shops and services.

A place that provides services for recreational and commercial boating.

The Harbor is a place where people live, work, play, shop and explore."

Sounds familiar doesn't it? This wonderful vision was published on the City's website 12/3/12.

Obviously 2 story buildings in the proposed downtown area do nothing to perpetuate the character and traditions of a working waterfront and preserve historic neighborhoods. We started losing that character with the modern Russell Bldg. If this amendment passes that modern building can grow to 27 feet tall.

If this amendment passes as more buildings are 27 feet where is there room for picturesque views and the natural environment. We were assured that when the Russell Building came into town our views would remain intact and picturesque. Seems neither happened.

Just an example how past actions can foretell of a proposed future.

Wouldn't it be grand if there was a guarantee that 2nd floors would be living spaces and 1st floors were retail...perhaps we should try?

The rumors about hotel/retail space to be proposed on the hill corner of Soundview and Harborview...how would this impact traffic on Harborview towards the old ferry landing?

Perhaps before we open the door to more traffic downtown a traffic impact study should happen on the affected areas including streets bordering on this area.

We all want to see a lively, productive, retail healthy downtown. Perhaps a traffic impact study is the first step to begin before we give the OK to 2 story buildings.

Thank you for your time Jeni and Del Woock

"What would you attempt if you knew you could not fail? r. schuller

[feelgoodfreartproject.blogspot.com](http://feelgoodfreartproject.blogspot.com)

**Kester, Jennifer**

---

**From:** Sheila Bujacich [jbujacich@centurytel.net]  
**Sent:** Thursday, March 21, 2013 4:04 PM  
**To:** Kester, Jennifer  
**Subject:** Re: 2 Story Buildings in downtown GH

I am casting a NO vote to 2 story bldgs.

Sheila Bujacich, 3323 Ross Ave, GH

**Kester, Jennifer**

---

**From:** Gloria Hazelrigg [jewelkit@centurytel.net]  
**Sent:** Thursday, March 21, 2013 2:51 PM  
**To:** Kester, Jennifer  
**Subject:** CITY PLANNERS

What is the single thing which sets Gig Harbor apart from every small city in Western Washington? The harbor, of course! If it weren't for the harbor itself, we could be anywhere---Lakewood, Lynwood, Puyallup, or any other town or city across the country! Why enable someone to hide more of the view of this unique, lovely spot? I suggest it is nothing more than greed and lack of interest in the long term life of Gig Harbor that is driving this avaricious, self-serving suggestion! In the twelve years I have been here I have seen more and more views of our harbor become invisible to residents and tourists alike. Please do not allow this to happen!

Gloria Hazelrigg  
6100 Soundview Drive  
Gig Harbor  
253-858-7467

**Kester, Jennifer**

---

**From:** Tom Curran [tfcurrenjr@yahoo.com]  
**Sent:** Thursday, March 21, 2013 1:17 PM  
**To:** Kester, Jennifer  
**Subject:** Increasing Maximum Building Heights

When I moved to Bellevue in 1972, it had small-town charm, wonderful character, and a 3-story downtown building height limit. The city administration also had a firm commitment to responsible and sustainable growth, orderly development, and a high quality of life. I won't comment on how I think Bellevue has turned out. But I would rather hope we can control our ambitions for Gig Harbor better than they did on the East Side.

Tom Curran  
4220 71st Ave Ct NW  
Gig Harbor WA 98335  
253-549-6541  
[Tfcurrenjr@yahoo.com](mailto:tfcurrenjr@yahoo.com)  
Sent from my iPhone



**Kester, Jennifer**

---

**From:** Barbara527@aol.com  
**Sent:** Wednesday, March 20, 2013 4:55 PM  
**To:** Kester, Jennifer  
**Subject:** Let's hope you are not going to ruin the view of the harbor...

....with higher buildings. Whatever are you planning? Especially along your main downtown street?

It is a shame the city does not care enough to try to update and keep a village environment and do more to attract businesses so that all of us in the Harbor area, whether within or without the city limits might be more tempted to do our shopping downtown.

Many years ago many of us just wanted a building code that would make all the buildings resemble more of what Kennibunkport Maine looks like. There, the townspeople truly shop downtown in locally owned businesses and restaurants, not the catalog stores that have been welcomed at UpTown. Seems the town fathers have never gone out of their way to support the delicacy and delight of a town that borders such a special and unique harbor.

Too, more and more boating friends tell us there isn't much reason to stop at Gig Harbor downtown any more; too few shops and too few things to do, no where to buy groceries, no special events and the town is getting uglier instead of quainter and/or lovelier. Even those who love to walk the town feel there is less and less of the harbor environment to enjoy, plus all the car exhaust with the traffic going by destroys the fresh air of a lovely walk near the water.

Boo hoo Gig Harbor! So sad.

Barbara Simon

**Kester, Jennifer**

---

**From:** David Boe [dboe@boearc.com]  
**Sent:** Thursday, December 06, 2012 4:16 PM  
**To:** Kester, Jennifer  
**Cc:** jarcher@boearc.com  
**Subject:** City of Gig Harbor Text Amendments - No. 1 Sketch  
**Attachments:** Gig Text Amendment 1 Sketch.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Jennifer, I hope to be able to get to the Public Hearing tonight – but in case I don't, just want to say that I am in support of the proposed amendments with one tweak. The first item referencing additional interior gross area allows for roof modifications providing that the height of the new roof elements do not exceed the underlying zoning height. The problem with this requirement is that it mixes an item relative to the look and use of building with a requirement that is completely dependent on the site topography. What you want, I believe, is any additions and/or modifications to the existing building to look consistent with the building itself and not look odd on the building – which is the danger if you tie it to the underlying height restrictions of the site.

The attached sketch shows this situation. If you have minimal slope to the site and a large building, well, you won't be able to add roof dormers as these new dormers would be above the underlying height – so the second floor cannot be developed – so the building is not redeveloped – so you might lose the building or it will continue to sit underdeveloped.

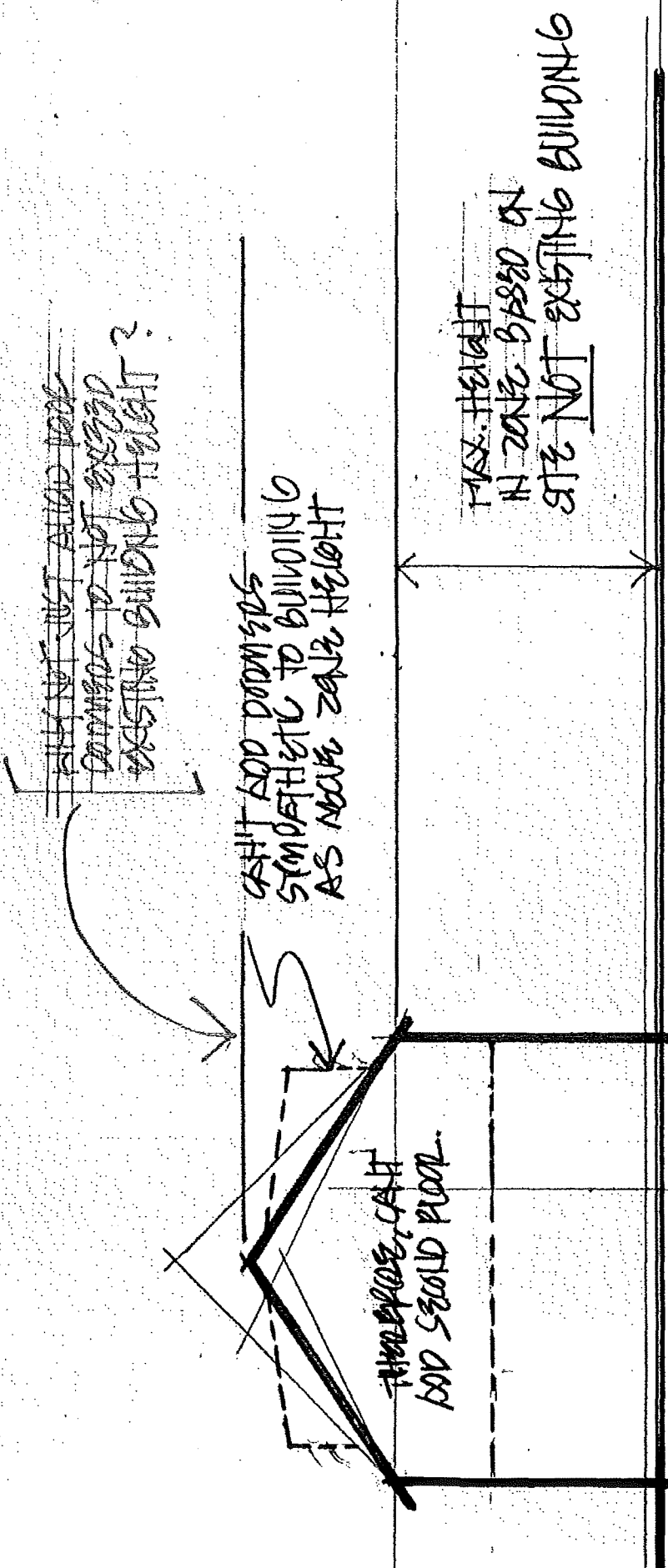
If the code language was changed so that you are restricted to the height of the existing building, then it allows for a solution that is appropriate to the building itself and not imposed from a site condition (and you are not blocking anymore of the view given the limitation of the existing height).

If you felt that is giving away too much, then you could use the roof modulation requirement of stepping the additions down from the ridge a minimum of 5 feet – but it seems the existing ridge as the maximum height allows for a much better solution that can be developed to maintain and augment the existing character of the building(s).

Other than that – looks great and I can think of a couple more slight tweaks that could help make development pencil and more importantly, end with a result that is closer to the visioning process of The Harbor. Hope to see you tonight. David

David Boe - Principal  
[dboe@boearc.com](mailto:dboe@boearc.com)

BOE architects, pllc  
705 Pacific Avenue  
Tacoma, WA 98402  
(253) 383-7762  
[www.boearc.com](http://www.boearc.com)



HEIGHT OF BUILDING TO BE REMOVED AS NEEDED

HEIGHT OF BUILDING TO BE REMOVED AS NEEDED

HEIGHT OF BUILDING TO BE REMOVED AS NEEDED

MAX HEIGHT

HEIGHT OF BUILDING TO BE REMOVED AS NEEDED

HEIGHT OF BUILDING TO BE REMOVED AS NEEDED

WOOD CHAIRS AND SEAT

WOOD CHAIRS AND SEAT

**Kester, Jennifer**

---

**From:** Debra Ross [debraross80@yahoo.com]  
**Sent:** Tuesday, December 04, 2012 2:33 PM  
**To:** Kester, Jennifer  
**Subject:** Planning Commission Public Hearing

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Jennifer

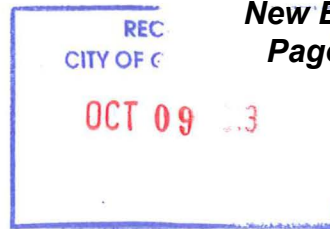
I am in receipt of the notice for the Gig Harbor Planning Commission Downtown Building Size Public Hearing to be held Thursday, December 6, 2012. I will not be able to attend the Hearing.

I would like to address the proposed downtown building size amendments that would apply to the Downtown Business (DB) zoning and the Waterfront Commercial (WC) zoning district that abut the DB district. I would request that the Planning Commission include Waterfront Millville zone in these Amendments. As the owner of an existing commercial building in the Waterfront Millville zone the Amendments would be of as much value for my commercial building on Harborview Drive as existing commercial buildings in the DB & WC zones.

If the Planning Commission is not able to include the Millville zone in this public hearing I would hope that this amendment would be considered at a future date for Millville zoned commercial properties.

Thank you.

Debra L. Ross  
253-851-4751 home, office, fax  
253-970-3966 cell



Mr. Mayor, City Council;

### *The Harbor*

*Shaped by our maritime heritage, the Harbor is a reflection of our past and the foundation for our future. The Harbor is:*

- \*A Vibrant place where residents, visitors and boaters enjoy a walkable waterfront, picturesque views and the natural environment.*
  - \*A place that celebrates and perpetuates the character and traditions of a working waterfront and preserves historic neighborhoods.*
  - \*A place that supports and values local retail shops and services.*
  - \*A place that provides services for recreational and commercial boating.*
- The Harbor is a place where people live, work play, shop and explore.*

Why did you write this statement if you are not willing to live by it?

This is a great visioning statement; you presented it well and the public has bought into this statement big time. Every decision you make needs to pass this visioning litmus test.

There are lots of folks watching to make sure this is a living visioning statement.

Attached to this letter is a petition:

#### **Gig Harbor Citizens Say NO to All Proposed New Zoning Rules Anywhere On Harborview Drive.**

There are 1,493 names on the paper petition and the online petition, combined. You will note that some of the online petition signers made comments beside their names and we expect those comments to also be entered into the public record.

We do expect these names will be entered in the record, along with emails and public comment.

**The majority view does outweigh the financial interest of a few.** Monday, October 14, beginning at 5:30pm the City Council will be overflowing with citizens, prepared for their 3 min public comment, watching and waiting for your vote on this amendment. Everyone has read the code, familiar with paragraph B, there are no new particulars in the amendment and you have the ability to vote on this amendment that evening.... In the light of day...with residents watching.

### **Will the Gig Harbor City Council Overturn the Will of the People?**

Citizens For The Preservation Of Gig Harbor Waterfront

Gig Harbor citizens say NO to all  
proposed new zoning rules anywhere on Harborview Drive.

Please print clearly

2

NAME	STREET ADDRESS	ZIP
Dave + Michelle Mac	5076 Dylan Ct	98335
Douey Ribera	66 Pt. Fosdick Dr NW	98335
PAT BAXTER	11004 54 <sup>th</sup> ST CT NW	98335
Tom Bullis	8424 Goodwin Dr	98332
Michelle Kennedy	10220 66th Ave NW	98335
Brent Dieger	3406 64 <sup>th</sup> Ave CT NW	98335
Dwayne Hummel	4807 Old Stump Dr NW	98332
Sherry Hummel	4807 Old Stump Dr	98332
Ed Carnahan	8018 Dardick	98332
Kim Carnahan	"	"
Katie McKeener	1823 44 <sup>th</sup> Jt. Ct. NW	98335
R.P. McMillen	17802 10 <sup>th</sup> Ave Ct	98335
Polly McNichols	4214 55 <sup>th</sup> St CT NW	98335

**BIG MEETING:** Monday, Oct. 14 , 5:00 at the GH Civic Center.....

(If you would consider sharing your email with us...we can remind you of the meeting. We do not share emails with anyone.)

**Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.**

Please print clearly Phone numbers and email addresses do NOT get turned in to the city

NAME	STREET ADDRESS	ZIP	PHONE	EMAIL
Stephen Owen	11306 <sup>th</sup> Ave NW	98332	2	
Janice Owen	11310 66 <sup>th</sup> Ave NW	98332	2	
Deborah Thir	66 PT Fosdick Dr.	98335	25	
Don Baxter	11004 54 <sup>th</sup> ST CT NW	98335	2	
Terri Rossi	13402 37 <sup>th</sup> AVE CT NW	98332	0	
David Baum	2504 7 <sup>th</sup> St. NW	98335	2	
Debbie Kosis	5311 Viewpoint Dr NW	98335	25	
Eric Amundson	8204 STINSON AVE	98332	2	
Renee Sorensen	4704 148 <sup>th</sup> ST CT NW	98332	2	
Kelly Keenan	4410 155 <sup>th</sup> St NW	98332	2	
MATIE ROBERTS DREYER	3314 ROSEDALE	98335	20	
NINA <del>BRETT</del>	3406 64 <sup>th</sup> AVE CT	98335	2	
Sarah Cice	2203 122 <sup>nd</sup> St NW	98332	2	
Nancy Bretnorst	2813 65 <sup>th</sup> ST CT NW	98335		

Please visit [www.TheCityofGigHarbor.net](http://www.TheCityofGigHarbor.net) for more info.

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

Please print clearly

Phone numbers and email addresses do NOT get turned in to the city

NAME	STREET ADDRESS	ZIP
Norma E Collins	6633 McDrazel Ave	98335
James M. Hines	3508 38 <sup>th</sup> Ave NW	98335
Amy McMeimen	5914 28 <sup>th</sup> Ave NW	98335
Learn Bryan	3308 42 <sup>nd</sup> Ave NW	98335
BJ Rinde	1915 26 <sup>th</sup> St NW	98335
Nancy Koehn	11419 66 <sup>th</sup> Ave NW	98332
Bob Smith	9509 Randall Dr NW	98332
Jean May	3812 51 <sup>st</sup> St NW	98335
LILA HOWE	13 RAFT IS. DR NW	98335
TAMERA MCKAY	2304-55TH ST CT NW	98335
Shirley Ann Mattson	3840 Snyder Lane	98335
SANDY FRINGLE	3821, 61 <sup>st</sup> Ave CT NW	98335
Joy HERRMANN	5408 24 <sup>TH</sup> AVE NW	98335
Diane Crooks	3221 Tarebochiest	98335



Gig Harbor citizens say NO to all  
proposed new zoning rules anywhere on Harborview Drive.

Please print clearly

Phone numbers and email addresses do NOT get turned in to the city

NAME	STREET ADDRESS	ZIP
Carl Labin	15724 <sup>DR</sup> Goddard	98329
Monique Wallis	5903 Lagoon Lane	98335
Maxine Pomeroy	3702 Hunt St NW #4	98335
Judy Hayward	3717 Pinnac Act	98335
Sandy Brosius	2409 19 <sup>th</sup> Ave CT NW	98335
Kathy Artunberg	8111 56 <sup>th</sup> St. N.W.	98335
Sol M. <del>Chase</del>	8111 56 <sup>th</sup> St. N.W.	98335
Patricia Smith	PO Box 916 <sup>Lakebay WA</sup>	98349
PAMELA Tiller	GIG HARBOR 11255 Bergen Loop NW	98332
SAMUEL S. WEITZ	2815 112 <sup>th</sup> St. CT NW	98332
Jed deMers	7204 North Creek Loop Gig Harbor	98335
SUSAN D. CLARKE	8167 Shirley Ave. Gig Harbor	98332
JANICE B. BLASE	2511 6 <sup>th</sup> St. NW GIG HARBOR	98335
Kathryn Brown	8801 30 <sup>th</sup> St Ct NW	98335

Gig Harbor citizens say NO to all  
proposed new zoning rules anywhere on Harborview Drive.

Please print clearly

NAME	STREET ADDRESS	ZIP
Dianne Taise	9819 43 <sup>rd</sup> Ave NW	98332
Nancy & Coon	6315 74 <sup>th</sup> Ave CTNW	98335
Lorraine Ruyon	11216 Burgen Loop NW	98332
Beatrice Kautzman	3129 Horsehead Bay Dr NW	98335
Diane Dernbach	3129 Horsehead Bay Dr NW	98335
Kathleen Cunningham	6110 Idith St NW	98335
SALLY SKIDD	2019 38 <sup>TH</sup> ST NW	98335
Jusan Hayes	2505 Cliffs Rd	98335
BOB ROBERTS	3305 EMERALD EXP.	98335
Pat Woodward	14214 51st Ave	98332
CONRIE KOENKE	3301 77 <sup>th</sup> AVE NW	98335
SUNE LANE	13815 - NW <sup>th</sup> AVENUE	98332
TERRY RICEY	2714 Marklands Ave NW	98335
PAT HERBER	4113 - 76 <sup>th</sup> Ave (NW)	98335



Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Jim Busse	7905 Hiden Lane	98335
Lynn Golonka	4314 38th Ave NW	
Dona Matthews	5803 125th St NW	98332
Patricia Weigel	2117 Drummond Pl NW	98332
Brenda Stoop	4815 Bering St. NW	98332
Gary Stoop	4815 Bering St. NW	98332
Liana Harkwitz	6306 62nd Ave Ct NW	98335
Tom Harkwitz	6306 62nd Ave Ct NW	98335
DAVE RALSTON	6208 116th St Ct NW	98332
Lorraine Ralston	6208 116th St Ct NW	98332
BK FELIE	4218 147th St Ct NW	98332
MEREDITH PHILLIPS	9922 36th St. NW	98335
Thomas Hase	11610 Creston Dr.	98329
April Kause	11610 Creston Dr.	98329



**BIG MEETING:** Monday, Oct. 14, 5:00 at the GH Civic C  
(If you would consider sharing your email with us...we can remind you of t

**Gig Harbor citizens say NO to all proposed new zoning**

Please print clearly

Phone numbers and email

NAME	STREET ADDRESS	ZIP	
JANE ALLEN	14722 84th Ave Ct NW	98329	
CHUCK ALLEN	" "	"	
D.J. Parker	10805 View Dr NW	98332	2
SANDRA L. WEIR	13807 93rd Ave NW	98329	8
Billy Knight	14401 95th Ave NW	98329	(
G. Larsson	Puckett	G	1
G. Schutt	5018 78th Ave NW	98335	
BRYAN TURNER	4425 Herb Co Lane	98335	(
LYNNE ROSS	2615 18th Av Ct NW	98335	(

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Debra Eason	4115 35th Ave	98335
Nancy Soper	3610 44th <sup>th</sup> NW	98335
Thomas Melby	9508 Wandsworth	98335
Stan Cook	6329 ISLANDVIEW	98335
ROBERT SMITH	6515 40TH ST CT NW	98335
RENE RITCHIE	6617 40TH ST CT NW	98335
Martin Spencer	3019 18th AVE CT NW	98335
Robert Hebert	4100 Foster St	98335
GARY Gove	3716 Harborcrest NW	98332
Melinda Stuart	2813 Harborview Dr	98335
Jane Craudner	3320 109 <sup>th</sup> St NW	98332
Beth Solan	3416 135th St NW	98332
Sarah Lindsey	4418 Rosedale St NW <sup>#12</sup>	98335
Eloise Richardson	9005 Franklin	98335

Gig Harbor citizens  
proposed new zoning rules anyv

Please print clearly

NAME	STREET ADDRESS	ZIP
Donna Stalback	7412 N. Creek Loop	98335
STEVEN WILKIN	11702 70 <sup>TH</sup> AVE NW	98332
Don Reinkenman	6506 Bak Ln	98335
Chung Camp	3318 AET NW	98335
Nazzy Fardi	3023 18th Av. Ct NW	98335
Lorraine Hanson	1130 143 <sup>1/2</sup> SE N.W.	98332
Stan Brandt	111-35 <sup>th</sup> Ave Ct NW	98335
Robert E. Hardwick	2619 98 <sup>th</sup> St. Ct. NW	98332
Wilma R. Andrew	3919 57 <sup>th</sup> St. Ct NW	98335
Jean M. Kyle Robertson	3435-60 <sup>th</sup> St. Ct NW	98335
Andrea Schady	PO Box 604 Gig Harbor	98335
Nancy Benson	11608 15 <sup>th</sup> Ave NW	98332
Dennis Moore	3525 Ross Ave	98332
Holly Hamilton	3608 16 <sup>th</sup> Ave Ct	98335



Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Estrella Guyt	4822 Old Stump Dr	98332
Sharry Zamberlin	5411 46 <sup>th</sup> AVE CT NW	98335
MARGARET PAIG	3616-101 <sup>st</sup> ST CT N.W.	98332
Susan Barnett	13005 Pt Richmond Dr	98332
Carmella Connelly	7402 Heggen #148 NW	98335
Elizabeth S. Bowers	13208 129 <sup>th</sup> St. NW Gig Harbor	98327
Heleen Wallace	4210 146 <sup>th</sup> St NW - GV	98332
JUDITH ROSSI	1121 BURNHAM DR. GH	98332
PAUL HARDING	12302 MCCORMICK DR NW	98332
EMILY HADDICK	4404 ROSEDALE ST.	GH. 98335
LUELLA MERRICK	3160 ANNAPOLIS	98335





Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Sherley Furhman	9030 #3 Research Hill	98335
Joe McNeil	9020 #2 Research Hill	98335
Laurie Snyder	1908 Sullivan Dr NW	98335
<del>John Bell</del>	<del>304 91st St</del>	<del>98335</del>
V. Hundland	5815 53rd Ave NW	98335
Tanne Stephens	3414 10th St NW	Gig Harbor
Susan Urban	7227 47th St NW	Gig Harbor
Nancy Shelton	12618 Burnham Dr	G.H.
Mary Bell	11717-15th Ave NW	G.H.
Laurel B. Mosher	5414 46th Ave. Ct. NW	98335
Conni Kiser	7214 Ford Dr NW	98335



Gig Harbor citizens  
proposed new zoning rules anyway

Please print clearly

Phone numbers and email

NAME	STREET ADDRESS	ZIP
✓ Teresa J. Ford	4812-62nd Ave NW	98335
✓ Debra A. Ford	4812 62nd Ave. NW	98335
USA Tompkins	3723 74th Ave Ct NW	98335
Quinn Lunden	7127 30th St NW	98335
Barb Harris	9508 Johnson Ln.	98335
Ernie Indaurne	9216 Randall	98332
Michelle Diard	5911 30th St NW	98335
Russell Diard	5911 30th St NW	98335
Kathryn Hage	2804 A Harborview Dr.	98335
Mara Fugle	3901 Woodloch Dr. NW	98335
Lauren Olson	25 N Broadway	98335
LANI A KISH	607 25th Ave NW	98335
Judy E. Hunter	4404 Towhee Dr	98332
✓ Christy Moore	P.O. Box 1462	98335

Gig Harbor citizens :  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Nancy Evans	7508 Pioneer Way	98335
NED BRATSPIS	7700 Pioneer Way Ste 201	98335
Joe Seaton	6922 43rd St NW	98335
✓ H.C. Moore	PO Box 146264 NW	98335
✓ Brian Heath	3321 109 <sup>th</sup> St NW	98332
Paul Lilly	PO BX 1031	98335
✓ BERNADINE BOWMAN	P.O. Box 2209	98335
Rick Gosaw	PO Box 193	98335
Mike Gritman	5316 1st NW	98335
✓ Shelly Cox	3603 Butler Dr	98335
LYDIA SHROPSHIRE	2610 W 11th St NW	98335
ROBERT EVANS	9005 Franklin	98335
Margaret Walker	15320 Goodrich Dr NW	98329

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
✓ Sara Fandel	10514 Crescent Valley	98332
Archie Erickson	4602 Sunny Bay DR NW	98335
Kurt Erickson	" " " "	" "
Mona Margolis	10212 2nd Ave. NW	98332
Zoe Holmes	3830 Sunny Glen Ln	98335
Dr. H. King	113-34 <sup>th</sup> St. Ct. NW	98335
John Shoemaker	142 Fir Dr. NW	98335
Ellen Metster	P.O. Box 2765	98335
Warren Giss	P.O. Box 713	98335
Roger Crocker	P.O. Box 1696	98335
Angie Duff	P.O. Box 802	98335
<del>Th...</del>	BOX 1727	98335
ALWOOD MAWJEE	5917 68TH ST NW	98335



Gig Harbor citizens :  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Kirsten Swan	7010 Soundview	98335
EVAN STEENSLAND	6025 WAGNER WAY	98335
KURT ROTHENBERG	4511 92ND AVE NW	98335
SUSAN MAILLON	7305 SOUNDVIEW	98335
Ron Powers	3830 Snyder Lane	98335
LESLIE CHASTEN	13624 53rd AVE NW	98335
Kim Jost	4301 70th AVE (NW)	98335
JOANN GEMMILL	6463 HUNT HILL AVE	98335
Don Seitzler	2715 62ND AVE NW	98335
DAVID ERICKSON	4705 35th ST N	98335
Stephanie Unker	2277 LITTLE ST NW	98335
Jules Thom	9220 93rd Ave	98332
MICHAEL FARUQ	3417 135th ST NW	98332
BARBARA FREDRICKSON	2805 Ridgeway	98332

Gig Harbor citizens s  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Margaret H Conrad	6100 Seaview Dr	98335
Sharon M Suleh	6864 Windlass Lane	98335
Robert Hartwig	3423 47th ST. CT.	98335
Debbie Mishko	15803 14 <sup>th</sup> Ave NW <sup>GH</sup>	98332
Nettie Olsen	PO BOX 2781	98335
CHERI DOANELEDFORD	4205 Burnham Dr	98332

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
R.C. BUCKLAND	2021 NARROW	98335
	View #124	
MARGARET RICKARD-EGGE	2027 NARROWS VIEW CIR NW #E-142	98335
MARGARET LORENG	821 125 <sup>th</sup> ST. W. NW	98332
MYRNA R. KAHLO	613 HYACK WAY #A	98333
Sandy Buescher	609 Hyack Way	98333
SYLVIA BRAMHALL	6901 Soundview	98335
JAMES L BRAMHALL	" "	"
Nancy V. Daskaloff	2817 39 <sup>th</sup> ST. NW	98335
Milan Daskaloff	2817 39 <sup>th</sup> ST. NW	98335
GWYNETH NIGHTINGALE	2407 Copperton NW Apt. B102	98335
Eugene Barton	9309 PEACOCK HILL DR	98332
Diane Walth	9707 41 Ave NW	98332
ROSEMARIE MARTZ	7221 SOUNDVIEW <sup>302</sup> DR	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Penny McFarland	7836 Warren Dr NW	98332
Gerda Madsen	11002 Moller Dr	98332
Rebecca Johnston	3825 Sabine Ln	98332
Gloria Riley	10913 Moller Dr	98332
Tracy Kalo	615 Hyack Way FI	98333
JUSAN STREMEL	615 HYACK WAY FI	98333
Mary Kay Carey	1215 Pilchuck DR FI	98333
Yvette K. Gaddy	1722 Sullivan Dr	98335
Patricia J. Dameron	6709 84th St Ct NW	98332
Jan Schoenike	8915 N. Harborview Dr	98332
Shirley Wirthgen	14303-144th Ave NW	98332
NATHAN GIFFORS	6503 79th St Ct NW	98335

Gig Harbor citizens  
proposed new zoning rules any

NAME	STREET ADDRESS	ZIP
Kristina White	3903 26th Avc NW	98335
David Millett	9116 Goodson	98332
Janey Hogan	12926 95 <sup>th</sup> Ave N	98329
Cliff M	8320 54th St NW	98335
Joanne Bitches	4011-101st St Ct NW	98332
William Dougherty	3907 60 <sup>th</sup> St Ct NW	98335
STEVE HEUER	13121 Mundra NW	98332
Deena Hendry	PO Box 1304	98335
Leah Nunn	#15580 Peacock Hill Rd	98359
Jack H. Miller	3813 100 <sup>th</sup> St. Ct NW	98332
Janis Steel	209 30 <sup>th</sup> St NW	98335
Alain Clerc	8605 Whitmore Dr NW	98335
Jamie DeTavis	2915-A 130 <sup>th</sup> St Ct NW	98332
Leaven Porsch	7105 54 <sup>th</sup> Ave NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
Patricia Cassidy	11818 16 <sup>th</sup> Ave NW	98332
Mary Faw	8109 66th Ave. N.W.	98332
Lizbeth Jones	6704 86 <sup>th</sup> St Ct NW	98332
W. L. Quinn	8216 51 <sup>st</sup> St. Ct. N.W.	98335
Virginia Sims	4517 Bascom Dr. NW	98335
Nancy Moore	9710 Jacobson Ln	98335
Tracy Vandewal	4715 79 <sup>th</sup> Ave NW	98335
C. H. Thompson	9201 27 <sup>th</sup> Ave NW	98335
Ann Stockdale	1714 28 <sup>th</sup> St Ct NW	98335
Carol Feltner	9809 43 <sup>rd</sup> Av Ct NW	98223
Jack Funch	8506 26 <sup>th</sup> Ave NW	98332
Crista Lybourn	4308 69 <sup>th</sup> St Ct NW	98335
Ally G	6715 94 <sup>th</sup> St Ct NW	98332
Charlene Sims	5288 Debbie Ct	98335

Gig Harbor citizens  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
KENNETH BAKER	7224 Meyer Ln	98335
Karen Insley	7622 54th Ave NW	98335
ROBT. ROBERTS	3305 EMERALD LN	98335
LOUISE WELDON	406 123RD ST CT NW	98332
JENNIFER SULLIVAN	7505 STANLEY LN	98335
RANDALL LEE	PO Box 1608	98335
Julie Spargo	11508 60th Ave Ct NW	98332
Jack Stout	OWNER 7718 SOUNDVIEW DRIVE 3710 123RD ST. CT NW	98332
Jeddy D. Hadden	7210 81st St. Ct	98332
RANDAN MITTV	4215 58th St Ct NW	98335
Yelena Yablotskaya	4215 58th St. Ct. NW	98335
Tod Cole	12904-B Purdy Dr NW	98332
Bret A Haywood	15026 31st Ave Ct NW	98332

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

Phone numbers and email

NAME	STREET ADDRESS	ZIP
Richard A Ford	4812 62nd Ave NW	98335
Patricia Martin	4415-68 St NW	98335
Erin Crocker	7127 30th St NW	98335
Terri Van Matre	2311 48th St NW	98335
Matt Dunham	826 Ellingway	98333
J Rene Buttick	2814 Kelsey Ln	98335
Nancy Ellickson	5625 138th St NW	98332
Carlyn Lett	7809 Reliance Ridge	98335
Paulette Osborn	3726 123rd St	98332
Sharon Sadler	5226 Old Stump <sup>Dy NW</sup>	98332
Jonathan Himmelstein	8107 Ray Nash Ct	98335
Monica Dilkes	11713 15 Ave NW	98332
Ueli Hennicks	6204 116th St CT NW	98332
Max Hennicks	6204 116th St CT NW	98332



Gig Harbor citizens  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
<i>[Signature]</i>	7301 Stanich	
<i>[Signature]</i>	6021 51 <sup>st</sup> St NW	98335
<i>[Signature]</i>	9719 41st Ave NW	98332
George Jones	11425 33 <sup>rd</sup> Avat NW	98332
<i>[Signature]</i> (Teresa Acklen Myers)	2811 69 <sup>th</sup> Ave Ct NW	98335
Baron T Blevins Baron T Blevins	14807 144th St KAD	98329
Aria M. Hernandez	9602 137 <sup>th</sup> St NW <del>98329</del>	98329
Angela Hughes	9714 Cramer Rd	98329
Shi Winkle	3521 105 <sup>th</sup> St NW	98332
Shelley Grevin	11718 15th AVE NW	98332





Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Curtis Jacobson	7803 Reliance Ridge LN	98335
<del>Wendy</del> Sheila Buntich	3323 Ross Ave	98332
Leslie O. Felt	7809 Reliance Ridge Lane	98335
ROBERT FAITZ	2102 95TH ST. CT. NW	98333
LYNNAE FAITZ	2102 95TH ST. CT. NW	98332
BARB MORRETT	6745 Warden Glass Ln	98335
KELLY MORRIS	2714 15TH ST. CT. NW	98335
ROY MORRIS	"	"
Michelle Flintoff	71024 Chumuck	98335

Gig Harbor citizens  
proposed new zoning rules any

Please print clearly

Phone numbers and email

NAME	STREET ADDRESS	ZIP
JOHN PERALTA	7025 SE 160 <sup>th</sup>	98359
Camilla Holmes	7989 Schoolhouse	98335
Michael Haas	4303 Road Dr NW	"
IRENE Lim	6314 - 62nd St NW Gig Harbor WA 98335	
Han Lim	— — — —	
<del>Robert White</del>	<del>734 F</del>	<del>W</del>
Margaret	Shore	WA
Judith Meyers	9323 N Harborview <sup>DR</sup>	98332
LAURA Rothenberg	4511 92 <sup>nd</sup> Ave NW	98335
Danielle Adams	6000 Sandview	98335
Darin Slovack	4202 36 <sup>th</sup> AVE NW	98335
Andrew F. Tait	4008 61 <sup>st</sup> CT NW	9833
Pam Kamen	5515 72 <sup>nd</sup> Ave NW	98335
Clayton Pappas	5018 64 <sup>th</sup> Ave NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

Phone numbers and email a

NAME	STREET ADDRESS	ZIP
Emily R. Porter	6118 51 <sup>st</sup> St NW	98335
Terry Hamilton	3205 Grandview	98335
PETER CHRISTOFFER	6200 SONOVUE	98335
Leah Tomason	2615 Hallstrand Dr. NW	98335
Drea Solan	3416 135th St NW	98332
Tomas Rusinger	8821 Franklin	98332
Julie Risinger	8821 Franklin Ave	98332
Laura Garcia	14219 128th St Ct NW	98329
Gretchen Griffin	PO Box 694	98333
John T. Munn	5801 38 <sup>th</sup> Ave NW	98335
Deborah Eckhardt	1605 112th St NW	98332
Jamie Eckhardt	1605 112th St. Ct. NW	98332
Evan A. Neff	3656 Arden Ln	98332
Ruth Groenig	12104 108 St	98329



Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
Aileen Kinner	6889 STARBOARD LANE	98335
Margery T. Kinner	6889 STARBOARD LANE	98335
Matt Camier	5206 25 <sup>th</sup> AVE NW	98335
Ashley Nguyen	5206 25 <sup>th</sup> AVE NW	98335
Alice Camier	5206 25 <sup>th</sup> Ave NW	98335
BRENT JACKSON	6200 SOUNDVIEW DR F101	98335
Joan Braunowitz	4609 Waverly Dr NW	98335
L.H. B. P.	10427 Sunrise Beach	98332
MARGE B. HER	10427 Sunrise Beach	98332
Wanna Van Bostall	7326 54 <sup>th</sup> Ave NW	98331





Gig Harbor citizens sa  
proposed new zoning rules anywhe

NAME	STREET ADDRESS	ZIP
Gale B Nickel	8310 45 <sup>th</sup> ST NW	98335
<del>Ann</del> BARTON	9309 Peacock Hill	98332
Siane Walth	9707 41st Ave. NW	98332
GEORGE STARR	4926 Old Stump NW	98332
Jody Shougalt	163 25 <sup>th</sup> AVE NW	98335
<del>Barton</del>		
Stanley Olsen	6010 106 <sup>th</sup> AVE NW	98335
Marilyn Weatherman	15822 Peacock Hill Ave. NW	98332
Wet Kellogg	13321 Muir Dr. NW	98332
Amelia Brock	18212 Bayview Rd. #100	98394

Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
Jusan Wilborn	4927 Canterwood DR NW	98332
Keith Swidde	8921 Prentice	98332
Roselyn Knowlden	4515 Garden Pl. NW	98335
Jack Knowlden	4515 Garden Pl	98335
LINDEL LINDY WILBERLY	6830 STARBOARD	98335
Beth Lilley	P.O. Box 1031	98335
Claudia VanHorn	658 Fox DR FF	98333
Rosemarie Brown	13814 56 <sup>th</sup> Ave. NW	98332
Char Wilson	14006 57 <sup>th</sup> Ave NW	98332
Charlie Brown	13814 56 <sup>th</sup> Ave. NW	98332



Gig Harbor citizens  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
DAVE BENNETT	3422 40 <sup>th</sup> ST CT NW	98335
Delene Bennett	3422 40 <sup>th</sup> ST CT NW	98335
Bob Tucker	952 9 <sup>th</sup> Fox Est. Circle	98333
Tommy Giannarino	2415 8 <sup>th</sup> ST CT NW	98332
Carrie Johnson	4508 Boulder Pk NW	98332
Stephanie Jeffries	3319 79 <sup>th</sup> Ave NW	98335
Mary Frantz	13520 9 <sup>th</sup> AVE	98329
Boya Vossler	3221 TARA MCH. 9	98335
Michele Brian	DORVICH	98335
Rex McQuice	3305 DORVICH	98335
AM	812 30 <sup>th</sup> ST NW	98335





Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
<i>[Signature]</i>	844 Jwil Dr. FT	98333
<i>[Signature]</i>	10530 131st Ct NW	98329
<i>[Signature]</i>	10520 131st St NW	98329
JERRY DIETRICH	5820 53rd AVE	98335
DALE BETZ	14314 ENGLEWOOD DR. KPN GH.	98329
Michole Casad	9406 Veterans Dr. SW	98498
Bill McCubbins	5110 Old Stump Dr NW	98332
ANNETTE SMITH	9405 Woodworth Ave	98332
DOG SMITH	9405 Woodworth Ave	98332
Rex Sutherland	38028 55th Aves.	98001
KATHRYN Sutherland	38028 55th Aves.	98001
Uomita S Edensworth	4114 64th St. GH.	98335
Sozanne Smith	9416 Peacock Hill Ave.	98332
Jennifer Miles	6222 Schmel Dr. NW	98332
James Miles	4222 Schmel	98332



Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
Marianne Talley	<del>556</del> 5415	98335
Margaret John	4716 Bear Creek Ln	98335
Debra Knapp	14509 42 <sup>nd</sup> Ave NW	98332
Wynne M. Gregory	7117 33 <sup>rd</sup> St NW	98335
Ken Edgar	3323 56 <sup>th</sup> <sup>Apt. D</sup> NW	98335
Richard Callin	11609 Laurel Run NW	98332
Ann E Sallen	11609 Laurel Run NW	98332
Edith J Frank	1414 Cascade Pl NW	98332
John E. FRANK	1414 Cascade Pl NW	98332
PAUL PERKINS	65 RAFF ISLAND DR	98335
NORA CLARKE	65 RAFF ISLAND DR	98335



Gig Harbor citizens  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
Rosemary L. Ross	3445-50 <sup>#225</sup> ST CT. N.W.	98335
Konnda Paucje	8420 Lewis St	98335
Charlotte Meek	7083 WAGNER WAY	98335
Tennifer Baechler	12520 59 <sup>th</sup> Ave NW	98332
WALTER BAECHLER	" " "	98332
Christine Gates	3707 Rose Dale Ct Gig Harbor WA	98335
Jason Gates	" "	" "
FATIMA FLAHERTY	8915 Shirley Av.	98335
Mila Bortner	2214 ST LUTHER	98335
Lise Goodwin	2405 55 <sup>th</sup> ST NW	98335
Jody Dye	3202 SE Nelson Rd	98359
Evelyn Walker	7318 Flank NW	98335
Catherine Kennedy	1209 Proctor	98335
Elaine Hansel	9407 104 <sup>th</sup> St NW	98332

Gig Harbor citizens s  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
Jayne Michaelson	6511 27 <sup>th</sup> Ave NW	98335
GENE MICHAELSON	6511 27 <sup>th</sup> AVENUE NW	98335
Imogene Anderson	3011 Sherman <sup>Dr</sup>	98335
ART MAGEE	8310 24 <sup>th</sup> AVE CT NW	98335
Cheryl Allred	4425 Harbor Country Ln	98335
SCOTT J. ALLED	4425 HARB. COUNTRY DR	98335
SEAN BEAROSLEY	6217 HARB. SUNSET LN	98335
Randy Mueller	3514 Harborview Dr	98332
Char Casady	6100 Harborview Dr	98335
JERRY FIGUEROA	14925 48 <sup>th</sup> AVE CT NW	98337
Austin King	3516 12 <sup>th</sup> Ave NW	98335
Denise Lutinski	6425 Sandview Dr	98335
Nancy Kendall	8208 77 <sup>th</sup> St. Ct. NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
Jackie Jones	4950 North Creek Ln	98335
ERIC LETHC	2510 36 <sup>th</sup> ST NW	98335
Karin Feddersen-Leth	7515 36 <sup>th</sup> ST NW	98335
JANE M. STEELE	1409 32 <sup>nd</sup> ST NW	98335
Paul Keeney	7209 Pioneer	98355
MW Hank	840 2104 <sup>th</sup> ST	98332
Mervin Malcorra	3311 7 <sup>th</sup> Ave	98335
MJ M	11	11
MJ. Mitchell	11348 NARROW PT DRIVE	B.I., 98110
Eileen Cahill	7107 40 <sup>th</sup> ST NW	98335
Amanda Brager	4021 N 25 <sup>th</sup> ST	98406
Chase Gamull	4021 N 25 <sup>th</sup> ST	98406
MARDEL POSEHN	6217 Harbor Sunset	98335

Gig Harbor citizens s  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
TRACY PANTAJA	11208 67 <sup>th</sup> Ave Ct NW	98332
DIANE Stillman	5811 38 <sup>th</sup> N.W.	98335
Wanda Gustafson	7203 - 27 <sup>th</sup> Av. NW	98335
Hal Bowen	7921 43rd ST CT	98335
Mary Thorsen	6850 Starboard Lane	98335
Jill Freeman	3710 47 <sup>th</sup> Ave Ct NW	98335
Jeanne MAKOVICH	11824 15 <sup>th</sup> Ave NW	98332
DIANA D. LOGAN	6324 ISLANDVIEW TER	98335
Jill R. Sissons	3611 66th Ave NW	98335
Cyd DOLLIVER	59 Pt. Fensick Ter	98335
Edith Carlson	892 Kamus Pl.	98333
Robyn Clayton	3504 Fieldman Dr. NW	98332

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Richard Altig	13911 49th Ave Ct. NW	98332
Sally Altig	13911 49th Ave Ct NW	98332
<del>PANDA ALLEN</del>	<del>3714 104th St NW</del>	<del>98332</del>
<del>Rita Allen</del>	<del>3714 104th St NW</del>	<del>98332</del>
VICKI RUTH	10916 65th Ave NW	98332
Jody Gauthier	6014 44th Ave NW	98335
DOROTHY BARTON	7216 FORD DR. NW	98335
MARY BUSH	3814 FOREST BEACH	98335
MONA PANTTASIA	11208 67th Ave <sup>NW</sup> Ct	98332
WILLIAM T. PANTTASIA	11208 67th Ave <sup>NW</sup> Ct	98332
Sheila Ballew	1408 32nd St Ct NW	98335
Kandi Bowen	7921 43rd St. Ct. NW	98335
Ralph Connelly	7400 Stinson Ave	98335
Rhonda Taylor	3604 Harborcrest Ct NW	98332

Gig Harbor citizens sa  
proposed new zoning rules anywhere

Please print clearly

NAME	STREET ADDRESS	ZIP
VIRGINIA MURRAY	4025 ROSEDALE ST	98335
Chauhan, Sanyar	4213 Burnham Dr	98332
Mike Coulston	6816 95th St NW	98332
Suzanne P. James	10116 Rivedale Bay Ct NW	98335
John d. James	" " " "	"
JAMESON LAZARES	143 RAFT ISLAND	98335
FRED TIEDT	12409 58th AVE NW	98332
Victoria M. Tiedt	12409 58th Ave NW	98332
Jesse Couble		98335
Elizabeth Ransley	109 Raft Island Dr.	98335
GARY PAPE	5910 33rd St Ct NW	98335
Bess Ann Berg	15100 Peacock Hill	98335
Mary Alexander	Penn Harbor Retreat	98332
Helen Robilliard	1823 61st Ave NW	98335





Gig Harbor citizens s  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
Robin Eck	4016 70 <sup>th</sup> Ave. NW	98335
Marsipa Lepape	10428 Kopachuck Dr NW	98335
Jan Bergman	5114 Ft Fosdick Dr NW E267	98335
Bill Fogarty	3614 Butler Drive	98335
Amber Hunter	220 Tacoma Ave S Tacoma	98402
Dennece Bowen	13316 Purdy Pt. NW	98332
UNDA LEPAPE-ECK	4016 70 <sup>th</sup> AVE NW	98335
Bryan Eck	4016 70 <sup>th</sup> Ave NW	98335
Kasey Eck	4616 70 <sup>th</sup> Ave NW	98335
Patty Picchenino	10310 Kopachuck Dr NW	98335
C. Picchenino	✓	✓
Linda WAT	10920 KOPACHUCK DR NW	98335
John Miller	4105 101 <sup>st</sup> ST CT NW	98332
William E Miller	4105 101 <sup>st</sup> ST CT NW	98332

Gig Harbor citizens s  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
GRANT COLOMBINI		98335
Samuel Bader	9508 127th street ct NW	98332
Cynthia Muscat	3202 96th ST NW	98332
Jennifer Unruh	1811 99th ST NW	98332
Richard Unruh	1811 99th ST NW	98332
NANCY JERKOVICH	6828 93rd ST. NW	98332
Linda L. Foster	6828 93rd ST. NW	98332
Patricia M. Serkovich	3545 Edwards St	98335
Kathleen Smith	PO Box 492	98335
LINDA TOCKER	952 9th CIRCLE	98333
Pamela Collins	9731 62nd Ave S.	98118
Heidi Nettles	7777 92nd St NW	98332
NORMAN HYPKIN	7314 86th St NW	98332
Kenneth Higgins	1444 Ozette Dr	98333

Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
CRAIG MERCHANT	4002 102ND ST CT NW	98332
Janet Medcalf	7177 Grandview Pl	98335
Cheresa Gano	2017 192nd Ave CT Sp	98349
Andie Gano	" "	98349
Pete Kendall	8208 77th St, Ct, NW	98335
monica mazon	13219 53rd Ave	98335
Candace Bully	8119 Shirley Ave	98332
Heather Tuttle	PO Box 2435	98335
Andy Tuttle	" "	"
CLAIRE ALLEY	5109 94th Ave Ct NW	98335
Steve Murphy	4620 34th Ave Ct	98335
Nancy Bordenave	10404 50th St Ct	98335
Allison Bujovich	3815 Verwardson	98332
maureen Carheld	601 133RD St NW	98332

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
JANICE RASSAM	10414 <sup>Ave. NW.</sup> Peacock Ital.	98332
Kandi Horton	155 Maple Ln NW	98335
Deborah Saxon	6606 35 <sup>th</sup> St NW	98335
Kathy Lyle	4615 35 Ave Ct	98335
LAUREN SZCZEPANSKI	10815 Clover Valley <sup>Rd SE</sup>	98307
MARCIN SZCZEPANSKI	10815 Clover Valley <sup>Rd SE</sup>	98307
MIC SAUTOS	11718 HUNTER LN NW	98332
KATHLEEN PETRULLI	2720 37 <sup>th</sup> N.W.	98335
JAMES PETRULLI	2720 37 <sup>th</sup> N.W.	98335
Peggy Murphy	4620 34 <sup>th</sup> Ave Ct NW	98335
Eva Peck	810 130 <sup>th</sup> St NW	98332
Jody Coulston	6116 93 <sup>rd</sup> St E NW	98332
RONALD K. CANFIELD	601 133 <sup>rd</sup> ST NW	98332

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Nanette Leslie	1803 61st Ave NW	98335
Sabrina Garrison	12614 138th St KPN	98321
Ann Robbins	8020 St. 302	NW Gig Harbor
Edward N. Pugh III	5516 51st Ave Ct NW	NW Gig Harbor 98332
Darwin W. Beene	11816 16th Ave NW	98332
Jeri Fullerton	1808 153rd St Ct NW	98332
Sylvia Tinio	13318 139th Ave KPN	98329
Mary Carlson	15115 31st Ave NW	98332
Barbara Jurely	4109 88th Ave NW	98335
Jan Dahl	3507 48th St Lt NW	98335
Robin Corning	8106 74th St Ct NW	98335
Cheryl Kendall	8208 77th St Ct NW	98335
Debra Nozawa	13818 Goldman Dr NW	98329
Troy Russel	78 Island Blvd	98333



Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
n.E. Plummer	7055 Steerer	98335
R. Meyer	5710 62nd St NW	98335
Carol A. Meyer	7113 108 <sup>th</sup> St NW	98332
Shah W. Wagniska	6268 Harbor <sup>SUNSET</sup> LAKE	98335-
Trula Thompson	PO Box 178	98335
Ruth M. Peary	7315 Forest Glade	98335
ERIC ALLEN PEAY	7315 Forest Glade Dr	98335
GARY N. NEUMAN	9509 NEUMAN AVE	98335
Roberta White	8408-88 <sup>th</sup> St NW	98332
John M. DeRoch	8324 DAY HURON AVE	98392
M. KING	2105 58th Ave NW	98335
Greg Mitchell	1822 44 <sup>th</sup> St. Ct N.W	98335
MARLENE L. ZIMMER	3423 Rosedale St NW	98335
Mary Lyssand	13029 61 <sup>st</sup> Ave NW	98335

\*



Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
Maria Welker	9221 Peacock Hill	98335
STEVE Isgrigg	5416 35 <sup>TH</sup> NW, E202	98335
SAYYAK KHAN	8301 137 <sup>TH</sup> ST CT NW	98332
DAN SMITH	7509 PIONEER	98335
KEVIN DANIEL	11924 39 <sup>TH</sup> AVE	98332
LORI Overby	7910 56 <sup>TH</sup> AVE CT NW	98335
MARY JANE LANE	4519 158 <sup>TH</sup> ST NW	98332
Alicia St. Anastassi	6100 Scandinavian Dr 15 APTS	98332
Tara Jones	11504 88 <sup>TH</sup> AVE	98335
Jesse Gik	5409 25 <sup>TH</sup> AVE NW	98335
Erin Richards	11502 38 <sup>TH</sup> AVE CT NW	98332
Maria & Schmidt	7217 87 <sup>TH</sup> AVE CT NW	98335
Alden Poppel	2017 Norrestview Circle NW A-203	98335
Dorene Moon	5921 Reid DR NW	98335

Gig Harbor citizens s  
proposed new zoning rules anywh

NAME	STREET ADDRESS	ZIP
Alva Anderson	3225 Shawnee Dr <sup>NW</sup>	98335
Rob Miller	4425 Harborview	98336
Randi Joyner	6804 76 <sup>th</sup> St NW	98335
MICHAEL LEWIS	POB 661	98395
Melinda Wagner	8920 Randall Ave <sup>NW</sup>	98332
Nancy Matthews	4512 131 <sup>st</sup> Street NW	98339
Dick Hopkins	778 Hidden Lane NW	98335
Charlene Melone	7326 54 <sup>th</sup> Ave NW	98335
Nancy Hopkins	4718 Hidden Ln. NW	98335
Jack Kissler	9006 46 <sup>th</sup> St	98332
Joyce Schilt	14413 174 <sup>th</sup> St NW	98329
RICK KNAPP	4214 137 <sup>th</sup> St	98332

Gig Harbor citizens s  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
Donna PARK	2716 37 <sup>th</sup> ST	98335
WADITA MARTINELLI	4409 33 <sup>rd</sup> AVE NW	98335
Michele Maggip	2703 113 <sup>th</sup> ST CT	98332
Mary J O'Connell	1619 EDGEWOOD DR NW	98332
Regina O'Connell	1619 EDGEWOOD DR NW	98332
Michelle Bingham	87 <sup>th</sup> ST NW	98332
Iveta H. Zayba	713 Stinson Ave	98335
Charlotte Mann	4305-69th St. Ct. N.W.	98335
Tiffany Chambers	10925 Bliss Cochrane Rd KPN	98329
Bradley Chambers	10925 Bliss	98329
Tina McKenna	2211 87 <sup>th</sup> St. Ct NW	98332
PAT OLSON	7323 Schmale P. N.W.	98332

Gig Harbor citizens s  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
Julie Higgins	1444 Olette	98333
Delores Stewart	1269 Mowitzh	98333
MICHAEL ONEILL	3600 OISON DENW	98335
Roberta Wagner	7116 85 <sup>th</sup> ST NW	98332
Bruce Bugbee	7116 85 <sup>th</sup> ST NW	98332
Karen Moore	3706 92nd Ave NW	98335
ROBERT MOORE	3706 92ND AVE NW	98335
Grace Seaman	10215 Rosedale Bay Ct.	98335
Edwin Seaman	10215 Rosedale Bay Ct	98335
R M Wagner	5014 18 <sup>th</sup> St NW	98335
Lisa Krona	6509 46th St NW	98335
Dorothy BRONSON	7799 GARY HWY	98335
Greg Trathen	4015 85th Ave NW G.H.	98335
BONNIE SMART	4411 33 <sup>rd</sup> AVE NW G.H.	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Mitch Landry	3716 87th Ave CT NW	98335
Wanda Landry	3716 87th Ave CT NW	98335
Denise Larson	11502 40th Ave CT NW	98332
Caillin Ussery	11502 40th Ave CT NW	98332
Rebecca Morgan	7325 Sandvick Dr	98335
Kristi Steffen	4104 154th St NW	98332
Manueliese Ward	3812 154th St. SW	98332
BARBARA Fowler	7111 87th Ave N	98335
Kathleen Weiss	4620 Bear Creek Ln	98335
Dana Jones	4620 Bear Creek Lane	98335
Michael Jones, DM	4620 Bear Creek Lane	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
FRANCIS KUNNE	4110 BURNHAM DR	98332
Mary Beth VanderKam	14215 121st Ave Court NW	98329
MARY OLSON	1719 Leonie Ln. NW	98335
LAURIE KLEVAN	4921 Cedarwood Ln NW	98335
Charlene Cauton	6102 44th Ave NW	98335
Elaine Girard	3916 Rosedale St NW	98335
VONNIE SMITH	15049 UZZELL RD S.E.	98359
WYNN SMITH	15049 UZZELL RD SE	98359
Cindy Wilde	4215 31st Ave Ct NW	98335
Charles Mann	144 Pt Fosbick Circle	98335
LARRY RABINEAU	144 Pt Fosbick Circle	98335
KEN KRONE	7400 STINSON AVE #315	98335
JACQUE H. TIEMAN	4846 MAIN SAIL	98335
Wallace R. Tieman	"	1

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Cynthia Iversen <del>Barry</del>	2818 Wollochet Dr NW	98335
ELLS GREEN	2811 64TH ST NW	98335
Lynda LINDNER	8215 GOODMAN DR NW	98332
Manilla Lewis	10870 36th St NW	98335
BARBARA HORNE	7308 RAY NASH DR NW	98335
Carolyn Mumper	3002 27th Ave Ct NW	98335
Jackie Bunnig	5301 61th Ave NW	98335
Juan McAlister	6603 10th NW	98332
18th St NW	3615 114th NW	98332
North	8511 Shawnee Pl NW	98335
Nancy Jensen	12802 47th Ave NW	98332
Tommy	12802 47th Avenue NW	98332
Wally	4100 Foster St 301	98335
Tom Alexander	8805 75th Ave NW	98332





Gig Harbor citizens s  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
Wanda D. Bennett	6827 40 <sup>th</sup> St NW	98335
Gerald Reed	13606 11 <sup>th</sup> Ave NW	98332
Doreen M. Lacy	11937 <sup>th</sup> St NW	98335
ERIK Solvik	3116 HARBORVIEW DR.	98335
Cheryl Eads	3116 HARBORVIEW DR.	98335
David Dattoy	6608 46 <sup>th</sup> St NW	98335
Dan McCormick	9811 43 <sup>rd</sup> Ave SE NW	98332
Celina J. W.	5210 Spruce	98335
MICHAEL MOUNCIL	4425 HARBORVIEW DR. <sup>UNIT 4</sup>	98335
MATT WATSON	9720 RINGWAY DR	98332
ERIC SLIND	4413 88 <sup>th</sup> NW	98335

Sorry - Gig Harbor Citizens ONLY

Gig Harbor citizens  
proposed new zoning rules any

Please print clearly

NAME	STREET ADDRESS	ZIP
Rose S. Dell	12317-103rd ST KPN	98329
L Barrett	7115 WARREN DR NW	98335
CARLENE CARROLL	2907 60 <sup>th</sup> AVENUE CT	98335
LOIS McMONNIES	8906 FRANKLIN AVE	98352
NORMA J. STEPHENSON	4219 14 <sup>th</sup> ST. G. N.W.	98332
NANCIE McGehee	1202 12 <sup>th</sup> CT	98333
Gerda Rodriguez	8519 Prentice Ave	98332
LESLIE BRATTON	14015 98 <sup>th</sup> ST CT KPN	98329
Margie Enfield	14701 31 <sup>st</sup> Ave NW	98332
ELIZABETH PHILLIPS	7697 BEARDSLEY AVE NW	98335
<del>XXXXXXXXXX</del>	2	
Clifton Wise	10414 Peacock Hill	98332
Jean Ferguson	716 47 <sup>th</sup> Ave NW	98335
Lawrence White	2452 63 <sup>rd</sup> Ave CT NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Maura Valentini	8308 83rd St NW	98332
MICHAEL FACCIA	9820 KOPACHUCK DR NW	98335
Heather Cummings	7702 56th Ave Ct NW	98333
Thomas Cummings	"	"
Jon Rampficus	4310 74th Ave Ct NW	98335
KATHY Thurston	2610 71st Ave Ct NW	98335
Patricia Crockett	8801 Randall	98352
Irene Kelton	8618 148th St NW	98329
<del>Uta Fager Kager</del>		
Susan J. Pudebaugh	5107 89th Ave NW	98335
Janli Kuck	3710 Sellers St.	98332
Eddie Kuck	3710 Sellers St.	98332
Dave Murray	5801 38th Ave NW	98335
Sharon Hazelton	3721 102nd St Ct	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Chelsea Binnig	5301 64 <sup>th</sup> Ave NW	98335
Stephanie Alexander	8805 75 <sup>th</sup> Ave NW	98332
SHIRLEY LESTER	2419 JAHN AV NW	98335
MICHAEL FALCONER	3305 114 <sup>th</sup> St NW GH	98332
<del>BEVERLY</del> Beverly McCoskey	1208 34 <sup>th</sup> St. Ct. NW	98335
Charles Bronman	5424 34 <sup>th</sup> Ave Ct. NW # H 102 GH	98335
Inda Berg	5214 TIMBER LN NW GH	98335
Julie King	7321 96 <sup>th</sup> St NW	98335
SHIRLEY Ann Mearns	5160 Cromwell Dr NW	98335
Barbara J. Richards	4811 52 <sup>nd</sup> St Ct NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
ELVIRA GORE	P.O. BOX 2252	98335
MARLEIGH NODTVEDT	4611 131st St NW	98332
MELODY BLACKWELL	9111 66th Avenue N #106	98332
BRIAN BLACKWELL	5114 PT FOSDICK DR PMB 242 GIG HARBOR	98335
Meryl Peterson	5034 Dylan Ct Gig Harbor WA	98335
Stephane Lile	5227 Benning	98332
Joseph Anne Yulias	3203 Horsehead Bay Dr	98332
Helen Naggy	7822 Goodman Dr.	98335
MARY CLEMENT	8308 Wamea Dr	98335
Carol Arnold	4735 Dunbar Dr	98335
Steve Arnold	4735 Dunbar Dr	98335
Donna Nass	1614 42nd St NW	98335
Mandy Barrett	6600 105th St NW	98332
Lora Thumby	4102 157th St NW	98332

Gig Harbor citizens  
proposed new zoning rules any

Please print clearly

NAME	STREET ADDRESS	ZIP
Diana Coda	4018 15 <sup>th</sup> St NW GHS Harbor	98332
Bethany Hodges	4425 Harbor Country Dr	98335
Danielle Bellotti	4210 29 <sup>th</sup> Ave NW	98338
Christopher Bellotti	"	98338
JOHN ENGEL	3 MARBLE BEACH	98332
Laurie Friedman	7202 57 <sup>th</sup> Ave NW	98335
Dean Neal	6816 45 <sup>th</sup> Ave NW	98335
Ronald Fekete	5293 OLYMPIE DR <sup>th</sup>	98335
LINDA Fekete	" "	"
Catherine Knacks	5188 Darby Ct.	98335
Jeremy Perioza	"	"
TERRY D. Pullen	2912 18 <sup>th</sup> Ave Ct. NW	98335
Gael Barnum	" " "	"
Peggy Hagg	4167 Long St NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Rebecca Dingman	14105 56th AVE NW	98332
Robert G Irving	4919 Ray Nash Dr	98335
Teresa Mayfield	8904 50th ST CT NW	98335
Carol Gutierrez	10514 Mintwood Dr KNO	98329
Terry Callaway	10808 58th ST NW	98335
Donna Callaway	" " "	" " "
Lynn Grinnell	" " "	98335
ICWibey	3905 Regatta Ct	98335
Boazie Negandy	3407 79th Avenue NW	98335
Jeanette Kelly	3902 Regatta Ct	98335
Joseph	3717 10th ST NW	98335
Joanne Johnson	3717 10th ST NW	98335
LINDA WRIGHT	7919 BAILEY LN. OLALLA	98359

Gig Harbor citizens  
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
Christy Lahr	5516 51st Ave CT NW	98335
AMBER ARRANT	1315 Agua Vista Dr. NW	98335
Anita Huysman	3652 Edwards Dr	98335
DALE HOYSMAN	3652 EDWARDS	98335
Ken Montgomery	5117 Greenway	98335
LINDA PARFITT	8302 24th Ave NW	98332
Roy PARFITT	" " "	"
Geen Fosbeck	2419 SANW AVE NW #14	98335
Mary Jane Tarabochia	3709 Rosedale St.	98335
Daniel E. Merrill	5160 Cromwell	98335
Susan Dendry	7807 RELIANCE RD NW	98335
Marty Miller	8220 Steinsand	98332
Cheryl Himes	6567 115th St. Ct. NW	98332

Retirees





Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Joe Frederick	10805 Lake Mintrwood	98329
Jeff Frederick	10805 Mintrwood Dr KPN	98329
Kevin Sears	2403 Cliffside Dr.	98335
Kimberly Loring	2403 Cliffside Drive	98335
Linda Felch	13221 130th KPN	98329
Jean Riley	1713 -43 rd apt.	98335
Misty Triplett	4200 83rd Ave NW	98335
<del>Ernest</del>		
Chris Lind	4421 64th St NW	98335
CLAUDIA ANDERSON	3011 SHAWNEE DR NW	98335
Raula Hultgren-Rov	7728 31st St.	98335
MARJORIE H. HORTON	3702 West 4th Ave #1	98335
GREG HEKSEMA	9105 Pennock Hill Ave	98332
Mary Heksema	9105 " " "	"

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Brad Paige	3420 Lewis St	98335
DONNA LORMOR	3503 Homestead	98335
MARK SAMARIN	3582 Lewis St	98335
Melinda Deibo	3421 Lewis St.	98335
Jorrie Torres	3421 Lewis St.	98335
John Simon	3413 Lewis St	98335
Vivian Simon	" " "	" "
John Musgrave	3401 Lewis St.	98335
Sally Lobbestad	3401 Lewis St	98335
Timothy Coons	7303 Myers Ln	98335
Kayla Toy	7333 Hill Ave	98335
Annette Marin	3205 Lewis St	98335
Ignacio Marin	3205 Lewis St	98335
Mandie Johnston	7402 Stanich Ave A	98335

Gig Harbor citizens sa  
proposed new zoning rules anywh

Please print clearly

NAME	STREET ADDRESS	ZIP
Randy SQUANCE	6921 Rosedale	98335
JAMIE LAXAS	193 East Island Dr	98335
Sheryl McDonald	815 Dogwood Ln	98332
Sharon Coy	7918 Olympic View Dr	98332
Emily Arant	4426 Holly Ln NW	98335
L. Robert Powers	7117 85 <sup>th</sup> St NW	98332
Larry Vaughn	7021 8 <sup>th</sup> St Ave Ct	98335
Diana Yaeggy	8812-71 <sup>st</sup> St NW	98335
Patricia Oriti	4321 38 <sup>th</sup> Ave NW	98335
Ashley Moraga	1271 Casandra Loop	98306
Teo Abernethy	7119 83 <sup>rd</sup> St NW	98332
NATHAN KENNEDY	9616 Beachway	98332
DIANNE LEE	8302 Dogwood Ln NW	98332
Cyndee Begallie	7314 82 <sup>nd</sup> St. Ct NW	98332

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
Sherril Malmin	7408 Starvick Ave	98335
Q Malin	7408 "	"
Jeff Young	7107 Station Ave.	98335
Wendy Schuchter	3134 Lamphers Ln.	98335
Jina Bolender	7509 Shaw Lane	98335
Janice A. Rutz	7511 Shaw Lane	98335
Ben Rutz	7515 Shaw Ln	98335
Kelly Mainelli	7517 Shaw Lane	98335
Danielle Borris	3202 Strat St	98335
Lee Desta	7425 Hill Ave	98335
Rhein Etscheid	7320 Hill Ave	98332
MJ Bird	3310 Lewis St	98335



Gig Harbor citizens  
proposed new zoning rules anyway

NAME	STREET ADDRESS	ZIP
Suzanne Klega	7212 46th St NW Gig Harbor	98335
Doreen Waters	2804 107th St NW Gig Harbor	98335
Quinn Kelley McCullen	3315 Tawachuckia St GH WA 98335	98335
Carrie M. Tracy	10815 Colvos Dr. NW Gig Harbor	98332
May Jane Kumagai	4301-33 <sup>RD</sup> Ave. Ct. W.L.	98331
Dianne Dykeman	3613 38th Ave NW	98335
He Mackay	8513 25th St NW	98335
Laura Muzako	219 Bella Vista Dr Fox Island	98333
Ram Salafar	13811 51st Ave NW	98332
Kathleen Eul	7220 40th St NW	98335

Gig Harbor citizens  
proposed new zoning rules anyw

Please print clearly

NAME	STREET ADDRESS	ZIP
SHARON <sup>D. DELANEY</sup> RED LODGE	11400 STINSON AVE #315	98335
LAURA HASSELL	5610 RAYNASH DR.	98335
Fun Thalen	7212 5th Ave NW	98335
Plinio Gutierrez	10514 Winterwood Dr	98329
Sue Foster	5017th Ave Fox Is	98333
Patra Model	1806 Skansie Ave	98335
Mike Emberton	1260 Quets Pk	98333
Laire Gestin	640 8th Ave	98333
RAY PEIRCE	7614 CHOOK AVE	98335
Paul D. Belisle	3615 11th Ave	98335
KATHY BELISE	3615 11th AVE	98335

0

h

R









Gig Harbor City Council

	<b>Name</b>	<b>From</b>	<b>Comments</b>
1.	Del Woock	Gig Harbor, WA	
3.	<del>Barbara Tomlinson</del>	<del>Seattle, WA</del>	
4.	<del>Natasha Salgado</del>	<del>Toronto, Canada</del>	
5.	<del>Bettina Lorenz</del>	<del>Rhede, Germany</del>	
6.	<del>Nils Anders Lunde</del>	<del>Eidsvoll, Norway</del>	
7.	<del>Bartosz Siemiński</del>	<del>Konin, Poland</del>	
8.	<del>david wesaw</del>	<del>Kentwood, MI</del>	
9.	Maria Smart	Gig harbor, WA	
10.	<del>Kathryn Irby</del>	<del>Gulfport, MS</del>	
11.	<del>JL Angell</del>	<del>Rescue, CA</del>	
12.	<del>Fran Fulwiler</del>	<del>Portland, OR</del>	
13.	<del>Aud Nordby</del>	<del>Eidsvoll, Norway</del>	
14.	<del>Evan Roman</del>	<del>San Diego, CA</del>	
15.	<del>Chantal Buslot</del>	<del>Hasselt, Belgium</del>	
16.	<del>J.I. Castellino</del>	<del>Toronto, Canada</del>	
17.	<del>Laura Saxon</del>	<del>Morrison, FL</del>	
18.	<del>Fred Hoekstra</del>	<del>Quilcene, WA</del>	
19.	<del>Jeaneen Andretta</del>	<del>Florham Park, NJ</del>	
20.	<del>Robert Wagner</del>	<del>Fox Island, WA</del>	
21.	Skip Vance	Gig Harbor, WA	
22.	<del>larry arnold</del>	<del>Macon, GA</del>	
23.	Paula Lillard	Gig Harbor, WA	
24.	<del>Helen Coyne-Hoerle</del>	<del>Marina del Rey, CA</del>	
25.	Barbara Simon	Gig Harbor, WA	
26.	Patrick Ryan	Gig Harbor, WA	Please keep downtown Gig Harbor the way it is!
27.	Carlton Ryan	Gig Harbor, WA	Please keep downtown Gig Harbor the way it is!!!
28.	Vivien Abel	Gig Harbor, WA	
29.	Colene Acker	Gig Harbor, WA	Please preserve the character of our historic waterfront by voting no on the proposal to allow 27 foot building heights along Harbor View Drive.
30.	Evelyn Germano	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
31.	Sherry Weitzel	Gig Harbor, WA	
32.	Sandra Erickson	Gig Harbor, WA	
33.	mera Neufeldt	Gig Harbor, WA	I , along with 3 friends, walk the harbor and enjoy he wonderful view and ambience that the harbor provides.We do not want to see it changed.
34.	DENNIS CLARK	Gig Harbor, WA	
35.	Lois Hartwig	Gig Harbor, WA	
36.	David Pine	Gig Harbor, WA	
37.	Bruce Beyerly	Gig Harbor, WA	
38.	Linda Counsell	Gig harbor, WA	
39.	Carol Alex	Gig Harbor, WA	
40.	betty devereux	gig harbor, WA	we need to be able to see the water as we take walks along Harborview drive.... it is THE main attraction to the downtown area
41.	carol McGilliard	Fox Island, WA	
42.	Judy Dresser	Gig Harbor, WA	
43.	John McGilliard	Gig Harbor, WA	
44.	Jeff Acker	Gig Harbor, WA	What is the motivation? This would change the look and feel of down town for ever!! Huge decision; please reconsider.
45.	Dennis Rushforth	Gig Harbor, WA	
46.	Karen Kiehlmeier	Gig Harbor, WA	
47.	bruce dishman	gig harbor, WA	I think the push behind this is wealthy out of towners, lawyers and construction companies. I do not know any local residents that would be impacted by it that are in favor of it.
48.	RONALD SLEGER	GIG HARBOR, WA	
49.	Loretta Lundquist	Gig Harbor, WA	
50.	Janet Medcalf	Gig Harbor, WA	Why do we need change. It is so quaint the way it is now. We have Up Town and Gig harbor North for 2 story flat roof buildings.
51.	Jeanne Williams	GigbHarbor, WA	
52.	Russel Nielsen	Gig Harbor, WA	
53.	Theodore Nedderman	Gig Harbor, WA	
54.	Barbara Sawyer	Gig Harbor, WA	
55.	Pamela Morrison	Gig Harbor, WA	
56.	bruce gair	Gig Harbor, WA	
57.	Carolyn Wyman	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
58.	Frank Hassell	Gig Harbor, WA	
59.	Kathryn Dahl	Gig Harbor,, WA	
60.	Susan McDonald	Gig Harbor, WA	
61.	Joanne Bennett	Gig Harbor, WA	
62.	Charlotte Gerlof	Gig Harbor,, WA	For heavens sake, enough is enough! This is my community, I make a point of supporting the downtown merchants, and I am fond of viewing the shoreline and wildlife. Is it not enough that the "Russell Building Project" was able to block the view from the Tides to the intersection. Know that this citizen is vehemently opposed to this constricted and short sighted proposal. I will make a point of notifying my neighbors about this issue. It is unlikely many will support this. How about putting an article in the Gateway outlining the proposal and impact on those who enjoy our beautiful harbor the way it is. Thank you, Charlotte Gerlof
64.	Nicole Farness	Gig harbor, WA	
65.	Pavel Soukup	Lomnice N Pop, Czech Republic	
66.	Pamela Carr	Gig Harboe, WA	Haven't you ruined enough in this town already??? What a MESS everywhere we look.
67.	Barbara Malich	Gig Harbor, WA	People come for the view--lose that and there will be no reason to come.
68.	Barbara Solberg	Gig Harbor, WA	Please no changes! Any more buildings would change the simplicity of our downtown Gig Harbor.
69.	Marilyn Carr	Gig Harbor, WA	keep downtown historic.
70.	Jeff Carr	Gig Harbor, WA	Please maintain the view for everybody, not just those that can afford a "rooftop view" above 27 feet.
71.	Kristin Johnson	Gig Harbor, WA	
72.	Myrna Binion	Gig Harbor, WA	
73.	Joyce Schilt	Gig Harbor, WA	
74.	Summer Scandrett	Gig Harbor, WA	It will change the entire character of downtown Gig Harbor if the height of buildings is allowed to increase. Let's keep the character and get more businesses downtown to attract us locals and make it a fun destination for out of towners.
75.	Amy Prosser	Gig Harbor, WA	
76.	Lauren DeVaney	Fox island, WA	
77.	gail hall	gig harbor, WA	
78.	Linda Linehan	Gig Harbor, WA	
79.	Beth Thomas	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
80.	Jeanne Glazebrook	Gig Harbor, WA	one of the reasons we moved into the harbor was because of its quaintness and historic presence. Please DO NOT clutter it with tall buildings and do what you can to maintain our fishing/'boating community as well as doing what you can to keep it a place that is inviting for people to visit.
81.	Carlene Salazar	Gig Harbor, WA	I'm signing for all the reasons I moved here. I love the quaint waterfront of downtown. It's what make gig Harbor the place to be. I'd also like to see more conifer trees strategically placed along the walk.
82.	Connie Werner	Gig Harbor, WA	
83.	Christopher Maher	Gig Harbor, WA	
84.	Maggi Michels	Gig Harbor, WA	I grew up in Gig Harbor and have lived here all of my life. It would be a disgrace to ruin the quality of the town landscape by creating a "corridor" (more like a canyon) through the picturesque downtown area. I sign this petition with pride.
85.	martha minter	Gig Harbor, WA	Let us not ruin our beautiful, charming Gig Harbor Waterfront.
86.	Vicki Coffaro	Gig Harbor, WA	
87.	Marlaina Wall	Gig Harbor, WA	
88.	Roberta Johnston	Olalla, WA	
89.	Kathy Thurston	Gig Harbor, WA	
90.	Marie Weis	Fox Island, WA	
91.	Joanne Kemp	Gig Harbor, WA	
92.	Kristen Melanson	Gig Harbor, WA	
93.	PATRICIA MATTOX	GIG HARBOR, WA	DON'T RUIN THE BEAUTY OF OUR VILLAGE WITH BUILDINGS THAT HIGH THE WATER
94.	Shelly Fulton	Gig Harbor, WA	
95.	Kathleen Jameson	Sandton, South Africa	
96.	CareTwo Support	Redwood City, CA	
97.	Laury Curry	Gig Harbor, WA	
98.	Charlie Brown	Gig Harbor, WA	My wife and I have been residents of Gig Harbor for 27years and we love the harbor area. I think the charm, beauty, resort feeling and attraction to Gig Harbor would be greatly diminished if not eliminated by 27 foot structures that block the views in our beautiful harbor. Please reconsider your decision on this kind of construction for the sake of our beautiful city and it's loyal residents. Charlie Brown Local Entertainer
99.	Jeannette Coil	Fox island, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
100.	Jim Eustace	Gig Harbor, WA	I lived in the Gig Harbor area for many years then moved away. I returned three years ago because of the beauty and quaintness of the area. Why are a few developers able to dictate to the many residents? Why do we want to commercialize the water front of this beautiful historic town? When is enough, enough? Do we want to resemble Uptown Gig Harbor? NO! Lets cherish what we have and say NO to this action. Jim Eustace Karen Peck
101.	Joan Rubinstein	Gig Harbor, WA	Tourists are attracted to this area because of the picturesque nature of our town. These zoning changes threaten that attraction and the lure for tourists. Which will adversely impact the economy for local businesses. We don't want another "Uptown" like look and feel on Harborview.
102.	Clayton Brown	Gig Harbor, WA	No way should height limit be raised. Do you want to ruin the character of our town.Would you ask our Fishing Fleet to move out ??
103.	Renee Barnes	Gig harbor, WA	
104.	donna mayer	gig harbor, WA	
105.	James Watson	Gig Harbor, WA	
106.	Jackie Olivier	Gig Harbor, WA	
107.	Margy Clair	Fox Island, WA	
108.	Tiffany Fabian	Gig Harbor, WA	One of the reasons we chose to move to Gig Harbor from out of state was the quaint feel and look to the downtown area. It's beautiful and has kept that small town, historic look. I hope that doesn't change.
109.	Paul Beckstead	Gig Harbor, WA	
110.	Nancy Chryst	Gig Harbor, WA	Please don't let developers ruin our area any more than they already have.
111.	scott fuller	gig harbor, WA	
112.	Sharon Stearnes	Gig Harbor, WA	
113.	JOHN HUBBARD	gig harbor, WA	
114.	Barbara Johnson	Gig Harbor, WA	
115.	Venita Takacs	Gig Harbor, WA	
116.	Sara Christ	Gig harbor, WA	
117.	Janet McConnell	Gig Harbor, WA	Let us keep our sweet downtown area free from greed and big business. Let us keep the postcard look of our downtown intact. This is why people come here! It is not for the Uptown experience but the downtown experience.
118.	Lynn Bauter	Gig Harbor, WA	



	<b>Name</b>	<b>From</b>	<b>Comments</b>
119.	Wilene McIntyre	Gig Harbor, WA	
120.	Duane Johnson	Gig Harbor, WA	
121.	Kerri Salvatore	Gig Harbor, WA	
122.	Roberta Rogers	Gig Harbor, WA	What down town Gig Harbor has can't be replaces. It needs to be protected. It has charm that can't be duplicated. There is too much money to be made developing the area and greed usually wins. I hope not this time.
123.	Robert McConnell	Gig Harbor, WA	
124.	Geraldine Adams	Gig Harbor, WA	The reason we live in Gig Harbor is to enjoy the beautiful water views in downtown. If you take that away, Gig Harbor will lose ALL the character which makes it unique!
125.	George Pollitt	Gig Harbor, WA	On the water side of Harborview there should be single story buildings with large view corridors between buildings. In addition there should be a large setback off Harborview so the view is enhanced.
126.	JoAnne Cooke	Gig Harbor, WA	If you allow this to happen, Gig Harbor will no longer be Gig Harbor. You will kill the ambience of downtown and alter this town forever.
127.	Hugh McMillan	Lakebay, WA	Do NOT destroy our beautiful waterfront!
128.	Sandra Durbrow	Gig Harbor, WA	Gig Harbor has done so well preserving the feel of the Northwest; don't fail us now.
129.	JoAnn Koenig	Gig Harbor, WA	
130.	Vivien Abel	Gig Harbor, WA	
131.	Marilyn Jacobs	Gig Harbor, WA	
132.	Carrie Westover	Gig Harbor, WA	Haven't we put in enough big box stores. Let's not box in the city now!
133.	monique gunther	Gig Harbor, WA	Gig Harbor is perfect the way it is. Don't ruin it by allowing 2 story building to block our view of our wonderful waterfront!
134.	Arta Childears	Gig Harbor, WA	Please don't allow this to happen.
135.	Thomas Heard	Lakebay, WA	
136.	Donald Zeth	Gig Harbor, WA	I can't believe they want to ruin the scenery of such a beautiful area. We moved here for the beauty.
137.	Tom Jones	Gig Harbor, WA	It's all about holding the line on that first building. After that, other developers have leverage to demand the same opportunity.
138.	Michael Deak	Gig Harbor, WA	
139.	Suzie Jimenes	Port Orchard, WA	We always bring out of town guests to Gig Harbor to walk and see the beautiful waterfront and shop in the unique stores.
140.	Richard Eltrich	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
141.	Joyce Fischlin	Gig Harbor, WA	I grew up in Gig Harbor and love my walks and drives through our town. Please do not destroy our gig harbor waterfront with 27-ft., flat-roof buildings and destroy the very ambiance that cause our town to be so alluring and beautiful.
142.	susan leahy	gig harbor, WA	
143.	Barb Heard	Lakebay, WA	
144.	Dale Haas	Gig Harbor, WA	
145.	Dottie Pringle	Gig Harbor, WA	Keep the downtown the same, please.
146.	Andie Wilhelmson	Gig Harbor, WA	
147.	Gerald Smith	Gig Harbor, WA	Sorry, folks, but this idea is totally out of character for our marvelous town. Please drop the whole idea immediately. Thanks.
148.	DOUG TAYLOR	Gig Harbor, WA	
149.	Margot LeRoy	Gig Harbor, WA	The same mental giants who created the mess on Pt. Fosdick are now planning to trash downtown Gig Harbor....Say No to letting developers run this city!!
150.	Lisa Kane	University Place, WA	While I am no longer a Gig Harbor resident, I was for many years and hope to be again someday. Gig Harbor's charm has always been that it is a small fishing village. That has changed over the years unfortunately. If you allow these changes to the waterfront, you will destroy what so many families in the Harbor worked for generations to create. Stop this proposal now!
151.	kit kuhn	gig harbor, WA	
152.	Donna Coulter	Fox Island, WA	
153.	Pamela Longton	Gig Harbor, WA	
154.	Alexander Takacs	Gig Harbor, WA	There are many more important issues than building size that need to be addressed.
155.	Bill Nerin	Gig Harbor, WA	
156.	Deborah Adams	Gig Harbor, WA	
157.	Rhonda Taylor	Gig Harbor, WA	32 years living, working, and playing in Gig Harbor. This proposal is obscene and would destroy the character of this beautiful city.
158.	Thomas Bliss	Gig Harbor, WA	
159.	Kristine Alskog Hall	Gig Harbor, WA	
160.	PAMELA DRIVER	GIG HARBOR, WA	WE NEED TO KEEP GIG HARBOR NATURAL & BEAUTIFUL
161.	Richard Conley	Gig Harbor, WA	
162.	Nancy Elwood	Gig Harbor, WA	We moved to Gig Harbor thinking the zoning was wonderfully thought out and the downtown area was protected and treasured by all -- please don't ruin it!

	<b>Name</b>	<b>From</b>	<b>Comments</b>
164.	Sara Schroeter	Fox Island, WA	
165.	Heidi Sandoval	Gig Harbor, WA	
166.	Heather Capper	Gig Harbor, WA	I'm dismayed at the approach the city council is taking. First, the clear cutting for neighborhoods such as Harbor Crossing, and now this. Gig Harbor is so popular because of its small-town look and feel. Please don't destroy that.
167.	linda dishman	gig harbor, WA	These zoning rules are sponsored by big money out of towners and contractors.
168.	alan h Harris	Gig harbor, WA	
169.	michael ruff	gig harbor, WA	
170.	samuel wohlstadter	Gig Harbor, WA	
171.	Paula Hultgren-Ruff	Gig Harbor, WA	
172.	Thomas McGill	Gig harbor, WA	
173.	karen wohlstadter	Gig Harbor, WA	
174.	Joy Culbert	Gig Harbor, WA	
175.	John Nell	Gig Harbor, WA	
176.	Barbara Magnuson	Gig Harbor, WA	
177.	john bleifuss	gig harbor, WA	
178.	Chelsea Antholt	Gig Harbor, WA	Gig Harbor is losing its charm already with Uptown and all the new shopping centers being built leaving downtown the only place we have this small town feel that I and many love. The new and taller buildings will block the gorgeous PNW view we adore and therefore take away from our city's beauty.
179.	sharon gill	gig harbor, WA	
180.	carlota Moody	Fox Island, WA	
181.	Heidi Tibbits	Gig Harbor, WA	Don't ruin our town!!!
182.	Chelsea Parry	Gig harbor, WA	
183.	Virginia Porterfield	Sig Harbor, WA	Let's show the world that we in Gig Harbor care more about preserving our beautiful fishing village than making money and losing our identity & peaceful lifestyle.
184.	Shanna Coulston	Gig Harbor, WA	
185.	jim groves	gig harbor, WA	This is all about the tax base without any regard to the residents of gig harbor. The city council has a motto "Build and they will come" They call it perpetual motion. Remember to vote!!!

	<b>Name</b>	<b>From</b>	<b>Comments</b>
186.	james stevenson	Gig Harbor, WA	Gig Harbor's greatest long term financial asset is the beauty and historical nature of its downtown waterfront - I was not aware of the meetings until too late and am concerned that extending grandfathered building rights to new construction may lead to the loss of our town's charm by removing the advantages some of our oldest buildings enjoy. As a resident of downtown I would very much like the opportunity to listen and participate in this discussion.
187.	Lynn Stevenson	Gig Harbor, WA	Let's put a stop to sacrificing character and culture for the sake of greed and so-called "progress".
188.	Dan Roso	Gig Harbor, WA	
189.	lynne roso	Gig Harbor, WA	
190.	colby k Campbell	gig harbor, WA	
191.	Melaney Hamby	Gig harbor, WA	
192.	Diana Lee	Gig Harbor, WA	
193.	John Poitras	Gig Harbor, WA	
194.	Lila Gilbertson	Gig Harbor, WA	
195.	Mary Jane segreto	Gig harbor, WA	
196.	Jennifer West	Gig Harbor, WA	
197.	Sarah Collins	Tacoma, WA	
198.	Susan Paredes	Gig Harbor, WA	
199.	Holly Fox	Gig harbor, WA	
201.	Evelyn McLeod	Gig Harbor, WA	I grew up in Gig Harbor and have seen some positive changes in the area. This would not be one of them. The waterfront should remain in its natural state,.
202.	Holly Lemon	Gig Harbor, WA	
203.	Shawn McWaide	Gig Harbor, WA	
204.	Nancy Mayfield	Gig Harbor, WA	
205.	Mike McKeon	Gig Harbor, WA	I cannot believe that an idea as stupid as this one required a third reading.
206.	James Ellis	Gig Harbor, WA	
207.	Jean Ellis	Gig Harbor, WA	
208.	Jeannie Hamilton	Gig Harbor, WA	
209.	Michele Davis	Gig Harbor, WA	
210.	Aline Orlando	Gig Harbor, WA	
211.	Robert Porter	Gig Harbor, WA	I have no idea what is behind any Council forces for change (is it a secret?), but It would seem that Gig Harbor proper should retain its aesthetic small town charm for visitors and residents alike. We really should appreciate what we have without succumbing to business interests in <i>(continues on next page)</i>

	<b>Name</b>	<b>From</b>	<b>Comments</b>
211.	Robert Porter	Gig Harbor, WA	<i>(continued from previous page)</i> this harbor view area. There are enough such opportunities at the uptown location. Keep the harbor pristine.
212.	Hinton Thomas	Gig Harbor, WA	Why would the city council want to approve walling of the wonderful view that is unique to Gig Harbor. This is not necessary or in good taste.
213.	Marc Janes	Gig harbor, WA	
214.	Elizabeth Bloom	Gig Harbor, WA	
215.	Elia Grogan	Gig Harbor, WA	
216.	Carolyn Church	Gig Harbor, WA	
217.	Melanie Love	Gig Harbor, WA	
218.	Robert Evans	Gig Harbor, WA	
219.	Heather Brown	Gig Harbor, WA	
220.	Alton Crandall	gig harbor, WA	
221.	Robin Helene Hebert	Gig Harbor, WA	
222.	Livja Sorenson	Gig Harbor, WA	
223.	John Paquet	Gig Harbor, WA	
224.	Cheryl Trusler	Indianapolis, IN	
225.	Gloria picchetti	Chicago, IL	
226.	James Howie	Scotland, United Kingdom	
227.	Penni Norman	Des Moines, IA	
228.	Brian Russell	Gig Harbor, WA	
229.	Lotta Stenfelt	Malmoe, Sweden	
230.	Leila Wolvinya	Hellevoetsluis, Netherlands	
231.	maxine borgman	gig harbor, WA	
232.	Andrea DeLing	Gig Harbor, WA	
233.	Dahnie Kronschnabel	Gig Harbor, WA	
234.	Kate Larsson	Gig Harbor, WA	
235.	Natalie Lind	Gig Harbor, WA	
236.	Nancy Hopkins	Gig Harbor, WA	The 27' zoning will lead to ruin of our town
237.	Taylor Crippen	Gig harbor, WA	
238.	Robert Himes	Gig Harbor, WA	Don't destroy the essential character of downtown Gig Harbor.
239.	Alan Teed	Gig Harbor, WA	
240.	Barbara Fredrickson	Longbranch, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
241.	Shana Heiser	Gig Harbor, WA	
242.	Brooke Paquette	Gig harbor, WA	
243.	Stephanie Somers	Gig Harbor, WA	
244.	Virginia Black	Gig harbor, WA	
245.	Laini Woodward	Gig Harbor, WA	
246.	Sylvia Wilson	Lakebay, WA	I live outside the Gig Harbor city limits, on the Key Peninsula, but consider Gig Harbor my home. The views from Harborview Drive are one of the highlights of our community that I show off to any out-of-town family and friends that want to see the sights.
247.	kaitlyn pennington	Fort Lewis, WA	
248.	Angela Owens	Gig Harbor, WA	
249.	Danelle Dodge	Gig Harbor, WA	Just say NO to ruining the beauty of Gig Harbor. There are plenty of places to put commerce that will not ruin the aesthetic beauty of this town!
250.	Amy Patterson	Gig Harbor, WA	
251.	Jennifer Hunt	Gig Harbor, WA	The waterfront is the only place left that feels like the Gig Harbor I grew up in. Keep it small, quaint, and beautiful!
252.	Malissa Haynes	Gig harbor, WA	
253.	Krystal Davidson	Gig Harbor, WA	Keep the Harbor the way it is!!!! It's not broken, don't try and "fix" it.
254.	louise Weldon	Gig Harbor, WA	
255.	Andrea Thomas	gig harbor, WA	
256.	Leslie Savage	Olalla, WA	
257.	Erin Carman	Gig Harbor, WA	I beg you to leave our beautiful waterfront drive alone...it's the highlight and draw of our town!
258.	Jill Krueger	Gig Harbor, WA	
259.	Taylor Hacker	Gig Harbor, WA	
260.	Ashley Dahl	Gig Harbor, WA	We just moved here for the charm of this town! Please please please do not strip it of everything that makes it so quaint! You will take the appeal of visiting or living here.
261.	Tommye Treadwell	Gig Harbor, WA	
262.	Diba Wickline	Gig Harbor, WA	Please do not alter our beautiful harbor! What's done cannot be undone ... leave it as it is, picturesque and beautiful.
263.	Fran Olufs	Gig harbor, WA	
264.	Elizabeth Sawyer	Gig Harbor, WA	
265.	Nikki Frantz	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
266.	Jeanette Richardson	Gig Harbor, WA	
267.	Julieanne Engen	Gig harbor, WA	
268.	Sadie Fox-Perdue	Gig Harbor, WA	
269.	SANDRA GILMORE	GIG HARBOR, WA	
270.	MICHAEL GILMORE	Gig Harbor, WA	
271.	Terry Rucker	Gig Harbor, WA	Gig Harbor's heritage is tied to the waterfront and Gig Harbor bay. Why remove that from view? It would destroy the character of the town.
273.	Thomas Murphy	Gig Harbor, WA	Obstructing the waterfront access and view compromises the character and appeal of Gig Harbor and outright undercuts the uniqueness of this village. The view is a defining element of Gig Harbor and obstructing it will cause foot traffic, both resident and tourist, to go elsewhere...and that is something we cannot afford.
274.	Doris Beck	Gig Harbor, WA	PLEASE do not take away the charm that makes Gig Harbor so desirable-it is a picture post card little city-leave the water front peaceful and beautiful.
275.	Tom Kepler	Gig Harbor, WA	Do not mess with a good thing!!
276.	Dee Dee Fuller	Gig Harbor, WA	
277.	Janae Noneman	Gig Harbor, WA	
278.	Mary Eby	Gig Harbor, WA	Let's keep Gig Harbor the picturesque waterfront town it is. Build the tall buildings somewhere else.
279.	Jeremiah Noneman	Gig Harbor, WA	
280.	Edward DuClos	Gig Harbor, WA	
281.	Doran Fox-Perdue	Gig Harbor, WA	
282.	Sharon VanMechelen	gig harbor, WA	
283.	Erika Enquist	Gig harbor, WA	
284.	Barbara Raymond	Gig Harbor, WA	
285.	George Mullinax	Gig Harbor, WA	My wife and I chose to retire in Gig Harbor due to size of the town and the beautiful harbor. Please do not change the zoning and destroy the view of the harbor.
286.	Scott Dahl	Gig harbor, WA	
287.	Erin Reyes	Gig Harbor, WA	
289.	steven kunkel	gig harbor, WA	if the council pass this it will be the end to our beautiful downtown. let it die and dont reintroduce the ordinance. save our city. we need better members on the council give them the axe!!!

	<b>Name</b>	<b>From</b>	<b>Comments</b>
290.	Brian Richmond	gig harbor, WA	
291.	Denis Rosnick	Gig Harbor, WA	
292.	Smit Jacobud	Gig harbor, WA	
293.	Carolyn Burkhardt	Gig harbor, WA	
294.	Timothy Leahy	Gig Harbor, WA	
295.	Dennis Figueira	Gig harbor, WA	
296.	Eric Cook	Gig harbor, WA	
297.	Marissa Clark	Gig Harbor, WA	
298.	Caryn Darmer	Olalla, WA	
299.	David Fuller	Gig Harbor, WA	
300.	Sean Flaherty	Gig Harbor, WA	I didn't move to Gig Harbor to be overwhelmed and burdened with suffocating retail buildings.
301.	David Stevens	Gig Harbor, WA	
302.	Mary Souza	Gig Harbor, WA	Let's not destroy our tourist trade by taking away the beauty of water views along Harborview Drive for the sake of a few wealthy investors.
303.	Robert Grant	Gig Harbor, WA	
304.	Nicole Thoms	Gig Harbor, WA	
305.	Sherry Dougherty	Gig Harbor, WA	Why would anyone come to see our wonderful village, with beautiful water views, if they can no longer see the water? Why "walk the harbor"?
306.	Heidi Stark	Gig Harbor, WA	
307.	Gerald Block	Gig Harbor, WA	This is a proposal by business persons to make money at the public expense of destroying the views we have enjoyed for many years in the past.
308.	Linda Weatherby	Gig Harbor, WA	Do not block our beautiful waterfront. Do not exchange the charm and quaintness of one earth's most beautiful places for shortsighted, shallow gain!
309.	Scyrina Moore	Gig Harbor, WA	Why destroy the view.
310.	Nikki Bayer	Gig Harbor, WA	Leave the Gig Harbor Waterfront ALONE!!!
311.	Peter Hollar	Gig Harbor, WA	
312.	ken barnhart	gig harbor, WA	
313.	Lauren Procter	Gig Harbor, WA	
314.	kathleen dunne	gig harbor, WA	
315.	RON DEYOUNG	GIG HARBOR, WA	
316.	Carly Othman	Gig Harbor, WA	
317.	Michele Lacroix	Gig Harbor, WA	
318.	Denis Lacroix	Gig Harbor, WA	
319.	nicholas moss	gig harbor, WA	



	<b>Name</b>	<b>From</b>	<b>Comments</b>
320.	Jennifer Murphy	Gig Harbor, WA	
321.	Amber DuPont	Gig Harbor, WA	
322.	Theresa Murphy	Gig Harbor, WA	
323.	Daniel Skiffington	Gig Harbor, WA	
324.	Douglas McFarlane	Gig Harbor, WA	
325.	Christopher Maher	Gig Harbor, WA	
326.	Suzy Skiffington	Gig Harbor, WA	
327.	gail tonkin	gig harbor, WA	
328.	Harold Grover	Gig Harbor, WA	Develop outside the downtown area..preserve the fishing village character of the Harbor. Respect the historical value of the "Village". Avoid making this the new Kirkland.
329.	Steven Tyson	Gig Harbor, WA	
330.	Beth Pedersen	Gig Harbor, WA	Please do not change downtown Gig Harbor - North Gig Harbor and the Uptown/Safeway regions have already become ugly traffic congested strip malls. Let's have at least one nice area left in the harbor.
331.	Brian Knesal	Gig Harbor, WA	
332.	Veronica Ahern	Gig Harbor, WA	
333.	Christopher Ubben	Gig Harbor, WA	
334.	Tony Cain	Gig Harbor, WA	Don't destroy our beautiful waterfront with this monstrosity.
335.	delilah evans	gig harbor, WA	
336.	Pam Johnson	Gig Harbor, WA	
337.	Martin Walker	Gig Harbor, WA	Keep the building to uptown and Peacock Hill. Downtown should remain Historical.
338.	Mary Jaspersen	Gig Harbor, WA	To destroy the beauty and serenity of our Harbor is unthinkable to me.
339.	Misty Molina	Gox Island, WA	
340.	pageant estes	gig harbor wa, WA	
341.	Tina Barnes	Gig Harbor, WA	We don't make full, proper use of the spaced down town now. No sense building more, that no on can afford. And our tax dollars should not be wasted like this.
342.	Patricia Ross	Gig Harbor, WA	
343.	Kelly Purtle	Gig Harbor, WA	
344.	Jason Wright	Gig Harbor, WA	
345.	Cathy Hinson	Olalla, WA	
346.	Valda Riley	Gig Harbor, WA	We have more than enough buildings on Harbor Hill and Uptown. Let's keep historic downtown historic.

	<b>Name</b>	<b>From</b>	<b>Comments</b>
347.	Mark Riley	Gig Harbor, WA	
348.	Nicole Burnett	Fox Island, WA	This will destroy the character of the Gig Harbor waterfront. We can NOT let this happen!!!
349.	Jill Wright	Gig Harbor, WA	
350.	Carleen Garrett	Gig Harbor, WA	
351.	Erin Peterson	Gig Harbor, WA	
352.	Cynthia Hillard	Gig Harbor, WA	Please leave the downtown area AS IS! I can't believe planners cannot see the treasure we have already. Shop owners could see more revenue if they'd stay open past 5pm (more often than one weekend at Christmas) when residents can shop. The building erected for the Russell Co. on Harborview is bad enough - it does not match Gig Harbor downtown at all. Imagine opening the doors to build more of that - perhaps bigger and taller. Is this what we really want our city to be? It's charming now - don't "break" it by trying to fix it.
353.	C William Ferris	Gig Harbor, WA	
354.	Theresa Hutchins	Gig Harbor, WA	
355.	Denny Hutchins	Gig Harbor, WA	
356.	Alyssa Nystul	Gig harbor, WA	
357.	Rayce Rybin	Gig Harbor, WA	
358.	Jason Azizeh	Sitka, AK	I'm from GH I've taken walks along Harborview many times and I don't like the idea of zoning or building massive structures in that area.
359.	Lindsay Keeton	University Place, WA	
360.	Patrick Erickson	Gig Harbor, WA	
361.	Megan Sticha	Gig Harbor, WA	There's revenue to be made by taking advantage of the unique gem that is historic downtown, let's recognize what we have!
362.	Nichelle Sherman	Fox Island, WA	
363.	Adrienne Hillard	Gig Harbor, WA	
364.	Lindsey Keating	Gig harbor, WA	
365.	Christopher Case	gig harbor, WA	
366.	Robin Parker	Gig Harbor, WA	
367.	Andrew Salisbury	Gig Harbor, WA	
368.	Josh Elliott	Gig Harbor, WA	
369.	Mallory Burns	Gig Harbor, WA	
370.	Pamela Tiller	Gig Harbor, WA	
371.	Carolyn Buttafoco	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
372.	Richard Hill	Gig Harbor, WA	It won't be Gig Harbor anymore...it will be Condo Harbor. You don't know what you have until it's gone folks. Don't let money be the steamroller that sways your good sense.
373.	Thomas Murphy	Gig Harbor, WA	
374.	Nicole de Recat	Gig Harbor, WA	
375.	Galen Hansen	Gig Harbor, WA	
376.	Bill Marvin	Gig Harbor, WA	The City Council is elected to enhance the quality of life in the Harbor, not to destroy it in the name of ... what? The Russell Building was bad enough, don't risk killing the character of the waterfront that makes this feel like home. The long term survival of GH as a desirable destination depends on it. The city's official website starts by saying, "Dedicated to public service through teamwork and respect for our community." Discovered in 1840 and incorporated in 1946, "Gig Harbor is one of the most picturesque small cities in America." If you are truly dedicated to teamwork and respect for our community, you cannot in good conscience proceed with this ill-advised zoning change along Harborview Drive.
377.	dean anderson	gig harbor, WA	
378.	Cameron Hurdus	Gig Harbor, WA	
379.	Rebecca Gostin	Gig Harbor, WA	Keep Gig Harbor unique, loose the waterfront views and we will be shooting ourselves in the foot. Bad idea.
380.	Brooke Chambers	Gig harbor, WA	
381.	linda hess	gig harbor, WA	
382.	Jeffrey Bryant	Gig Harbor, WA	
383.	Curtis Sharp	Gig Harbor, WA	
384.	F-This Town	gig harbor, WA	They are already trying to turn the harbor in to mini Cali
385.	david carlson	gig harbor, WA	no big huge building or houses
386.	Sherrie Peters	Gig Harbor, WA	I would like to see the Russell building torn down! Stop obstructing the view of our lovely harbor!!!! Not everyone can live on the water, but we should all be able to see it!!!!!!!!!!!!
387.	Jeff Lavinder	Gig Harbor, WA	There is plenty of places to allow over height buildings. Keep the waterfront beautiful and tourist friendly.
388.	Adrienne hall	gig harbor, WA	
389.	David Castner	Gig Harbor, WA	
390.	Chelsea Showalter	Gig Harbor, WA	
391.	annmarie mitchell	gig harbor, WA	
392.	Kim Carnahan	Gig Harbor, WA	New Zoning Rules would destroy downtown Gig Harbor. We can't let this happen to our community!

	<b>Name</b>	<b>From</b>	<b>Comments</b>
393.	Jannine Clemons	Gig harbor, WA	
394.	Jeff Robinson	Lakebay, WA	It was the beauty of the Gig Harbor Waterfront that originally convinced me to move to the area. Don't destroy this historic area by allowing this proposed zoning to occur.
395.	Sandra Dawson	Gig Harbor, WA	
396.	Tony Mendenhall	Vaughn, WA	
397.	Patricia Kingaby	Gig Harbor, WA	Please don't spoil the Gig Harbor skyline!!!
398.	BRUCE BLAKEMORE	GIG HARBOR, WA	Why zone for something you say will never happen? Evidently someone wants it to happen else why the proposal?
399.	Ricardo Vergara	Gig Harbor, WA	
400.	Karen Worstell	Gig Harbor, WA	
401.	Ryan Dawson	Gig Harbor, WA	
402.	Cassandra Cook	Gig harbor, WA	
403.	Tracy Merritt	Gig Harbor, WA	
404.	Joe Hicks	Lakebay, WA	
405.	Chris Piotrowski	Fox Island, WA	
406.	Melissa Kneisly	Gig harbor, WA	
407.	Elizabeth Haycock	Gig Harbor, WA	
408.	Katie Padwick	Gig Harbor, WA	
409.	charlyne gilbert	gig harbor, WA	
410.	Russ Holster	Gig Harbor, WA	There is an old Japanese concept of "wabi-sabi" which we might correlate to old and natural things have a "soulful" feeling about them. The harbor is the soul of Gig Harbor. Keep it as natural and authentic and low-key as possible. Tall, shiny new buildings do not add to the soul or life of a community, they often detract from it.
411.	Sherryl Kemp	Gig Harbor, WA	
412.	Cindy Brooks	Gig Harbor, WA	
413.	Regina Aldridge	Gig Harbor, WA	Please don't take away our waterfront.
414.	Kirk McClain	Gig Harbor, WA	
415.	Rachel Johnson	Vaughn, WA	
416.	Stephanie Hutchinson	Gig harbor, WA	
417.	Paul Hutchinson	Gig harbor, WA	
418.	Gail Drohan	Gig Harbor, WA	
419.	Kathleen Aronson	Gig Harbor, WA	WHY ruin the very thing that IS Gig Harbor!!!
420.	Cameron McClellan	Spokane, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
421.	Kody Davis	Gig Harbor, WA	
422.	Katherine Poulton	Gig Harbor, WA	
423.	David Puckett	Gig harbor, WA	
424.	Thomas Dunn	Gig harbor, WA	
425.	Shane Varsos	Purdy, WA	
426.	Hannah Anderson	Gig harbor, WA	
427.	Trace Sutich	Gig Harbor, WA	
428.	Timothy Pollard	Gig Harbor, WA	
429.	Rylie Enslin	Gig Harbor, WA	
430.	Noah Benesch	Gig Harbor, WA	
431.	Claire Simon	Gig harbor, WA	
432.	Sarah Allen	Gig Harbor, WA	
433.	Jim Labayen	Gig Harbor, WA	
434.	Tucker Wilde	Gig Harbor, WA	
435.	Brian Omalley	Gig harbor, WA	
436.	Hunter Johnson	Gig Harbor, WA	
437.	Jack Chakerian	Gig Harbor, WA	
438.	Samuel Black	Gig Harbor, WA	
439.	Franklin Lyon	Gig Harbor, WA	
440.	Jennifer Glover	Gig Harbor, WA	I've grown up living downtown and would hate to have my view taken.
441.	Charlie Shields	Gig Harbor, WA	
442.	Donald Myers	Gig Harbor, WA	
443.	Kristen East	Gig Harbor, WA	A rustic, small-town feel is what gives Gig Harbor its charm, is a part of Gig Harbor's character, and attracts businesses and tourists to our town. We need to preserve that feel.
444.	Alden Sawicky	gig harbor, WA	
445.	Vann Berryman	Gig Harbor, WA	
446.	Angela Hirsh	Gig Harbor, WA	
447.	Blake Uddenberg	Gig Harbor, WA	Gig Harbor is a town, not a city.
448.	Lori Lawler	Gig harbor, WA	
449.	Tamineh Anderson	Gig Harbor, WA	
450.	Kyra Langhelm	Gig Harbor, WA	
451.	Erin Summa	Gig Harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
452.	John Casebere	Gig Harbor, WA	I love taking dog son walks or visiting the parks and admiring the beautiful harbor. not only that but we get small tourist activity to see the harbor and that supports local shops. if we were to detract from the natural feel of the harbor, over time our tourism is likely to fall and this may trouble small harbor front businesses.
453.	Monica Laning	Gig Harbor, WA	I have lived here for 24 years, and we stay because of the beauty and friendliness of the town. Keep the beauty of the waterfront as it is, please!
454.	Molly McCarthy	Gig Harbor, WA	Make the Harbor stay beautiful
455.	Randy Golonka	Gig Harbor, WA	If you change the Gig Harbor waterfront, it will no longer be the same, quaint seaside town....
456.	JOAN RILEY	gig harbor, WA	please ,please, keep our waterfront the way it is.. that's why we moved here and shop here... if you listen to the developers ,, they will say anything just to make money and mess up our town ,and then leave to go mess up another beautiful town.. they don't care ...they are only interested in making money off of us...don't ;et them do it...
457.	barbara white	gig harbor, WA	Please let the developers make their money somewhere else. One of the reasons we moved to Gig harbor WA for the quaint neighborhood. Refurbish what is there!!!!!!Don't deny waterfront to many for just a few people.
458.	Garrett Hystek	Gig Harbor, WA	The views while driving around town are what attracts people to the harbor
459.	Elise Hays	Gig Harbor, WA	
460.	Danielle Case	Gig Harbor, WA	
461.	Amy Smith	Gig harbor, WA	
462.	Taylor Egloria	Gig Harbor, PR	
463.	Lauren Lott	Gig harbor, WA	
464.	Cindy Harrison-King	Gig Harbor, WA	I've lived in the Harbor since 1963. While I love and enjoy some of the changes and growth that we have experienced it's vital to keep downtown like it is.
465.	phantajja bergman	bremerton, WA	
466.	Crystal Madison	Gig harbor, WA	
467.	Debi Bender	Gig Harbor, WA	
468.	Natalie Anderson	Gig Harbor, WA	
469.	Carmela Micheli	Gig Harbor, WA	
470.	Helen Wallace	Gig Harbor, WA	it is absurd to think that to 'save' the waterfront it must be built up and destroyed. the presentation from last month was pathetic! if bits and pieces of water view were all that the harbor had to offer - it would have died a long time ago! trees, boats, masts, SKY!!! these would all be blocked with <i>(continues on next page)</i>

	<b>Name</b>	<b>From</b>	<b>Comments</b>
470.	Helen Wallace	Gig Harbor, WA	<i>(continued from previous page)</i> the proposed changes! PLEASE SAVE THIS COMMUNITY AND THE ENVIRONMENT!
471.	Kyle Bocanegra	Gig harbor, WA	
472.	Britnie Berg	Gig harbor, WA	
473.	Nichelle Sherman	Fox Island, WA	
474.	haley sbory	Gig Harbor, WA	
475.	April Crichfield	gig harbor, WA	
476.	Anton Harle	Gig Harbor, WA	
477.	Virginia Metcalf	Gig Harbor, WA	Further development of Gig Harbor will ruin the unique qualities of this historic waterfront town. The City Council must have a land ethic which will preserve the natural beauty. To permit further expansion of space occupying buildings would destroy the remaining remnants of this awesome act of creation known as Gig Harbor. Surely we are better than that.
478.	Taylor Zeitner	Gig harbor, WA	
479.	Taylor Leacy	gig harbor, WA	Stay classy Gig Harbor
480.	Elizabeth Bush	Gig Harbor, WA	
481.	Stephanie Fletcher	Gig Harbor, WA	
482.	william rehe	gig harbor, WA	
483.	Shauna Johnson	Gig Harbor, WA	Preserve the quaint picturesque beauty of our waterfront.
484.	Amanda Kooley	Gig Harbor, WA	
485.	Sarah Brady	Gig Harbor, WA	
486.	Matt Bernard	gig harbor, WA	
487.	Nate Robertson	Gig Harbor, WA	
488.	Eric Arroyo	Gig Harbor, WA	Don't Change My HARBOR!
489.	Craig Vincent	Gig Harbor, WA	
490.	Chere Conner	Gig Harbor, WA	Please STOP the industrialization of Ggi Harbor! It's getting bad enough already!!!
491.	Gerald Gilbert	Gig Harbor, WA	
492.	Kenra Brewer	Gig Harbor, WA	
493.	Heather Otto	Gig Harbor, WA	
494.	Ellen Waclawski	Gig harbor, WA	
495.	Colleen Harnish	Gig harbor, WA	
496.	Ariel Wojtanowicz	Gig Harbor, WA	Don't ruin the historic, beautiful view that we have all grown up with and love.
497.	Michael Frier	Gig Harbor, WA	
498.	Riley Gillard	Gig harbor, WA	

	<b>Name</b>	<b>From</b>	<b>Comments</b>
499.	Christine Rushmeier	Tacoma, WA	
500.	Angela Sisney	Gig Harbor, WA	
501.	Dan Carrier	tacoma, WA	
502.	Anastacia Clymer	Gig harbor, WA	
503.	Andrea Fernandez	Castelldefels, Spain	
504.	Quinn Morley	Gig Harbor, WA	
505.	Jennifer Keating	Fox island, WA	
506.	Tracy Gaudio	Belfair, WA	
507.	Holly Warter Unluata	Gig Harbor, WA	
508.	Sara Oppler	Gig Harbor, WA	
509.	sidney turner	gig harbaw, WA	
510.	Emily Floberg	Gig Harbor, WA	
511.	Curtis Rencowski	Apt D301, WA	
512.	Sarah Everitt	Gig Harbor, WA	
513.	beau Karamatic	gig harbor, WA	
514.	Deena Blair	Gig Harbor, WA	
515.	Megan Peterson	Gig Harbor, WA	
516.	Rebecca lester	Gig harbor, WA	
517.	trenton smith	gig harbor, WA	
518.	Lisa Walker	Fox ISland, WA	
519.	Dinah Gemelle	gig harbor, WA	
520.	Jane Gingrich	Gig Harbor, WA	Please do not allow our beautiful village to be ruined by allowing these sorts of buildings!
521.	Jessica Stancikas	Gig Harbor, WA	
522.	Thea Wescott	Gig Harbor, WA	





# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)



Existing building footprints (in yellow) exceed building size maximums already in place.

Current building footprint limits (in blue)



## AREA OF IMPACT -- Skansie Park to Tides Tavern



# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)



Existing building footprints (in yellow) exceed building size maximums already in place.

Current building footprint limits (in orange)



## AREA OF IMPACT -- Babich House to Green Turtle



# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

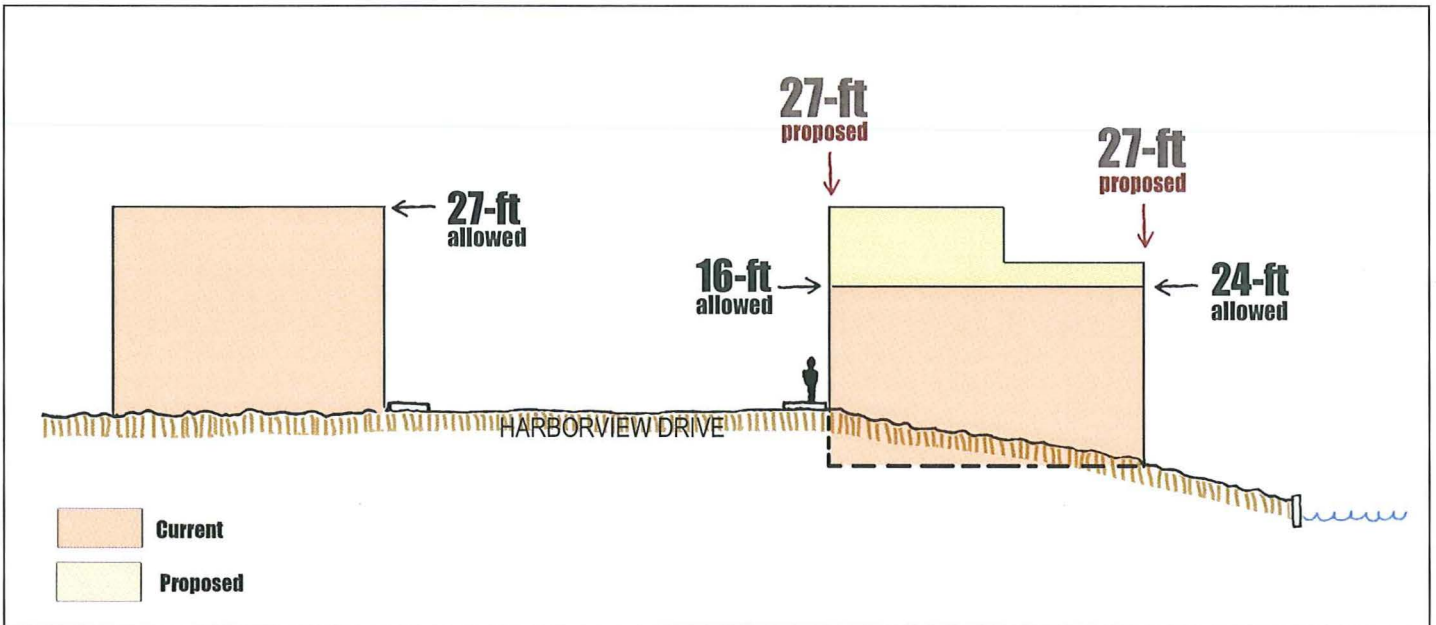
**Q -- Are there already 2-story buildings in the downtown?**

**A --** Yes. The map below shows many 2 and 3-story buildings constructed before building height limits were imposed.



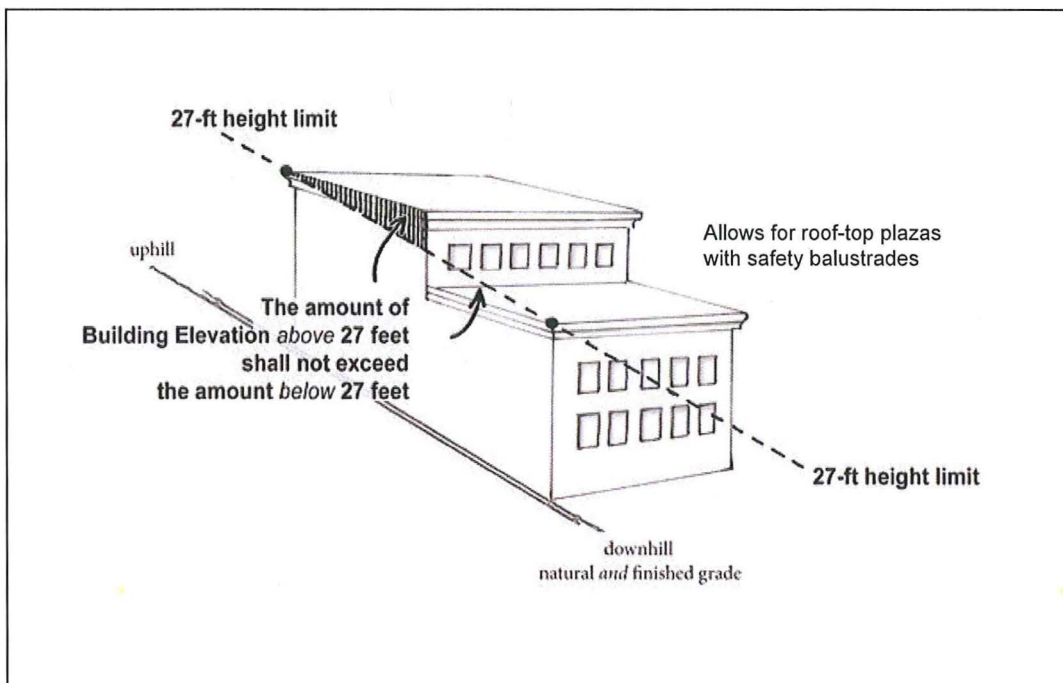


# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)



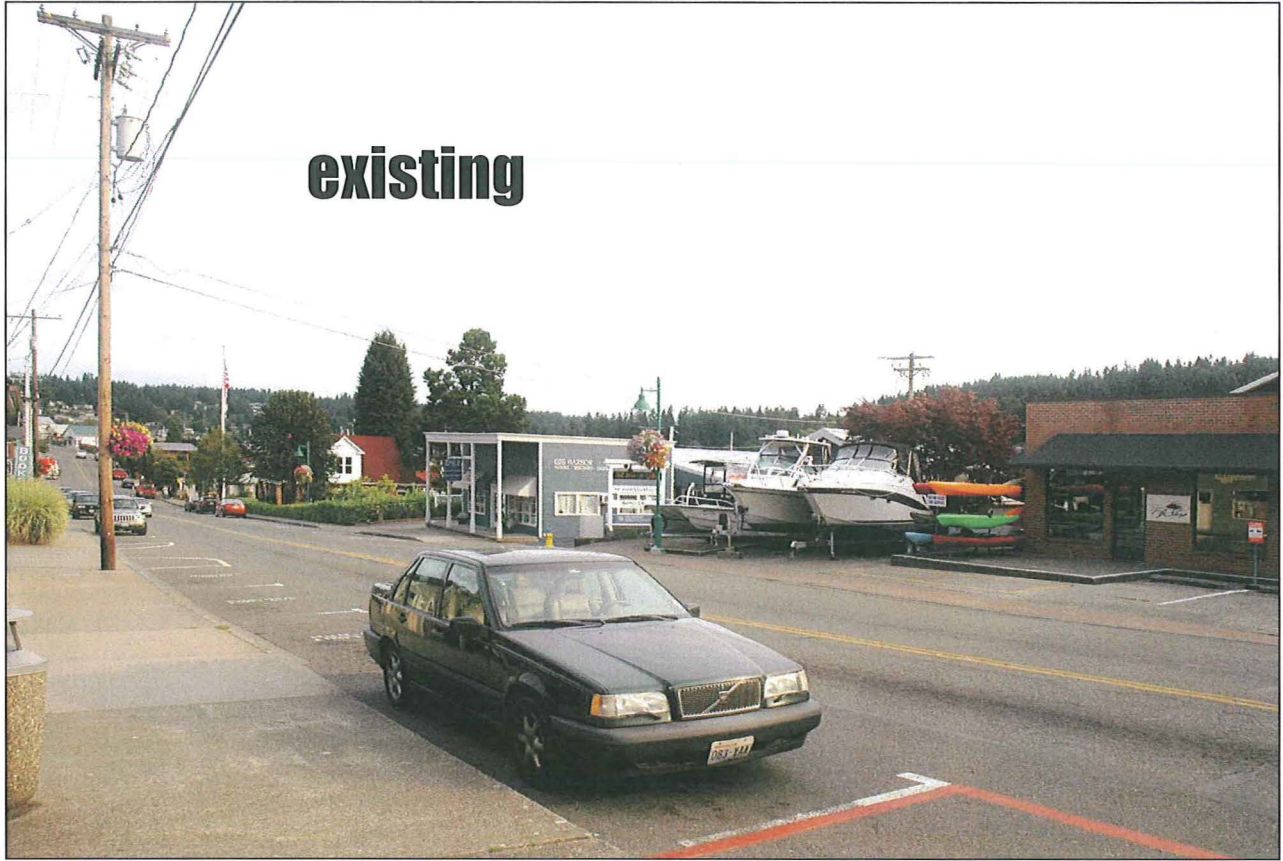
**Q -- Could buildings along the waterfront on Harborview Drive be 27-ft tall?**

**A --** Yes. The illustration below shows the step-down formula that must be applied on sloped sites.



# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

**existing**

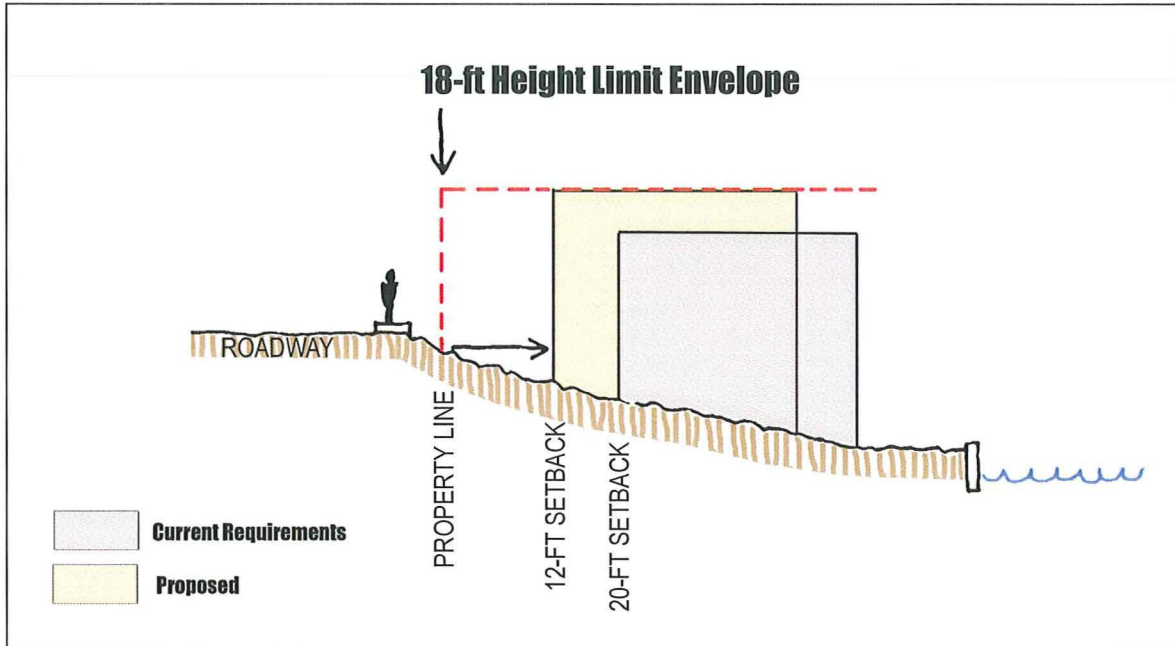


**27 ft**  
proposed





# WATERFRONT RESIDENTIAL and VIEW IMPACTS



## Front Yard Setbacks

EXISTING	PROPOSED
Porch ..... 12 feet	Porch ..... 6 feet
House ..... 20 feet	House ..... 12 feet
Garage ..... 26 feet	Garage ..... 18 feet

### Q -- How is the current residential height limit measured?

A -- The height of a residence is limited to 18-feet and must be measured at the front setback which is currently 20-feet from the property line.

### Q -- How would the proposed residential height limit be measured?

A -- The height of a residence is limited to 18-foot as measured at the property line (shown in red above).

### Q -- Which areas would this code change impact?

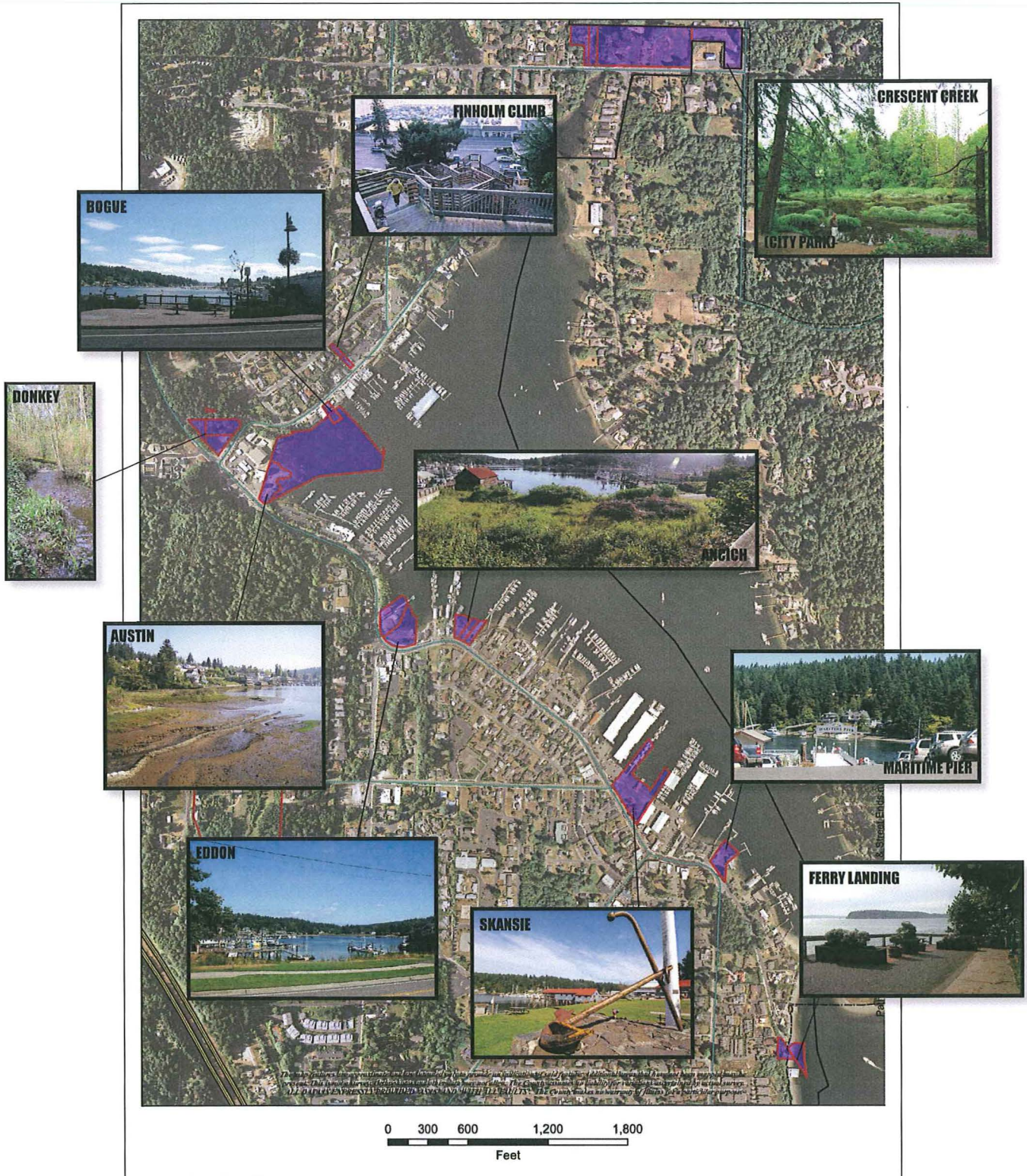
A -- All residential buildings within the Waterfront Residential (WR), Waterfront Millville (WM), and Waterfront Commercial (WC) zones.



# CITY OWNED - WATERFRONT PROPERTIES

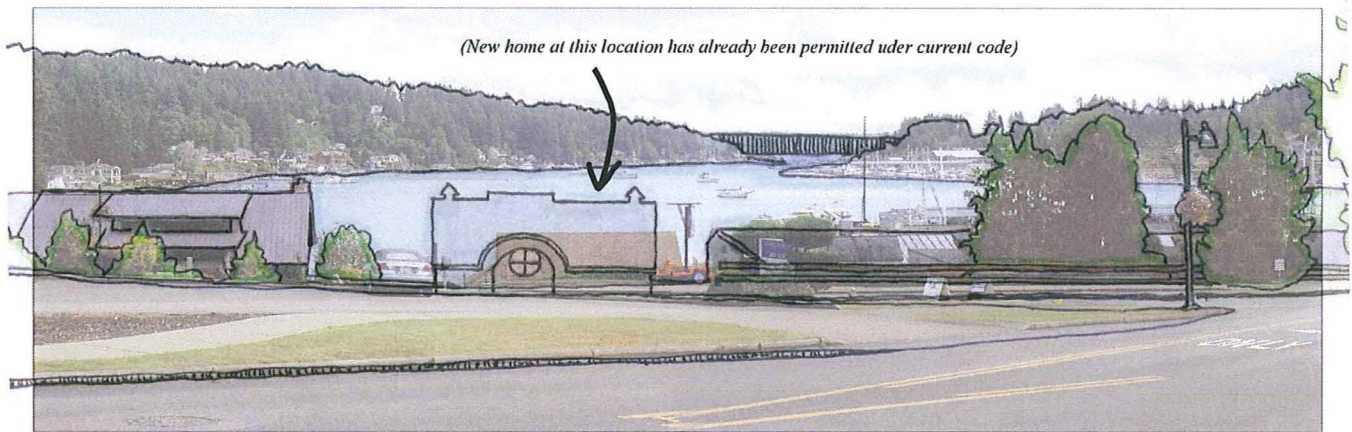
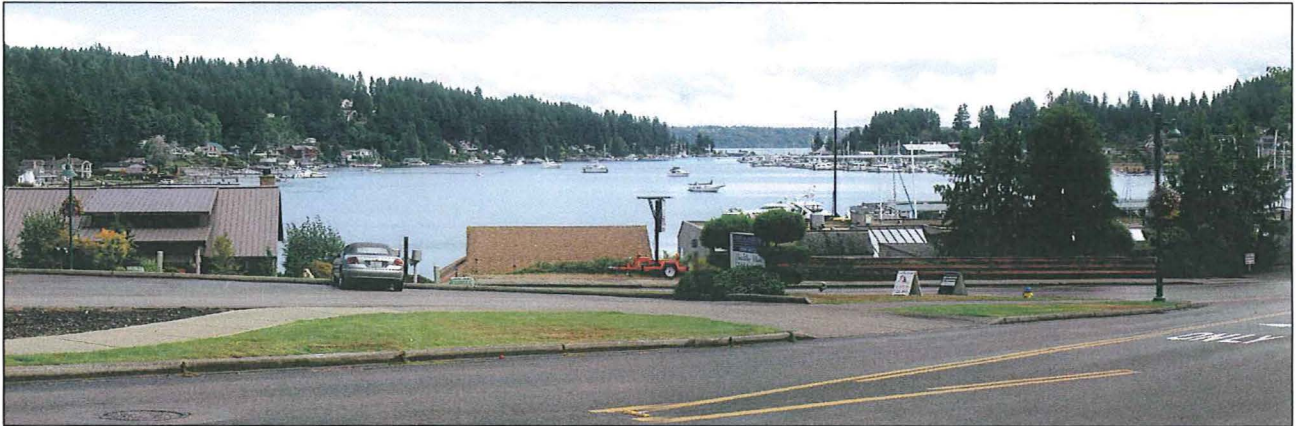
**Q -- How many city-owned waterfront properties are there?**

**A -- 9 Parks and 2 viewing areas (Bogue and the Finholm View Climb).**





# WATERFRONT RESIDENTIAL and VIEW IMPACTS



**Q – Is the 18-ft height limit measured from the sidewalk?**

**A –** No. The height would be measured from the property line which is about 4-feet below the sidewalk because of the slope along North Harborview Drive.

**Q – What is the impact on residential heights if the measurement location changes from the *setback* line to the *property* line ?**

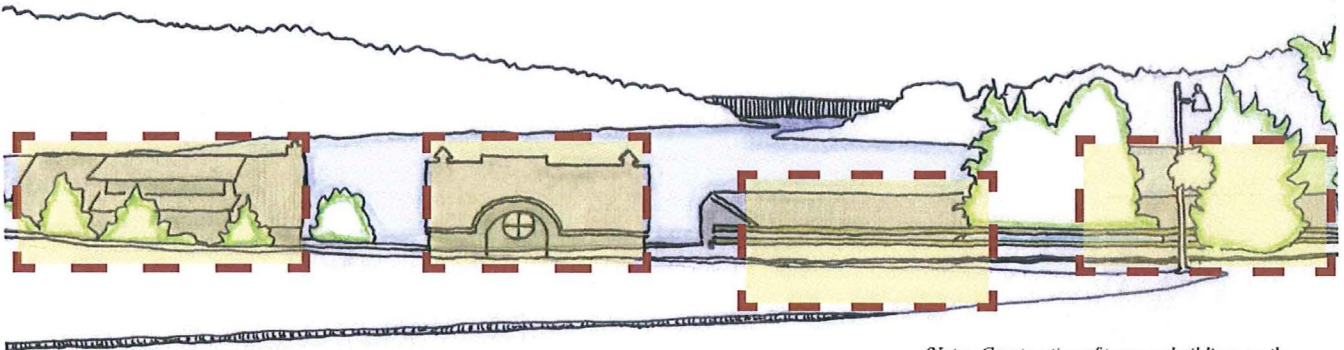
**A –** For the area along North Harborview Drive, about 4-feet in height.

**For example....**

An 18-ft house, under today's code, would be about 10-feet above the sidewalk.

An 18-ft house, under the proposed code, would be about 14-feet above the sidewalk.

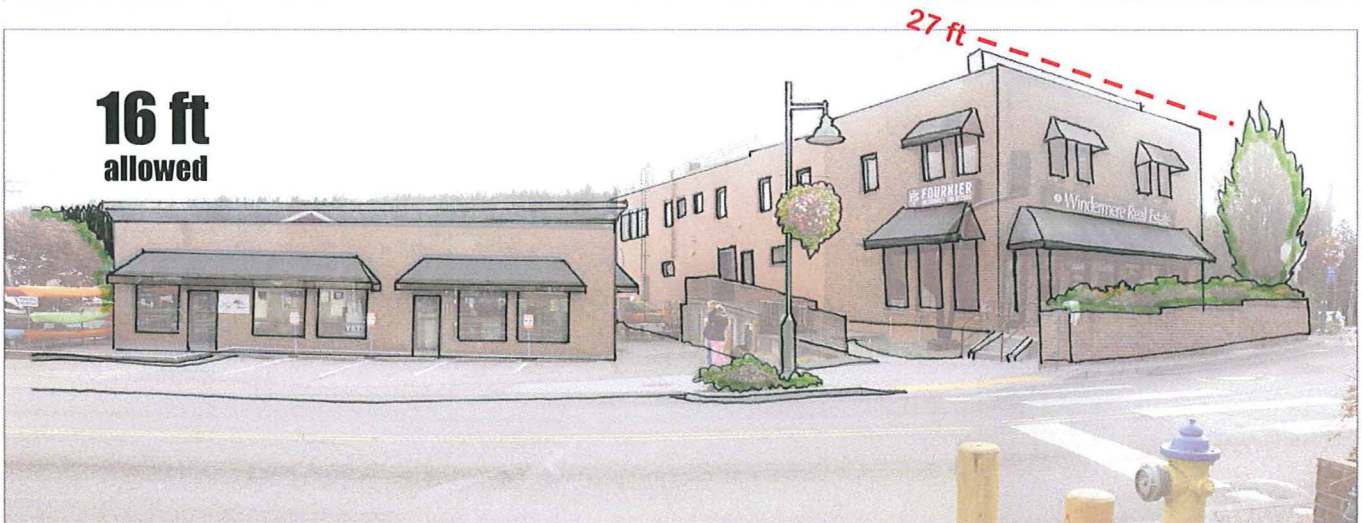
Both situations block views for pedestrians which is why the City requires view corridors between buildings.



*(Note: Construction of two new buildings on the right would require tear-down of Condo's to meet current building size limits and is not expected.)*



# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

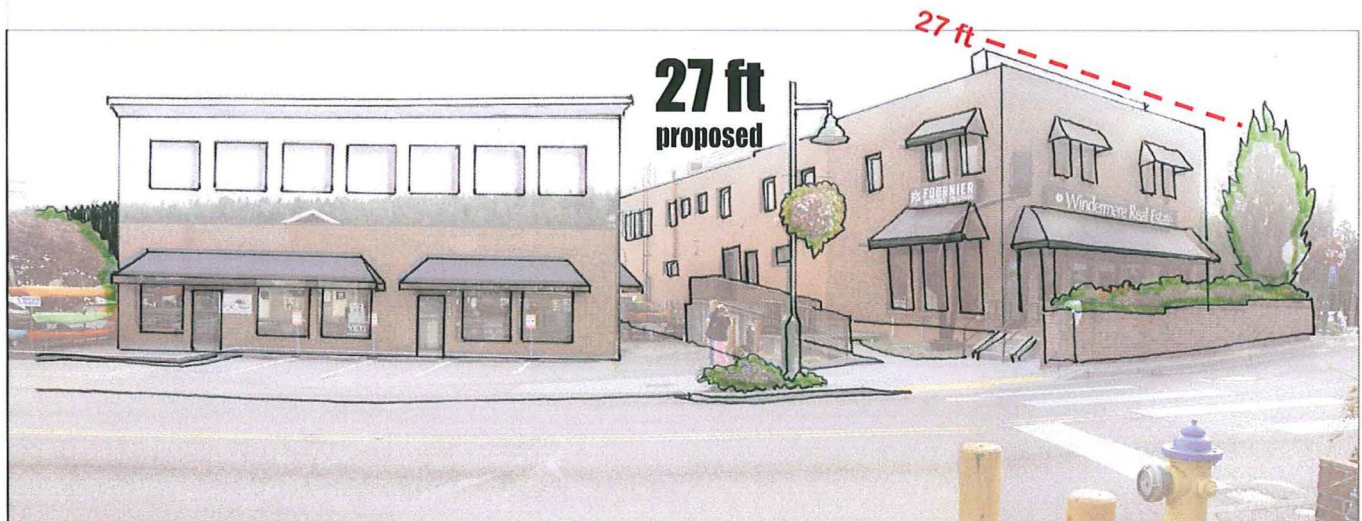


**Q -- What height is currently allowed in the WC zone?**

**A --** 16-ft (flat roof) and 18-ft (6:12 pitch roof).  
This limits buildings to 1-story.

**Q -- Could there be a solid wall of 27-ft buildings side-by-side the waterfront?**

**A --** No. Sideyard setbacks require a minimum of 20 feet between buildings on the same property. This requirement ensures that view corridors are part of any new development.





# BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)





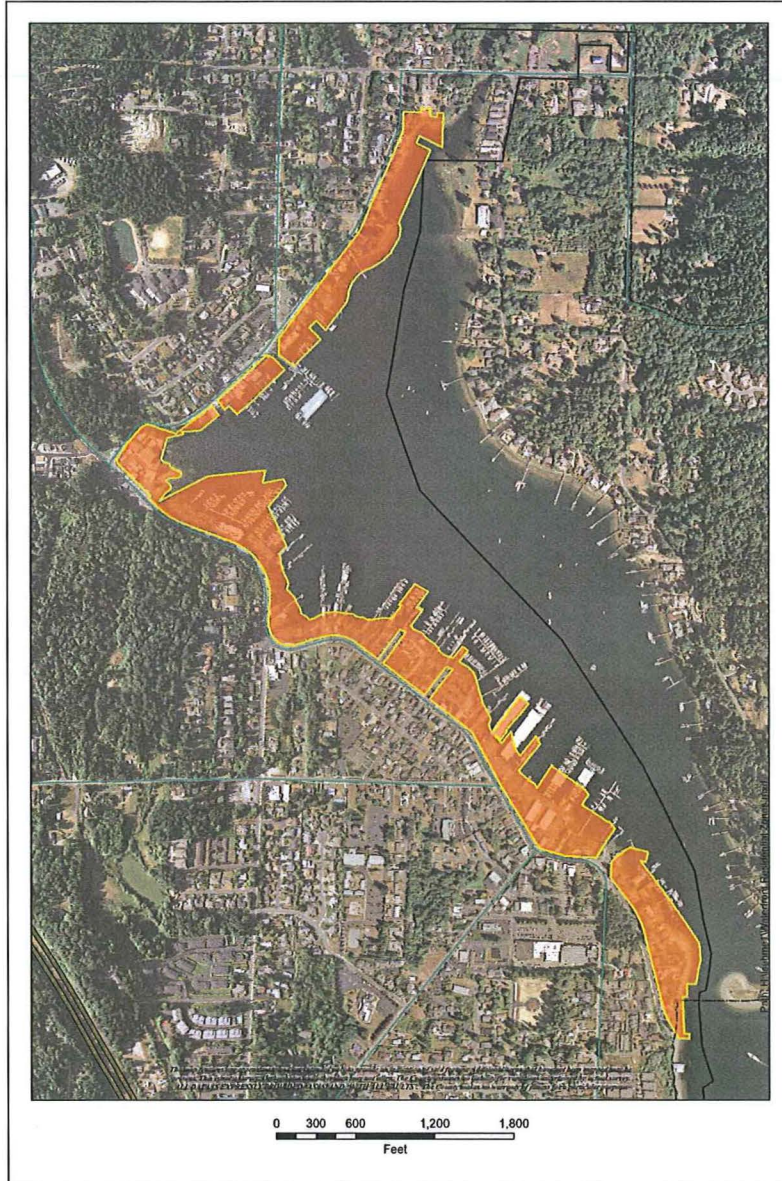
# BLDG HEIGHTS and VIEW IMPACTS





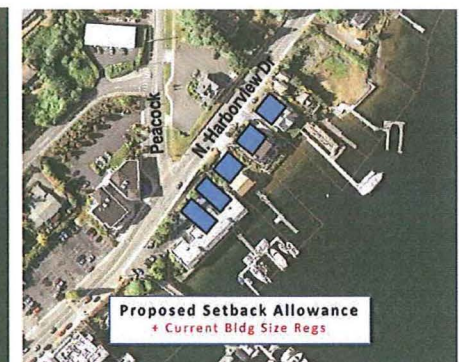
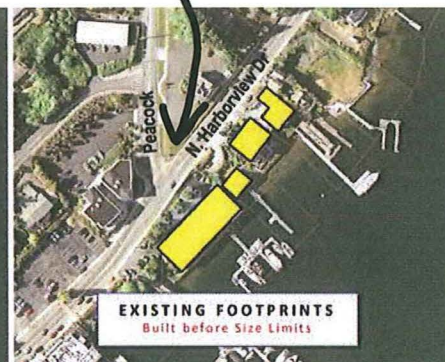
# SETBACKS and VIEW IMPACTS

Residential Buildings in Waterfront Zones along North Harborview and Harborview Drives.



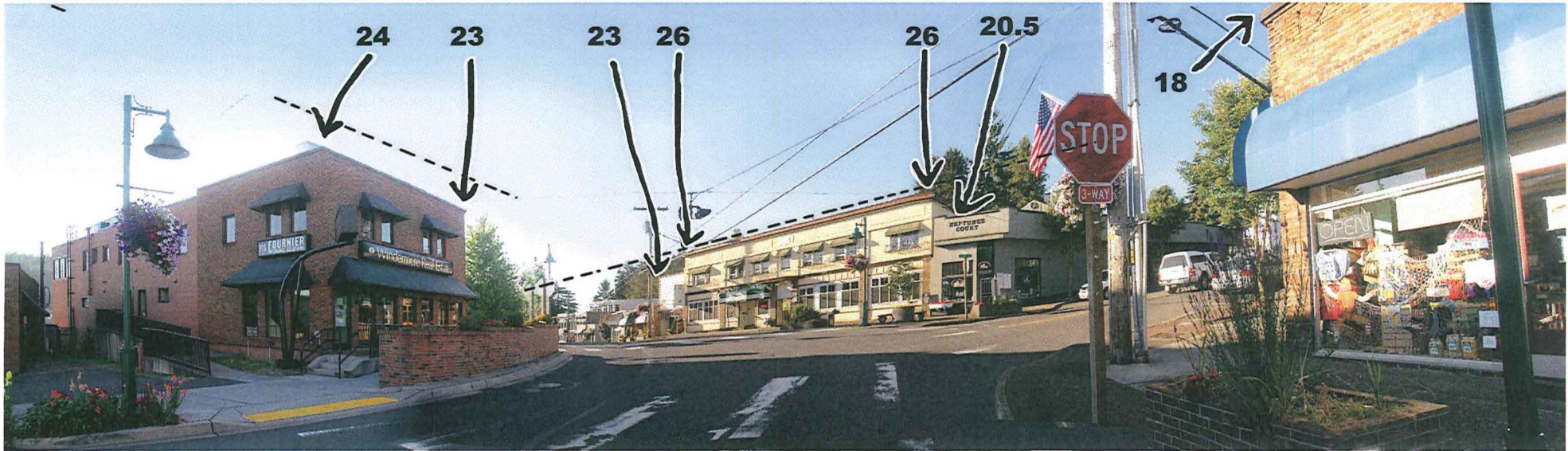
Existing building footprints (in yellow) exceed building size maximums already in place.

Current building footprint limits (in blue)





# 27-FT BUILDING HEIGHTS PROPOSED IN WATERFRONT COMMERCIAL (WC)

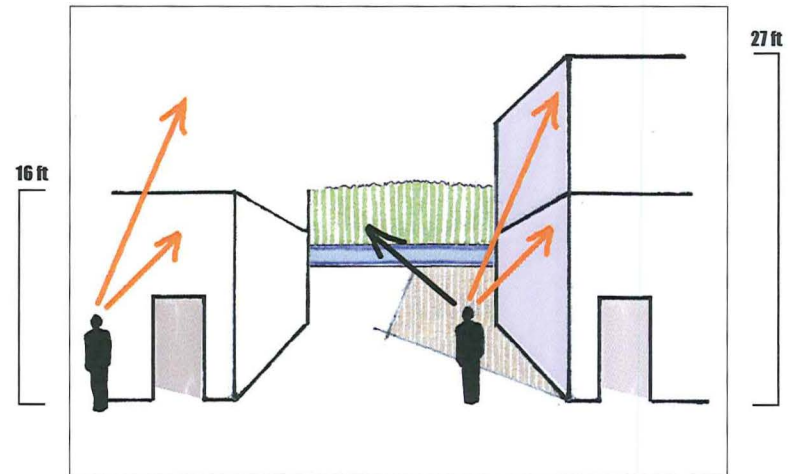


**Q – What is meant by a building’s characteristic “scale”?**

**A –** The height and overall size of a building as it relates to neighboring buildings. The old *Harbor Inn Restaurant* (aka *Windermere*) and the *Peninsula Hotel* (aka *Spiros*) are considered to be characteristic of Gig Harbor’s historic downtown buildings.

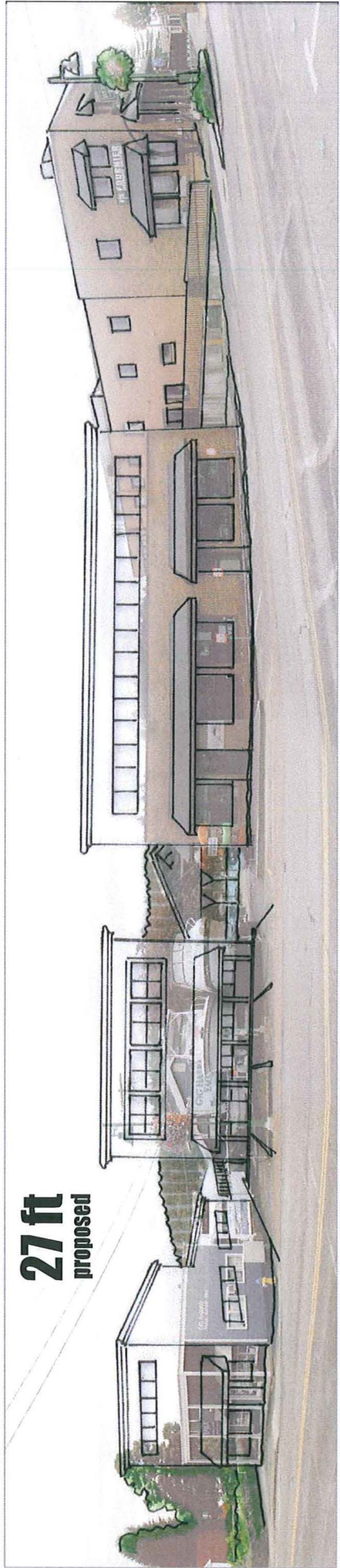
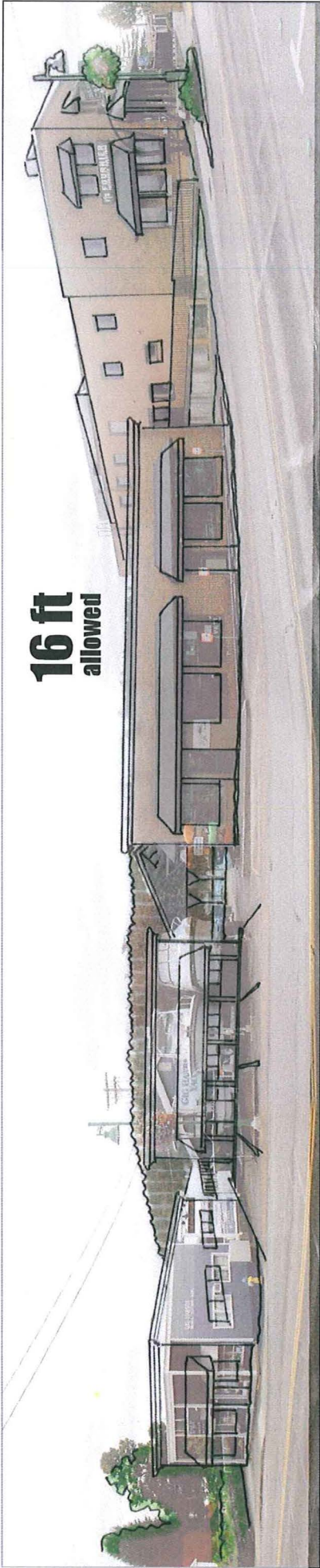
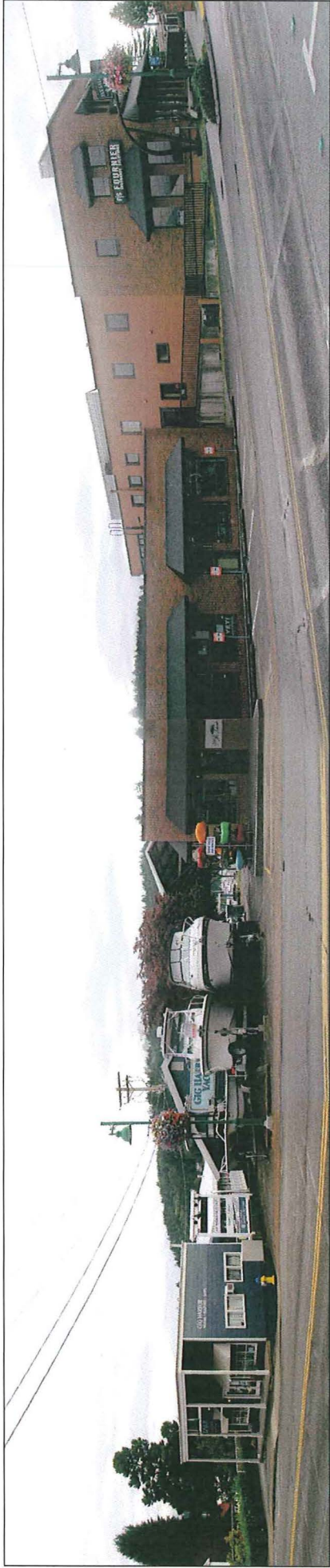
**Q – Will raising height limits in the WC zone affect water views along Harborview?**

**A –** No. 16-ft and 27-ft buildings will block views. Views are preserved through regulated “*view corridors*” between buildings. Multiple buildings on one property are already required to be at least 20-ft apart. Views are preserved by maintaining a separation between buildings.





**BUILDING HEIGHTS in the WATERFRONT COMMERCIAL ZONE**



## In Favor – October 14, 2013

### Gig Harbor Building Height Question

The Gig Harbor City Council and Mayor Hunter have shown remarkable vision in purchasing waterfront property to provide the public with waterfront access. That simple statement means that they not only wanted to provide access for generations but committed to the economic health of our city as well. They did not commit to leaving every part of Gig Harbor as it was, but built on the very part of why we all come to the downtown Gig Harbor. When people hear about Gig Harbor they immediately say they love the Tides Tavern and are impressed with the Harbor History Museum, the Day lighting project, Eddon Boat Works and the Russell Building to provide people with access and views to the waterfront. Those locations are not there so people will drive by and say "Aren't they nice", but they are designed to encourage people to stay and see what Gig Harbor has to offer, and oh – maybe spend some money. Why would you ask someone to come to see you if you did not intend for them to stay? Why would they stay if you did not provide them a reason to stay?

The building height issue does not change the essence of Gig Harbor, it does not change the character of Gig Harbor, but it encourages economic growth. A new business is bound by code to provide parking, seating, restrooms, retail area, storage, office, or whatever that occupancy requires. If a business can utilize a 2<sup>nd</sup> level for seating with a view of the harbor why is that not good for the city, the tax revenue, the guest, the owner, and the public?

The goal of any business (public or private) is to **keep your eye on the prize**. Our prize is the quality of living in Gig Harbor. We all have our own view of the prize, but clearly over the last 20 years this management has improved and enhanced the quality of life in Gig Harbor. On the waterfront alone we can list the Maritime Dock (with restroom), The Russell Building (with public views) Skansie and Jersich Parks, Ansich Net Shed Park, Eddon Boat Works (plus adjoining property) Austin Estuary Park, Harbor



History Museum, Donkey Creek Park, The Daylighting project, the North Harborview Bridge, and the Bogue Viewing Park. Each one was intended to give the public access to a real life working waterfront environment. We built a foundation for economic growth so why would we take our eyes off of the prize and allow a dead zone where no innovations, or new businesses, or restaurants, or bakeries, or meat markets, are encouraged to move to the downtown waterfront area?

Jack Sutton

Gig Harbor

## **Kester, Jennifer**

---

**From:** Terri Boden [terjoh02@hotmail.com]  
**Sent:** Monday, October 14, 2013 1:55 PM  
**To:** Kester, Jennifer  
**Subject:** Leave the Harbor alone!

Why is it that Gig Harbor cannot stay as it is. I have lived here for 30 years and watched it grow so now the traffic is horrible. Leave the waterfront as it is. We do not want any more changes. It is nice to be able to walk the Harbor and enjoy the view of the water, boats and a few nice shops to duck into. Please leave it be.

Concerned Harborite

## Kester, Jennifer

---

**From:** Lisa Carey [mrs\_rookie@hotmail.com]  
**Sent:** Monday, October 14, 2013 2:26 PM  
**To:** Kester, Jennifer  
**Subject:** The Changes to Downtown

To whom it may concern,

I think the people of Gig Harbor have spoken and the majority of people do not like the changes you guys are making in regards to the building heights and what not to the downtown waterfront. That is part of what makes the Harbor beautiful. I love to walk down there with my friends and family and take people down there that are visiting from out of town. Please don't make us a smaller version of so many towns around Western Washington. Money should not be the bottom line!! If the Harbor continues to add houses and apartments at the rate it is we are going to lose our small town appeal that makes Gig Harbor desirable to live here. We (my family) have lived here for about 16 year now and have always loved it up until about a year ago when you can't go anywhere without seeing all the once beautiful trees gone and road construction everywhere you turn. We moved here because of the small town communtiy feel and the great schools. Gig Harbor is losing that at a fast rate as well as now you guys are trying to take away our Waterfront. Please, please reconsider all of this!! Please listen to the people. We are really talking about moving in the next few years if the growth continues at the rate it is.

Thanks for considering my thoughts, which I know are not just my own, but so many who live here.

~ Lisa Carey

## Kester, Jennifer

---

**From:** Michelle D'Card [michelled@morningsuninc.com]  
**Sent:** Monday, October 14, 2013 12:43 PM  
**To:** Kester, Jennifer  
**Subject:** NEW Gig Harbor Zoning...

To the Counsel... Consider this email as an opportunity to re-establish the fact that you represent the voice of the people ( Gig Harbor residents ) as opposed to supporting any special interest groups (developers) wanting to change the face of the waterfront side of downtown Gig Harbor.

I am a taxpaying, voting resident of Gig Harbor. I am extremely upset and concerned by the city's lack of common-sense when it comes to sneaking this change in zoning into downtown Gig Harbor.

I for one am tired of government ( who is supposed to be the voice of the people) using their position to pass zoning laws and OK building in areas just to line their own pockets and promote their own power. Corporate greed is rampant enough in our country. We do not want Gig Harbor to be another Kirkland where you cannot even see the water between the overpriced condos.

Please be our voice and stop the re-zoning of downtown Gig Harbor.

Sincerely,

Michelle D'card

Gig Harbor resident since 1983

## Kester, Jennifer

---

**From:** Jana Fisher [janafisher@yahoo.com]  
**Sent:** Monday, October 14, 2013 9:33 AM  
**To:** Kester, Jennifer  
**Subject:** Preserving the Gig Harbor Waterfront

Good Morning Ms. Kester, I won't be able to attend this evenings public meeting on preserving the waterfront so I wanted to drop you a line to voice my opinion. Thank you for taking the time to read this.

First, I would like to start by saying that I have lived in this region almost my entire life and we chose to live in close proximity to the harbor because of it's beauty. We live up off Crescent Valley...we don't have a view of the harbor from our home but every time I drive around the harbor I think how lucky I am to have this beautiful area to call home. I look forward to including the drive around the water on my way to work and when out running errands. It takes longer so I always give myself ample time so that I may soak in the ambiance of OUR little fishing village. Not only is the beauty a huge part of the harbor but also the reminder of the history that Gig Harbor holds with the views of the fishing boats. To me the harbor was supposed to be the magnet to the community of Gig Harbor which has become so very spread about and actually divided more than ever by the highway.

Next, I would like to speak on my observation of some of the smaller towns in Washington that I have visited that have done a really good job with being very careful about the growth that occurs around such places of beauty in order to draw the tourists that can be so important to our local economy, and at the same time preserving a place in their towns in which all that live there feel connected to. By blocking off the water and allowing the majority of the real-estate to private homeowners and businesses that really don't cater to the visitors we limit the opportunity to increase revenue through something like a "fishing village destination", in turn allowing the local artisans and merchants to make a living through providing goods and services to the visitors or our community. The sense of community also decreases when a major hub for community is squeezed out by property lines. I am not familiar with the rate of property taxes that is collected from those who ring the harbor but I hope that isn't the main reason for choosing to allow the privatization of the prime real-estate. Gig Harbors leaders should stand behind all those who call Gig Harbor home...not just those who are overly financially blessed.

I love the public areas that are now a part of Harborview but I really feel that that needs to be the larger focus around the water. I also think it is a shame that the people who have resided on the upland of the harbor have their views at risk for being reduced or completely blocked. I am sure they are also in a higher property tax bracket due to the location of their homes. We actually looked at a home 15 years ago at the far end of Harborview that had a slight view of the harbor. There was a lot right in front of it that was going on the market. I thought at the time...there is no way someone would build on such a small lot and not only that ...why would they be so inconsiderate and place a home right directly in front of this house that was for sale...completely boxing it in and blocking the view. We chose not to buy the home and low and behold within the next two years someone bought the lot and COMPLETELY cut the home off from viewing anything...and why? because they could. Not a thought went into who lived in that home and what impact it would have on them. I believe all they cared about was their own selfish need to have a view of the harbor. I hope this isn't the direction the city is taking this community. Please reconsider what choices are made about the building that goes on around OUR lovely harbor. Sincerely, Jana Fisher.

**Kester, Jennifer**

---

**From:** Wendy Post [wendypost829@gmail.com]  
**Sent:** Monday, October 14, 2013 6:48 AM  
**To:** Kester, Jennifer  
**Subject:** Height limits

Begging you to leave the height limits as is in Gig Harbor. Destroying the views along Harborview for walkers, joggers, and tourists would be despicable. Respectfully, Wendy Post

821 Pt Fosdick Dr NW  
Gig Harbor, WA 98335

**Kester, Jennifer**

---

**From:** roxy253@comcast.net  
**Sent:** Sunday, October 13, 2013 10:47 PM  
**To:** Kester, Jennifer  
**Subject:** Do not destroy our waterfront

I have been here since the 80's watched Murphy's landing go up and many other obstruction go up. This is ruining our waterfront...find some other places, please! Deborah Satterthwaite

Sent from Xfinity Connect Mobile App

## Kester, Jennifer

---

**From:** Debbie [parnizzle@gmail.com]  
**Sent:** Sunday, October 13, 2013 7:54 PM  
**To:** Kester, Jennifer  
**Subject:** Response to the citizens preservation of Gig Harbor FB comments

Mr. Kester,

You encouraged citizens to send emails on their thoughts. I have grown up in Gig Harbor and love this town with all my heart. I am now raising a family here as well.

While I don't know all of what the developers are wanting to do, I know that resisting change is short sided.

Downtown needs a big face lift. Better retailers will be drawn to this, giving our town more tax dollars and more foot traffic. The reason the businesses are struggling down there is because there is not much down there to go out of your way to see.

It is so ironic that I always hear people asking us to support our local businesses, and they thank you endlessly when you enter their stores. However, they don't carry goods we want to buy and other times when I want to support them, they happen to be closed. If the city wants people to spend money, just provide a service people need. You won't need to thank us. We will actually want to shop there. That's why Harbor Greens doesn't have to beg for business. They provide something we want and give excellent service.

Change is good. We need it. There is always room to save historic buildings, but Gig Harbor will benefit from developers having a vision.

Thank goodness there are people with dreams that didn't "leave well enough alone" or there are many changes we would not have seen in this world.

Respectfully,

Debbie Parnell  
Resident

Sent from my iPhone



## **Kester, Jennifer**

---

**From:** moriah burns [mojoburns13@hotmail.com]  
**Sent:** Sunday, October 13, 2013 7:49 PM  
**To:** Kester, Jennifer  
**Subject:** Please preserve our city

To whom it may concern,

Destroying the waterfront street of Harborview with more and more huge buildings would be a grave mistake.

Even though Gig Harbor is an affluent town there are many businesses that need tourist dollars to sustain their existence, not only will ruining this city have negative consequences for those of us that live here, it will also drive away many who love to visit because of the way the town is now. Why would they come to Gig Harbor when there are numerous overbuilt cities across our country?

There is a good reason that Gig Harbor is a SMALL city and it needs to stay that way as much as possible. It has already been overbuilt. PLEASE do NOT destroy Harborview as well.

Sincerely,

Moriah Burns  
14019 42nd ave ct nw  
Gig Harbor WA 98332

## **Kester, Jennifer**

---

**From:** Robert McConnell [drvideo@gmail.com]  
**Sent:** Sunday, October 13, 2013 6:48 PM  
**To:** Kester, Jennifer  
**Subject:** High rise buildings on Harborview Dr?

Don't allow this. It will change the character of the city for the worse.

Robert McConnell

## **Kester, Jennifer**

---

**From:** Adam Von Zimmerman [alvonz@gmail.com]  
**Sent:** Sunday, October 13, 2013 6:28 PM  
**To:** Kester, Jennifer  
**Subject:** Oct 14 Open House

Adam & Carolyn Von Zimmerman  
7301 Stanich Ave

Sorry I cannot attend the open house. I am in Miami helping my mother and my brother's family.

The area under consideration features some little-known yet wonderfully historic and unique structures.

I am guessing the zoning changes were suggested by property owners looking to increase the value of their holdings.

They knew what had when they acquired their properties. No doubt there was some speculation that zoning could/would be changed to maximize their profit from later development.

If one wants to see the effect of easy zoning, just look across the harbor. Their view is of our so-called quaint fishing village while we see a dense mess of overbuilt and unattractive mansions.

Perhaps the developers of Gig Harbor North should have been required to build schools to accommodate the hundreds of new students they will bring to the district that property owners are now being asked to pay for with increased property taxes.

So I suggest no change to new home zoning and the city purchasing any remaining historical properties. It has obviously been done before with fantastic success.

I would support a property tax to fund the acquisitions.

Let's save let the non-city side of the harbor from looking at their own reflections.

## Kester, Jennifer

---

**From:** Cynthia Hillard [cynthiahillard@yahoo.com]  
**Sent:** Sunday, October 13, 2013 5:04 PM  
**To:** Kester, Jennifer  
**Subject:** Memo to City of Gig Harbor and City Council regarding proposed rezoning of Harborview

I was shocked to learn that this issue is even being considered. Gig Harbor, and especially its waterfront, is a charming oasis and should be preserved. I was also shocked, along with others, that Wade Perrow is on the city council and able to vote on this matter since he would potentially profit from it. He should sit out the vote since his participation could/would represent a potential conflict of interest.

I would question why the City Council or City of Gig Harbor would be so keen to change the face of Harborview Drive. As a 31 year resident, I can say that Gig Harbor had done a very good job of adding amenities and housing, especially in anticipation of the bridge opening. That changed when the blight of housing on Borgen began appearing. The vast amount of housing being built is breathtaking and a bit sad. It seems that those able to "okay" these things have lost sight of any plan to keep Gig Harbor an attractive place for residents and visitors, and are only eyeing tax revenues with no thought of what our city will look like in years to come. Somehow, it was just a little easier to keep quiet when the center of our community - Harborview Drive and the surrounding area - remained the gem that it is. Who would even WANT to threaten this, except for those who would personally profit?

If you allow this proposal to go through, Gig Harbor as it has been - and SHOULD be - will be lost. I understand that the downtown businesses feel they are dying. However, for the past 32 years we have noted that the businesses close at 5pm on weekdays, making it impossible for working residents to shop downtown. The businesses are missing an opportunity, and larger buildings will not change that. They will just be businesses housed in larger buildings closing at 5pm while residents have to shop elsewhere. Opening one weekend evening at Christmas when there's an entire 4-5 week season is sort-sighted. The summer tourist season is another missed chance.

In short, please, please listen to the people of Gig Harbor and save this beautiful gem of a town!

Sincerely,  
Cynthia Hillard

## Kester, Jennifer

---

**From:** John V. Arroyo [johnarroyo@me.com]  
**Sent:** Thursday, October 10, 2013 11:58 AM  
**To:** Kester, Jennifer  
**Subject:** why we moved here

Mr. Mayor,

Ten years ago my wife and I chose to build a house here in Gig Harbor because, primarily, of the attraction of the harbor element of the town. It is always a pleasure to be down at Sounds at Skansie all those summer weeks; it's alluring to take walks around the harbor and occasionally to be out on the water with neighbors.

Were I on the city council, and I have no such desire after working over forty years, it would be vital to me to preserve and protect what Gig Harbor already has. Any drastic alteration of design and construction guidelines would imperil the attractiveness that pulls in visitors throughout the year.

John V. Arroyo  
retired business executive  
253/853-1970

## Kester, Jennifer

---

**From:** jeniawoock@gmail.com  
**Sent:** Wednesday, October 09, 2013 9:59 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: Concerns about Gig Harbor Hearing Process

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

### KINDNESS MATTERS

-----Original Message-----

**From:** anne knapp

**Date:** 8/27/2013 10:52:48 AM

**To:** [hunterc@cityofgigharbor.net](mailto:hunterc@cityofgigharbor.net); [tpayne@ema-inc.com](mailto:tpayne@ema-inc.com); [EkbergS@cityofgigharbor.net](mailto:EkbergS@cityofgigharbor.net); [paulkadzik@comcast.net](mailto:paulkadzik@comcast.net); [Young, Derek](mailto:Young, Derek); [Brian.McLean@gateline.com](mailto:Brian.McLean@gateline.com); [jon.manley@gateline.com](mailto:jon.manley@gateline.com); [editor@gigharbor-life.com](mailto:editor@gigharbor-life.com); [karen.peterson@thenewstribune.com](mailto:karen.peterson@thenewstribune.com); [MalichK@cityofgigharbor.net](mailto:MalichK@cityofgigharbor.net); [guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net); [perrowm@cityofgigharbor.net](mailto:perrowm@cityofgigharbor.net)

**Subject:** Concerns about Gig Harbor Hearing Process

My husband and I recently bought property in Gig Harbor. We were attracted to the small town feel, the treed setting, and especially the views of the Harbor.

I received notice of the (highly important and controversial) proposed zoning changes by email from a friend. Whatever happened to proper notice for public hearings? It does make even logical, necessary zoning changes have an unpleasant whiff that someone is trying to pull a fast one! Coupled with the recent developments that are deforesting the area, it makes me suspicious that the Council and the Planning Department are more considerate of the wishes of developers over the needs of their voting constituents. Gig Harbor is a branded destination, you need to respect and maintain that. Updated building codes may encourage development- but you cannot assume that if you build it "they" (customers/tourists) will come, you have to build it RIGHT or you'll have expensive development in a town that is no longer on the list of desirable places to visit or live.

I am one who would NOT want to see substantive changes to the building code in the all important Waterfront/Historic/Finholm areas. If it is so vital to increase the building height to help the property owners upgrade in the waterfront area, then you had better have very strict supportive and mitigating rules to protect the character of these areas. The view lines between the buildings would need to be protected- no trees or 6 foot fences between- these sight lines are critical to keep the character of the Harbor. The buildings need to be in character to reflect this fishing village we love. Maybe the carrot to get the attractive commercial building is the *possibility* of the 27' height, much as the Historic footprint rule allows for taller houses in the historic District? The taller building allowances can NOT

be permitted in areas where residential views uphill would be impacted. Certainly all residents in the areas affected should receive mailed notices of the proposed changes and listing of hearing dates.

I attended the UW Architectural Students "Storefront Project" open house. The comments of the Professor who oversaw the project were particularly telling: he was overwhelmed by the PASSION of the community about the look and feel of Gig Harbor (be wary if you are an elected official!), and he said that CONTRARY to common thinking about Commercial MASS in most other cities (where you want to see solid development), in the case of Gig Harbor, that is contra-indicated and would RUIN our Harbor feel (he said it is important to keep the "missing teeth" and view lines in order to successfully revamp our Historic Harborfront/Downtown areas). I enjoyed seeing the ideas. Some were great ideas in keeping with our Harbor Heritage- the water taxi, the Egg Building Farmers market, the amphitheater idea for Skansie Park, a gas dock to encourage more boaters to visit and support our local boating community; some are taking a step toward a more concentrated Downtown that I *may* be able to support- the front wooded area "Heron Park" created which would allow for taller building behind (did they call that reciprocal planning?- I would not want to see that allowed outright, but would consider on a case by case basis); and some "are you kidding me?" ideas- like getting rid of covered moorage (where would everyone's boat be put then?) in favor of open accessible dock with a lot fewer boats and "boatels", and the Judson Street block development (good luck having all the property owners work together!) that smacked of "anywhere USA" which could either be an asset or a *horrible (HORRIBLE!)* mistake depending on what vision WE (that would be the Gig Harbor Residents, and the Council, and Planning Dept.) have.

The problem of the matter as I see it, is that the Council and Planning Department have lost sight of who they work for- the residents of Gig Harbor.

It's time to open the doors and have well publicized open hearings, and get acquainted with your constituency.

Sincerely,  
Anne Moore Knapp

--

Anne Knapp  
website [www.annemooreknapp.com](http://www.annemooreknapp.com)

## Kester, Jennifer

---

**From:** Hunter, Chuck  
**Sent:** Wednesday, October 09, 2013 3:50 PM  
**To:** Kester, Jennifer  
**Subject:** FW: building heights

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

FYI

-----Original Message-----

**From:** kate walters [<mailto:kwalters09@comcast.net>]  
**Sent:** Wednesday, October 09, 2013 3:44 PM  
**To:** Hunter, Chuck  
**Subject:** building heights

Please stop this horrible possibility of taller building heights. I love and appreciate the views when I drive by.....Let's keep Gig Harbor special. It is sadly, getting too busy, but please keep our lovely views.....

Kate Walters

Horsehead Bay, Gig Harbor



## Kester, Jennifer

---

**From:** Stanton, Lita  
**Sent:** Wednesday, October 09, 2013 12:27 PM  
**To:** 'Lynn Stevenson '; Hunter, Chuck; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; 'paulkadzik@comcast.net'; Malich, Ken; Payne, Tim; Young, Derek  
**Cc:** Kester, Jennifer  
**Subject:** RE: Keep our small town SMALL

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Lynn:

Thank you for your comments. I've forwarded a copy to our Planning Director so that it becomes a part of the public record.

As I understand it, you will be meeting with Councilmember Tim Payne today.

As a CLG (certified local government), the City is recognized by the Washington State Department of Archeology and Historic Preservation to act on their behalf.

This designation gives us access to state staff and expertise on which I depend whenever issues related to historic preservation are under review.

(See one sample of state input below).

As you stated, it is the *collection* of buildings over decades that creates our unique character.

The proposed 27-ft building height *allowance* would still be subject to design review and an extensive layering of regulations written to protect our historic streetscape.

And while peaked-roof buildings define our historic residential neighborhoods, our historic commercial structures were mostly flat-roof or given a facade to look like one (i.e., Suzanne's Deli, the Thurston Building aka Kit Kuhn Jewelers).

If you have any additional questions after your meeting with Councilman Payne or wish to see images and more preservation data that contributed to the Planning Commission's findings and recommendations, please let me know.

Any opportunity to share this information is appreciated.

I look forward to meeting you at the Open House on **Monday, October 14 from 3:30 to 5pm.**

Best regards,

Lita Dawn  
(253) 853-7609

**From:** Vann, Nicholas (DAHP) [mailto:nicholas.vann@dahp.wa.gov]  
**Sent:** Tuesday, August 27, 2013 1:53 PM  
**To:** Stanton, Lita  
**Subject:** RE: Building Sizes

Lita Dawn,

Thanks for the call. I share some of the same concerns that you do about the existing zoning code in regards to building height allowance. Given the current building height allowance of 16', there is no possible way to match the scale of many of the existing two story buildings in the downtown historic district. A two story building is very difficult to design well given that limitation. Some general comments on proper infill construction within historic contexts are as follows:


- Historic preservation is not meant to stagnate historic districts in a period of time. Rather, its intentions are to provide continued urban life and pedestrian activity to a historic district. This often is possible through rehabilitation of historic structures *as well as* sensitively designed infill construction. By allowing the increase in zoning height, the city would be matching many of the existing building heights as well as promoting infill development that can economically benefit the city, while giving the historic district additional support. This is a very sustainable approach and is very economically viable.
- The *Secretary of the Interior's Standards* 9 and 10 respectively read:
  - “[9] New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”
  - “[10] New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”
- It is important to also consider that zoning regulations are not intended to be design. They establish the maximum or minimum framework in which building construction must fit, but it has no aesthetic design qualities associated with it. This is where design review comes in, and where reviews by the Gig Harbor Historic Preservation Commission come in to play. The theoretical proposals you have showed me with infill construction match the historic district quite well. It carries through the pedestrian-scale ground floor design elements evident elsewhere in the district (covered / canopied storefronts, welcoming entrance sequence, appropriately sized window openings with large amounts of transparency to the interior of spaces. The overall form is simple, and also has architectural features such as a transomed windows and a roof cornice. There are also side elevation setbacks.) Material choices are also vital and can make a huge difference in determining whether or not infill construction is successful. These are all design decisions that get reviewed by the City, thus ensuring that any infill construction will be thoughtfully and carefully reviewed by professionals with experience in design and/or historic preservation. The purpose of design review is to ensure that proposed development is sensitive to its historic / existing context.
- In regards to viewsheds and infilling open lots where these viewsheds might currently be supreme, Gig Harbor's history has been littered with different iterations of its building stock. The city has always had a very active waterfront, and the views of this working waterfront have been constantly evolving. At some point in time, the waterfront was full of large wharf buildings that didn't offer much in terms of today's viewsheds. Today's experience is also varied in regards to these viewshed opportunities. As a whole, there are plenty of existing viewsheds that would be uncompromised overall (only if you think about how one *moves* through the urban corridor, not how one *stands* in it).

I would stick to my first three points. The viewsheds topic can probably be a touchy one, and I'm not sure I have eloquently captured my point. Let me know what you think or if you have any questions or comments.

Thanks,  
Nick

**Nicholas Vann** | State Historical Architect  
360.586.3079 (office) | 360.628.2170 (cell) | [nicholas.vann@dahp.wa.gov](mailto:nicholas.vann@dahp.wa.gov)

Department of Archaeology & Historic Preservation  
1063 South Capitol Way, Suite 106 | PO Box 48343 | Olympia WA 98504-8343 | [www.dahp.wa.gov](http://www.dahp.wa.gov)

 please consider the environment before printing this email

*My weekly hours are 7am - 5pm, Mon-Thurs*  
Like [DAHP on Facebook!](#)

---

**From:** Lynn Stevenson [mailto:Lynn@CrazyHappy.com]

**Sent:** Tuesday, October 08, 2013 1:03 PM

**To:** Stanton, Lita; Hunter, Chuck; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken;

Payne, Tim; Young, Derek

**Subject:** Keep our small town SMALL

To Lita Dawn Stanton and the City Council Members:

This is a quote from your website:

"We support the community's effort to preserve historical, architectural, and cultural resources, including monuments, sites, landscapes, objects, structures, buildings, and historic districts. The preservation of historic buildings and sites fosters civic and neighborhood pride, and maintains our community's sense of identity."

Well, your Gig Harbor community is PLEADING with you to preserve that sense of identity which comes from the collection of ALL of our downtown buildings. Okay, so maybe not literally "all", but my point is: the variety of building sizes, ages, materials, roof lines, setbacks etc are what gives the downtown area the special "cadence" that makes our little harbor unique from other small towns. Each building tells a story of the period in which it was built, and they collectively create the Gig Harbor "experience" that many visitors respond so favorably to. Twenty-seven-foot-plus buildings are commonplace all over the world now and they are representative of relatively new construction methods and more concentrated populations of people. No matter what kind of maritime "face" you put on it, it's still cannot communicate our true heritage.

In Gig Harbor terms, a "historically significant" building may not be "beautiful" by definition, but our pragmatic harbor was built for functionality, not beauty, and that's the kind of character we should be determined to preserve.

So Lita Dawn -- I am curious to know your definition of "Historic Preservation" since you seem so obviously on the side of allowing taller buildings, which seems so clearly counter to the old fishing village history of the harbor. I'm honestly not trying to be sarcastic or combative. I was very surprised to see your support of zoning changes when I had expected you to be the community's champion standing firmly against them. So what am I missing here.... Have I misread your intentions?

Very Sincerely,

Lynn Stevenson



310.428.5966

## Kester, Jennifer

---

**From:** Jeni Woock [citizens4ghwaterfront@gmail.com]  
**Sent:** Tuesday, October 08, 2013 10:33 PM  
**To:** Hunter, Chuck; Paul Kadzik; Malich, Ken; Perrow, Michael; Ekberg, Steve; Young, Derek; Guernsey, Jill; Payne, Tim; Kester, Jennifer; Brian McLean; Jon Manley; jessie Jones; Heather Graff; Karen Peterson  
**Subject:** If you zone for it they will build it.

Mr Mayor, et al;

Oct 14 will be the Open House. Since it is being held from 3:30-5:00pm, it is quite clear this open house is not meant for the employed.

We expect this time to see your "pedestrian experience" include both sides of the street, instead of only one side of the street.

Here is a city photo with those famous red lines to show what could be built. Here is another drawing filling in those red lines and showing both sides of the street, from The Tides looking toward Pioneer.

If 2 story buildings are allowed on the waterside of Harborview, the folks on the uphill side of Harborview have no choice but to build big and tall to keep their view. We only show 3 stories. Condo owners on Judson will have to go even higher for their view. Developer Agreements allow an unlimited number of stories.

But wait there is a 10 day notice for a public hearing. A downtown resident could go away for a vacation and when they return they are apt to find that a multistory building is approved right in front of their view. Is this any way to treat the citizens of Gig Harbor?

What were you thinking?

The February 7, 2013 Planning Commission minutes say the city would be looking to do business with developers with incentives for big and tall buildings.

"Ms. Kester (GH City Planning director) said the City Council will be allowing larger developers to enter into a developer agreement to allow for more gross floor area, etc." direct quote from the Feb 7, 2013 Planning Commission minutes.

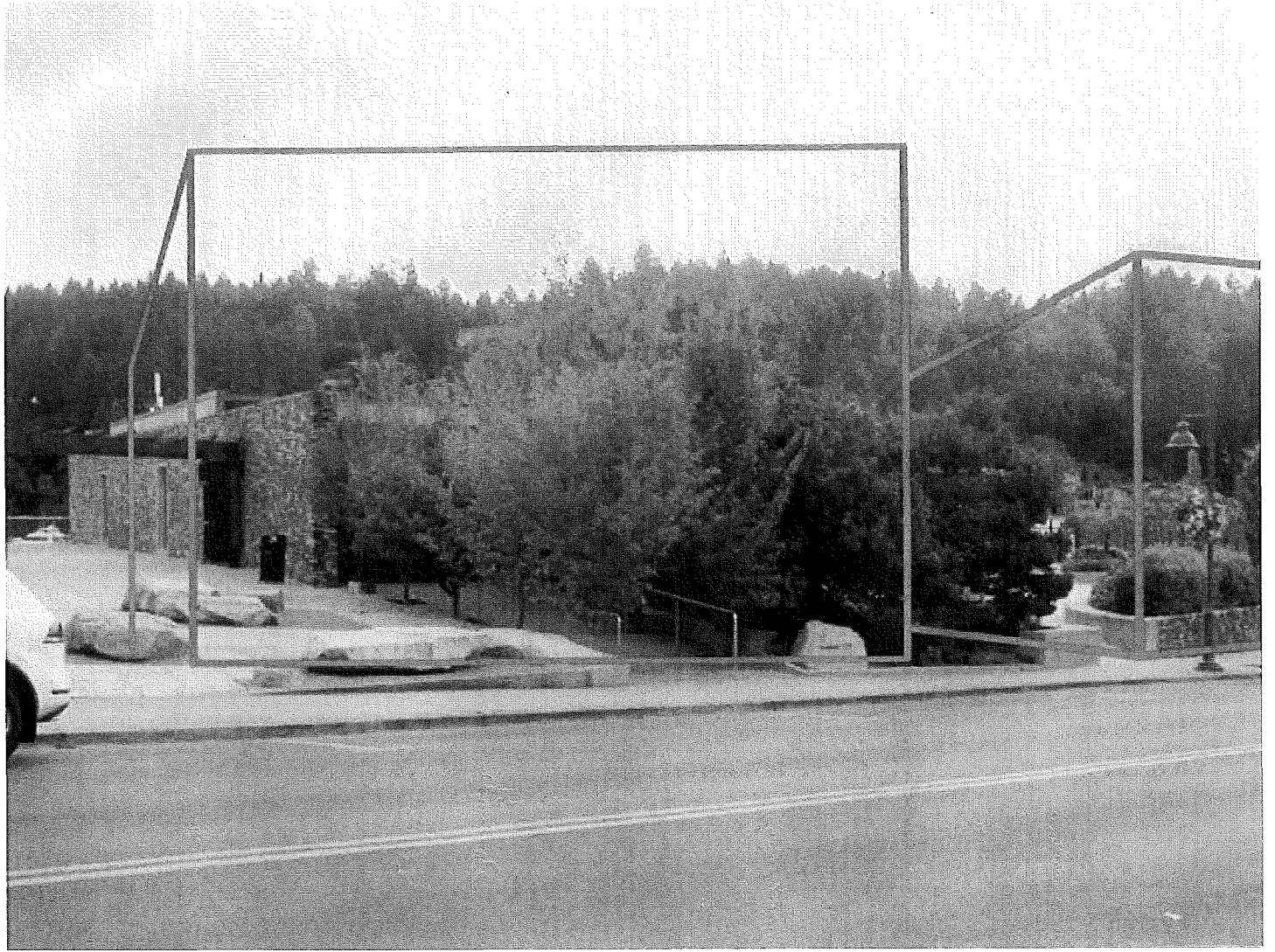
"Commissioners discussed building size and using an incentivized process for an increased size and/or height." Direct quote Feb 7 Planning Commission minutes.

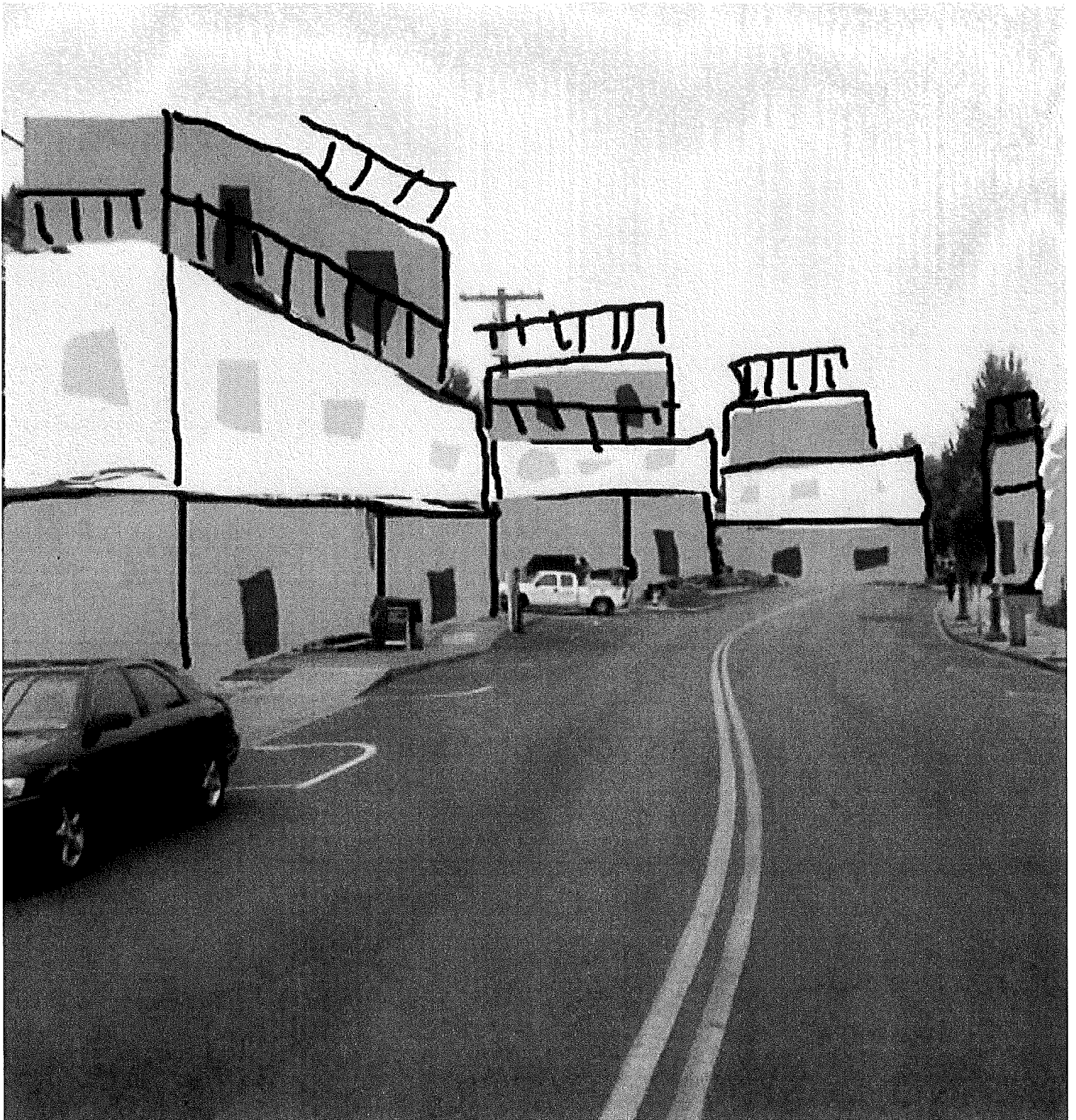
OK. Now we know what you were thinking! You are planning for it, and in a big and tall way!

Citizens For The Preservation Of Gig Harbor Waterfront

It is time the view of the many outweighed the financial interests of the few!

**Will the Gig Harbor City Council Overturn the will of the people???**





--

### **Will the GH City Council overturn the will of the people?**

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please give us a LIKE on facebook:

<https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

# **KINDNESS MATTERS**

To OPT OUT of these emails please reply with remove in the subject line.

**Kester, Jennifer**

---

**From:** Jiffy Lemcke [jiffylemcke@gmail.com]  
**Sent:** Wednesday, October 09, 2013 6:42 AM  
**To:** Kester, Jennifer  
**Subject:** downtown building heights

I am not in agreement of the proposed new building heights.

Jennifer Lemcke



**Kester, Jennifer**

---

**From:** jeniawoock@gmail.com  
**Sent:** Tuesday, October 08, 2013 7:46 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: Gig Harbor Waterfront Re-zoning

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

## **KINDNESS MATTERS**

-----Original Message-----

**From:** Carlene Salazar

**Date:** 8/19/2013 4:18:52 PM

**To:** [paulkadzik@comcast.net](mailto:paulkadzik@comcast.net); [hunterc@cityofgigharbor.net](mailto:hunterc@cityofgigharbor.net); [perrowm@cityofgigharbor.net](mailto:perrowm@cityofgigharbor.net); [EkbergS@cityofgigharbor.net](mailto:EkbergS@cityofgigharbor.net); [MalichK@cityofgigharbor.net](mailto:MalichK@cityofgigharbor.net); [Brian.McLean@gateline.com](mailto:Brian.McLean@gateline.com); [editor@gigharbor-life.com](mailto:editor@gigharbor-life.com); [jon.manley@gateline.com](mailto:jon.manley@gateline.com); [guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net); [tpayne@ema-inc.com](mailto:tpayne@ema-inc.com); [YoungD@cityofgigharbor.net](mailto:YoungD@cityofgigharbor.net)

**Subject:** Gig Harbor Waterfront Re-zoning

To All Concerned;

It is my understanding the City Council has in mind to allow taller buildings and less open space along the waterfront. Please re-consider. The whole waterfront area and it's unique slow walkable attractions, along with the views are the only reason Gig Harbor is a place to live. Without it's protection, Gig Harbor will become another Tacoma or Seattle. We who live here, do NOT want that to occur. We live here for a reason, and that reason is Gig Harbor's ambiance and liveable space. The parks and open spaces are the right way to go. Adding some coniferous trees would be along those lines, and specifically not removing any, except for safety reasons. The slow, windy streets are a part of the small town flavor as well. I know several people who come from out of town, BECAUSE Gig Harbor is such a lovely place to visit and shop, without the hustle and hassle of "BIG CITY"

Thank you for your ears and time. Whatever you do, do not be "sneaky", and try to slide this horrible measure through! Remember, we all VOTE! And we all CARE!

--

Carlene Salazar

*"The artist is nothing without the gift, but the gift is nothing without work."* Emile Zola

## Kester, Jennifer

---

**From:** Colene Acker [colene.acker@gmail.com]  
**Sent:** Tuesday, October 08, 2013 8:05 PM  
**To:** Kester, Jennifer  
**Subject:** Please preserve Gig Harbor's historic waterfront!

Dear Ms. Kester,  
Please forward this letter to members of the planning commission, the mayor, and others who are involved in the downtown zoning decision. Thank you.

We moved to Gig Harbor just over a year ago and we can certainly see why it has won national awards for being a best harbor town! Almost everyday we enjoy walking along the waterfront, taking in the views and looking at the boats. We've participated in many of the harbor activities, from the summer concerts to the art walks. Now, we're imagining walking along Harbor View Drive with 27-foot tall buildings on each side of the street and with trees planted in the view corridors. This will become reality if the City Planning Commission approves the proposed zoning changes for Harbor View Drive.

Once approved, it's a matter of time before businesses will expand upward. Will there be controls over how newer larger spaces will be used? What rules will prevent existing stores and restaurants from becoming two story office buildings? Will the architecture of new structures be required to compliment the character of the historic downtown?

In addition, the current zoning proposal allows a commercial property owner to add an additional floor but not provide parking space(s). Our downtown already has a shortage of parking every weekend and during special events, without the expansion of commercial properties.

For the most part, Gig Harbor's planners have been successful at maintaining our beautiful waterfront through the creation of small park spaces, the preservation of historic net sheds and by providing public piers where pedestrians can enjoy the magnificent views. The people who plan the activities that bring people to our lovely city are also doing a remarkable job!

Hopefully, any changes in the downtown zoning requirements will be made with consideration to preserving the character of the historic downtown and its water views, rather than representing the interests of some business owners. At the very least, these zoning changes should not include the water side of Harbor View Drive.

Colene and Jeff Acker  
3320 Lewis Street, Gig Harbor, WA 98335  
608-658-1884

**Kester, Jennifer**

---

**From:** citizens4ghwaterfront@gmail.com  
**Sent:** Tuesday, October 08, 2013 7:42 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: My letter to the council members, minus Mayor

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

### **KINDNESS MATTERS**

-----Original Message-----

**From:** Ruth Peavy  
**Date:** 10/7/2013 10:26:26 PM  
**To:** Jeni Woock  
**Subject:** My letter to the council members, minus Mayor

**TO: Gig Harbor City Leaders**

Many years ago in my role as the Certificated Personnel Coordinator in a Southern California school district, teachers would give me an exit interview upon their resignations. Mr. "L" was very excited to be moving to a quaint fishing village on the Puget Sound in Washington State and wanted to share his enthusiasm, but having little knowledge of the Pacific Northwest, I paid little attention.

Fast forward to the mid 1990's when my husband and I were planning retirement, we speculated possible locations in the Washington area. My husband Eric, who was born and raised in Bakersfield (which he disliked immensely and fled in 1962 -- 'fled' being the operative word) and spent his entire teaching career in another southern California city, always preferred to someday live

in the Pacific Northwest, especially when he would see that "little green spot" on the TV news weatherman's map.

We headed north on a spring break, stopping at a hotel in Kelso after driving around that area, which we immediately nixed. An acquaintance of ours had moved to a place called Port Orchard, so we looked at a map to see where that was located. Suddenly, the words "GIG HARBOR" struck me like a light bulb as I recalled the resigning teacher being so excited about it all those years earlier. (Eric had no idea why I suddenly wanted to see Gig Harbor, but was elated to hear it since he'd worried about taking me away from where I had lived for five decades.)

Intrigued by the Tacoma Narrows Bridge, we were soon approaching Gig Harbor and drove down Soundview, viewing the Sound to our right and the harbor with it's boats and yachts straight ahead. Entering Harborview and driving along and around the harbor, I knew then, absolutely, that this was the idyllic place where we should spend the rest of our lives. Eric wholeheartedly agreed. We immediately sought the perfect gentleman realtor who helped us in so many ways.

We revisited Gig Harbor several times prior to retirement, but 1998 was the year of our permanent residence in this beautiful city which we are proud to call our home. Family and friends who have visited us are always overwhelmed at the beauty of Gig Harbor, where they walk along the harbor and are always drawn to that area, which is close to our residence.

Tourists love Gig Harbor, and would love it even more if the number of little unique shops increased along the waterfront to at least compete with the many professional offices and buildings.

The proposed zoning changes were brought to our attention recently, and we are shocked and disappointed that such zoning regulations would even be *considered* by our city leaders! Do you not care for the citizens and taxpayers who inhabit this city and depend on you to care for and protect the idyllic beauty of their

dwelling place? Please take heed and listen to us!!

**CITY LEADERS OF GIG HARBOR: PLEASE, PLEASE,  
PLEASE DO NOT RUIN THE SCENIC VIEWS ALONG THE  
HARBOR WITH THIS UTTERLY DISASTROUS ZONING PLAN!**

Sincerely,

and Ruth Peavy

Eric

## Kester, Jennifer

---

**From:** citizens4ghwaterfront@gmail.com  
**Sent:** Tuesday, October 08, 2013 7:43 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: Gig Harbor building height debate – height vs size

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

### KINDNESS MATTERS

-----Original Message-----

**From:** Ann Crawford  
**Date:** 9/10/2013 5:28:29 PM  
**To:** [Citizens4GHWaterfront@gmail.com](mailto:Citizens4GHWaterfront@gmail.com)  
**Subject:** Fw: Gig Harbor building height debate – height vs size

To the honorable 'Citizens For the Preservation of Gig Harbor Waterfront'.... I am sure some of our individual objectives will vary by degrees so far as the final direction or course of action preferred regarding Gig Harbor's redevelopment. What I wish to share with you is the message I sent to the councilmembers, as I have seen the same such history written in another city where I lived ...if you take the time to digest the comments below the blog about that redevelopment --30 years after the fact-- you may come to understand why I feel 'preservation' must become more of a priority for the Harbor and its community leaders.

----- Forwarded Message -----

**From:** Ann Crawford <[walkswithhounds7@yahoo.com](mailto:walkswithhounds7@yahoo.com)>  
**To:** "YoungD@cityofgigharbor.net" <[YoungD@cityofgigharbor.net](mailto:YoungD@cityofgigharbor.net)>; "MalichK@cityofgigharbor.net" <[MalichK@cityofgigharbor.net](mailto:MalichK@cityofgigharbor.net)>; "paulkadzik@comcast.net" <[paulkadzik@comcast.net](mailto:paulkadzik@comcast.net)>; "guernseyj@cityofgigharbor.net" <[guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net)>; "EkbergS@cityofgigharbor.net" <[EkbergS@cityofgigharbor.net](mailto:EkbergS@cityofgigharbor.net)>; "perrowm@cityofgigharbor.net" <[perrowm@cityofgigharbor.net](mailto:perrowm@cityofgigharbor.net)>; "tpayne@ema-inc.com" <[tpayne@ema-inc.com](mailto:tpayne@ema-inc.com)>  
**Sent:** Tuesday, September 10, 2013 1:41 AM  
**Subject:** Gig Harbor building height debate – height vs size

Dear Council members:

I understand your need to 'improve' Gig Harbor. As councilmen, yours and the same such stories have been told before. Unfortunately, the proposed efforts will be detrimental to your cause, even if your hearts are true to what you say is your purpose. History repeats itself -- it is a cyclical process; it has been attempted before.

Being of European heritage, I can say - Gig Harbor is not old. What it currently suffers from is a malady affecting many bigger cities. Where you are misguided is when you try to make Gig Harbor into a city of Bellevue's dimensions. Gig Harbor is and should remain a small town. That is its charm. Your efforts should be

about preserving and expanding upon the tiny collection what is left of its historical heritage rather than new building expansion. Surely there are enough empty storefronts in Gig Harbor already? Will square footage be more affordable for small businesses to rent after redevelopment? Certainly not! Businesses need your help; there is no shortage of buildings! Despite your remonstrations, someone- corporation, family or otherwise- will prosper from these redevelopment plans. It won't be the town and the people of Gig Harbor. You suggest the upper stories might be used for apartments? At what monthly cost will they command the best views of the landscape and waterscape of the harbor? And it was suggested the housing might even be for seniors? Most seniors prefer ground floor living to cumbersome stairways... but of course you'd provide handicap accessibility... no expense spared to accommodate these entitled few. This is how you propose to enrich the Harbor?

The entire farce that the raised buildings will not obstruct view of the harbor only reiterates the 'tunnel vision' of those proposing these changes. The 'view' is not strictly of water. The 'view' is also of the opposite shore— where the bank meets the dark green, tree-covered mountainside rising up to reach the bluest skies above... There is a continuity that will be lost when building frontages dominate the waterfront, with only narrow alleyways to allow passers-by only a small slice of what was a glorious image. You can't make those alleyways between buildings big enough to form a view. Some of those lots are only 6,000 sq feet?! And only an architecture student will assert that a street lined with buildings is more attractive than buildings hidden by 'volunteer' foliage. Gig Harbor is a child of the wilderness. The wildlife, be it songbirds, deer, raccoons (just to name a few) have been some of the things that enchanted the tourists I've spoken to. With those lovely 'volunteers,' (they require no maintenance-why abhor them?) spaces are ill-defined. Gig Harbor appears a singular lush land which retains a sense of its wild beginnings. Instead, you are proposing to insert more cookie-cutter frontages...cold, concrete, sterile. When you strip away those volunteers, you exaggerate private property. And yes, even the view will become private—and expensive. You do yourselves no favor being the councilmen recommending this sort of redevelopment.

I understand you have the advantage of the floor. Funny how you are able to reach so many people at election time and so few during these sort of processes, whatever the disadvantages you complain you are dealing with. I take exception to your sense that you have provided plenty enough waterfront for the community to enjoy. Of all that shoreline, there are very few places Joe Public is at liberty to go...and yet you've decided I have enough places near water? A measure of your generosity, to be sure. And when I hear your committee report that they 'don't think' this or that change will happen, it tells me that it quite possibly that change will and can happen but don't bring it up now...just get the amendment passed. Hmmm...

Since coming to Gig Harbor, I've read of more than a few suspicious fires which have destroyed many of the old historical houses around town only to see an office building appear afterwards. Someone pulls strings somewhere around town. Either they are above investigation or they pay well. However, every time another piece of the Harbor's rich heritage disappears, I shudder. When those pieces of history are lost, they cannot be replaced. Even your idea of preservation suggests tearing the original structures down. That is not the language of preservation. I suspect -to get around that- one might require a call for a suspicious fire of some sort, eh?

Museums are wonderful closets to keep things in. Don't relegate Gig Harbor's history to a closet. Let her keep more than a few of her wrinkles; she is aging so very gracefully. But with your proposed plans, she will become Any City, USA and be no more profitable, save for an entitled few. ...And 30 years from now? What will they say about the councilmen who authorized this redevelopment...?

If you will take a moment to read this blog – (<http://ochistorical.blogspot.com/2012/03/fox-theater-and-end-of-downtown-anaheim.html>) This captures some of the sentiment about the redevelopment that took place

in Anaheim, Ca back in the 70's. I lived through those times. I watched it happen. 30 years later, when I left to move to Gig Harbor, all that was left of that wonderful redevelopment project was mostly empty used storefronts...none were as attractive as the historical ones they replaced. History will always be more interesting than the new. After all, there will always be something newer to build– but you can never bring back what was there. Or can you? Why can't Gig Harbor chase the rare? Yes, I know that doesn't bring in tax dollars. But perhaps there is a way... to keep Gig Harbor rare... and not just another cookie-cutter town like all the rest. Empty new storefronts aren't really attractive either. But then, if your emphasis isn't on sustainable small businesses and the townspeople, but rather the wealthy apartment dwellers and developers...my entire postulate is mute.

Thank you for hearing me. I understand this is gone past planning commission—late to hear my comments but then you have yet to approve these changes. The councilmembers from Anaheim in the 70's are now considered short-sighted, self-serving politicians. I don't envy your position – merely hope you will preserve Gig Harbor as she should be for future generations, with respect for her past. Your decisions write your own political obituary. 'Revitalization' of the existing waterfront with respect for the Harbor's history may be a more lucrative path to follow in the long run.

Good Luck to you all.



**Kester, Jennifer**

---

**From:** citizens4ghwaterfront@gmail.com  
**Sent:** Tuesday, October 08, 2013 7:44 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: Zoning Decision 9-9-2013

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

**KINDNESS MATTERS**

-----Original Message-----

**From:** Charles Thompson

**Date:** 9/10/2013 9:10:42 AM

**To:** 'Tim Payne'; [EkbergS@cityofgigharbor.net](mailto:EkbergS@cityofgigharbor.net); [YoungD@cityofgigharbor.net](mailto:YoungD@cityofgigharbor.net); [guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net); [perrowm@cityofgigharbor.net](mailto:perrowm@cityofgigharbor.net); [paulkadzik@comcast.net](mailto:paulkadzik@comcast.net); [MalichK@cityofgigharbor.net](mailto:MalichK@cityofgigharbor.net)

**Subject:** Zoning Decision 9-9-2013

Congratulations to all on the decision to temporarily forgo implementing revised rezoning on the waterfront side of Gig Harbor. Finally someone is listening to the citizens.

It's my understanding the a review of the waterfront issue will be made October 14<sup>th</sup>. This is apparently the process for trying to resell this zoning concept for change.

What's important for the Council to recognize is that the key here is one of citizens perception of change. As a citizen of Gig Harbor, best I can tell you is that collectively, WE DON'T WANT TO SEE ANYTHING CHANGED!!! Please feel free to refer to the underlined portion of this message should you have any questions.

In a bigger picture, the Council, up until last night's meeting, indicated they were not only in favor of this revised zoning, but would proceed ahead despite citizens concerns. Keep in mind those elected officials are supposed to represent the voice of those citizens that voted them into office.

The end result of all this creates a level of distrust. One would ask what the hidden agenda is? What's the real truth? Who actually benefits and where does the dollar come into play. Despite arguments to the contrary, it boils down the simplicity of "perception".

Citizens at this are not in the market for change. They are not in the mood to be sold something they don't want.

Final Comment: Leave Well Enough Along

**Kester, Jennifer**

---

**From:** citizens4ghwaterfront@gmail.com  
**Sent:** Tuesday, October 08, 2013 7:45 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: Modest New Zoning Ideas for Gig Harbor

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

## **KINDNESS MATTERS**

-----Original Message-----

**From:** Bill Hunter

**Date:** 9/5/2013 2:27:09 PM

**To:** [hunter@cityofgigharbor.net](mailto:hunter@cityofgigharbor.net); [tpayne@ema-inc.com](mailto:tpayne@ema-inc.com); [perrowm@cityofgigharbor.net](mailto:perrowm@cityofgigharbor.net); [ekbergs@cityofgigharbor.net](mailto:ekbergs@cityofgigharbor.net); [guernseyj@cityofgigharbor.net](mailto:guernseyj@cityofgigharbor.net); [paulkadzik@comcast.net](mailto:paulkadzik@comcast.net); [malichk@cityofgigharbor.net](mailto:malichk@cityofgigharbor.net); [youngd@cityofgigharbor.net](mailto:youngd@cityofgigharbor.net)

**Cc:** [brian.mclean@gateline.com](mailto:brian.mclean@gateline.com); [jon.manley@gateline.com](mailto:jon.manley@gateline.com); [editor@gigharbor-life.com](mailto:editor@gigharbor-life.com); [getjesse@king5.com](mailto:getjesse@king5.com)

**Subject:** Modest New Zoning Ideas for Gig Harbor

It's time that you, the Gig Harbor City Council, go big on your proposed new downtown zoning regs.

Instead of simply just raising the height limits on commercial buildings along scenic Harborview Drive, why not create something really special to perk up the dull lives of the citizens of this drab community.

For instance, have you seen that giant ferris wheel on the Seattle waterfront? Can't you just imagine the throngs of young, old, rich and poor alike stream into our town once such an attraction is erected in Skansie Park? Yes, it's pretty big, but that's my point: why have ANY height limits on Harborview?

Want another idea? How about sound barriers? With all the new commercial building anticipated with the new zoning rules, wouldn't it be wise to erect 12' sound barriers on each side of the entire length of Harborview? These barriers work very well on California freeways in reducing traffic noise

and would be much appreciated by all the new workers scheduled to inhabit all the new buildings.

With all the new buildings you might want to consider widening Harborview to accompany all the additional auto and truck traffic. Yes, two additional traffic lanes would necessarily uproot a few existing businesses and residences but you have to take the long view as strategic planners. Many of the structures (especially those old residences) need to be condemned anyway along with those ugly netsheds which are a singular disgrace to our waterfront.

I have many, many more thoughts on improving the lives of the people who live in and visit Gig Harbor that I would be willing to share with the Council.

Please contact me at your earliest convenience so we can sit down and hash things out with your developers and mine.

Bill Hunter

Gig Harbor

## Kester, Jennifer

---

**From:** citizens4ghwaterfront@gmail.com  
**Sent:** Tuesday, October 08, 2013 7:46 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: Height Limits for Downtown Buildings

Chuck Hunter, et. al.,

I am concerned with what we heard for the first time today regarding a proposed change in City zoning to allow higher buildings in the downtown corridor. We subscribe to the Gateway, and this issue may have been covered throughly in an issue when we were out of town, but today was the first I became aware of what is being proposed. From the flyer being distributed by volunteers, I cannot tell if I am in favor or opposed to the planned revisions to City zoning. I have a hollow feeling that something very important to Gig Harbor is being given the political fast-track for the benefit of a few property owners. Please tell me this is not true.

Gig Harbor has for years promoted a low rise, fishing village theme. Those of us with property in the City have paid higher taxes for the acquisition of net sheds, houses and park lands to promote this theme. Is what is being proposed consistent with this theme?

Finally, I see there is a City Council meeting on September 9, where tax payer and public input will not be solicited. Please publish in the Gateway the process and timeline the Council plans to follow so that all parties impacted by this proposal have an opportunity to participate. As a property owner within the City, I am always anxious for greater commercial income, which theoretically helps hold tax rates down. However, we all benefit from the charm our city has that attracts thousands of visitors every year. Please slow this process down. Don't give the impression that something is being slipped through that could not survive public debate. There is already too much chatter about town regarding Council activities that give deference to favored parties and views.

Sincerely yours,

Dave Mumper  
253-25-6395  
Owner of three duplexes on Soundview and a taxpayer without representation.

## Kester, Jennifer

---

**From:** Jeni Woock [citizens4ghwaterfront@gmail.com]  
**Sent:** Tuesday, October 08, 2013 7:50 PM  
**To:** Kester, Jennifer  
**Subject:** Fwd: What were you thinking?

----- Forwarded message -----

**From:** Jeni Woock <citizens4ghwaterfront@gmail.com>  
**Date:** Mon, Oct 7, 2013 at 10:04 AM  
**Subject:** What were you thinking?  
**To:** Chuck Hunter <hunterc@cityofgigharbor.net>, Steve Ekberg <ekbergs@cityofgigharbor.net>, Tim Payne <tpayne@ema-inc.com>, Ken Malich <malichk@cityofgigharbor.net>, Michael Perrow <perrowm@cityofgigharbor.net>, Jill Guernesy <guernesyj@cityofgigharbor.net>, Derek Young <youngd@cityofgigharbor.net>, Paul Kadzik <paulkadzik@comcast.net>, Brian McLean <Brian.McLean@gateline.com>, Jon Manley <jon.manley@gateline.com>, Jesse Jones <getjesse@king5.com>, Heather Graff <hgraf@king5.com>, Karen Peterson <karen.peterson@thenewstribune.com>

Mr. Mayor, et al;

As residents walk and drive along Harborview they come to 9205 No Harborview. One photo is how it looks today. The other drawing is of what the City's proposed new zoning will allow to be done to this location. The stick says it all! Our stick is 18' and 14' high is what will be zoned to stand in front of Gig Harbor residents view.

What were you thinking?

Unfortunately, it seems no one at the City had any idea this would be the result of this view killing zoning.

It is quite sad that the City is too busy to answer any more questions now.

It seems the city was too busy to go over and above on letting citizens know of these proposed zoning amendments that would change downtown forever.

It seems the city was too busy the check on how the 18' property line would look to citizens walking by.

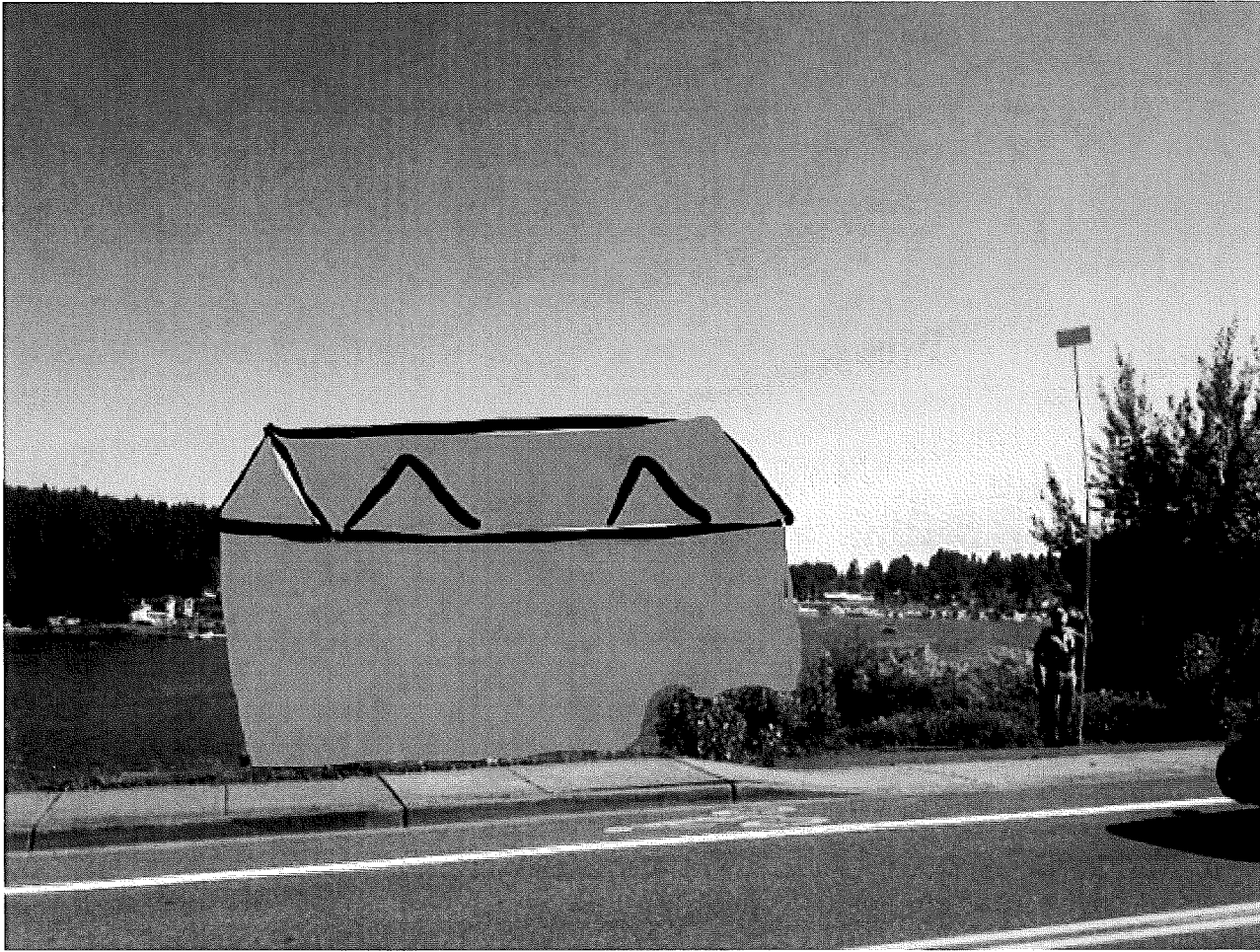
Even now, the city is too busy to check the surveyors' drawings on where the property line and height will be from the sidewalk on other downtown parcels.

Don't you think there is a better way to treat the people that you work for?

Citizens For The Preservation Of Gig Harbor Waterfront



9025 No Harborview as it looks today.



Your proposed new zoning would allow 14' of view to be eliminated.

Sign the petition at care2 petition site

[Http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront](http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront)

Like us on: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS!!

--

**Will the GH City Council overturn the will of the people?**

**Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.**

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

**Please give us a LIKE on facebook:**

**<https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>**



# **KINDNESS MATTERS**

To OPT OUT of these emails please reply with remove in the subject line.

## Kester, Jennifer

---

**From:** Jeni Woock [citizens4ghwaterfront@gmail.com]  
**Sent:** Tuesday, October 08, 2013 7:50 PM  
**To:** Kester, Jennifer  
**Subject:** Fwd: Vote for transparency

----- Forwarded message -----

**From:** Jeni Woock <citizens4ghwaterfront@gmail.com>  
**Date:** Sat, Oct 5, 2013 at 1:40 AM  
**Subject:** Vote for transparency  
**To:** Ken Malich <malichk@cityofgigharbor.net>, Jill Guernesy <guernesyj@cityofgigharbor.net>, Paul Kadzik <pailkadzik@comcast.net>, Tim Payne <tpayne@ema-inc.com>, Derek Young <youngd@cityofgigharbor.net>, Steve Ekberg <ekbergs@cityofgigharbor.net>, Michael Perrow <perrowm@cityofgigharbor.net>, Brian McLean <Brian.McLean@gateline.com>, Jon Manley <jon.manley@gateline.com>, Ric <editor@gigharbor-life.com>, Jesse Jones <getjesse@king5.com>, Heather Graff <hgraf@king5.com>, Karen Peterson <karen.peterson@thenewstribune.com>, Chuck Hunter <hunterc@cityofgigharbor.net>

Mr. Mayor, Et al;

This proposed zoning amendment being considered to change downtown forever and eliminate views from Gig Harbor residents is being presented Oct 14.

The particulars in this amendment are not new. There is nothing different about this amendment except that it no long contains the uphill side of Harborview Dr.

The council chambers will be full of Gig Harbor residents prepared to make their 3 minute public comment. These citizens deserve to be heard.

These citizens deserve to watch each Council member as you stand and be counted as to what the majority of citizens want. This is not the time for you to make changes to this amendment, kick on down the road, in hopes that you can pass this with no one watching.

Citizens of Gig Harbor want no changes to the amendment to put off this vote, no side stepping maneuver to put off this vote.

Gig Harbor residents know that you are planning to side step and not make a vote on Oct 14. We also know that it is well within your ability to vote on this amendment Oct 14.

"1.08.020 B. Notwithstanding the foregoing, the city council may take action on a proposed ordinance on the day of introduction, or at a special meeting, upon the affirmative vote of a majority plus one of the whole membership of the council."

Gig Harbor Passing Procedure 1.08.020B makes it clear you have the ability to vote on this proposed zoning amendment on Oct. 14. This procedure mentions nothing about time sensitive or emergency as the reason to act on the same night. We challenge the City Council to act in a transparent manner and cast your vote on Oct. 14.

So, we wonder why this council would choose not to vote, with all the eyes of Gig Harbor on you? Are you planning to pass this another time without the eyes of Gig Harbor on you?

The Citizens For The Preservation of Gig Harbor Waterfront



Sign the petition at care2 petition site

[Http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront](http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront)

Like us on: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS!!

--

**Will the GH City Council overturn the will of the people?**

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please give us a LIKE on facebook:

<https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

**KINDNESS MATTERS**

To OPT OUT of these emails please reply with remove in the subject line.

**Kester, Jennifer**

**From:** Hunter, Chuck  
**Sent:** Tuesday, October 08, 2013 2:16 PM  
**To:** Kester, Jennifer  
**Subject:** FW: Keep our small town SMALL

FYI

**From:** Lynn Stevenson [mailto:Lynn@CrazyHappy.com]  
**Sent:** Tuesday, October 08, 2013 1:03 PM  
**To:** Stanton, Lita; Hunter, Chuck; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Young, Derek  
**Subject:** Keep our small town SMALL

To Lita Dawn Stanton

This is a quote from yc

"We support the comm  
monuments, sites, land  
historic buildings and si  
identity."

ural resources, including  
s. The preservation of  
ur community's sense of

*Public Comments since  
10/8/13 @ noon*

Well, your Gig Harbor cc  
from the collection of AL  
the variety of building siz  
the special "cadence" tha  
story of the period in whi  
many visitors respond so  
world now and they are r  
populations of people. No  
our true heritage.

identity which comes  
"all", but my point is:  
as the downtown area  
Each building tells a  
r "experience" that  
onplace all over the  
more concentrated  
ll cannot communicate

In Gig Harbor terms, a "hi  
pragmatic harbor was built  
determind to preserve.

efinition, but our  
cter we should be

So Lita Dawn -- I am curiou  
obviously on the side of allo  
history of the harbor. I'm hc  
your support of zoning chan  
against them. So what am I

you seem so  
ie old fishing village  
surprised to see  
nion standing firmly

Very Sincerely,

Lynn Stevenson

*Lynn*  
310-428-5966

**Kester, Jennifer**

---

**From:** Jiffy Lemcke [jiffylemcke@gmail.com]  
**Sent:** Wednesday, October 09, 2013 6:42 AM  
**To:** Kester, Jennifer  
**Subject:** downtown building heights

I am not in agreement of the proposed new building heights.

Jennifer Lemcke

**Kester, Jennifer**

---

**From:** citizens4ghwaterfront@gmail.com  
**Sent:** Friday, October 11, 2013 12:56 PM  
**To:** Kester, Jennifer  
**Subject:** Fw: FYI, City of G.H. letter

-----

Dear City Council Members,

I visited Gig Harbor for the first time back in 1997 with my then fiancée and we were immediately taken by the beauty and charm of this stunning town. The waterfront community, which we witnessed in this town in our 3-day visit, particularly the waterfront community, was a huge reason for our decision in 2006 to pack up every large base of family relatives in California and return to this beautiful town to start a new career and establish a new life for myself, my wife of note, and goes to the core of the unique value and blessing of this city, is that my 9 year hiatus from the area did not impact what we saw. Our homecoming revealed a waterfront community that, for all intents and purposes, appeared the same as when we had left it 9 years prior. That's something.

I have had the opportunity to live in several states in this country as well as live in and visit a number of countries around the globe. Yes, in any place you have visited or have lived over the years, you will encounter rather dramatic changes. The key to building and maintaining a development in a BALANCED nature. To this point, and in simple terms, there is a place for developing taller, wider and more commercial buildings. Let me say that everyone has done a FANTASTIC job with developing that area. It is a joy to look at and a joy to visit and it seems to keep getting better. It was that that was exactly what was meant for that area. Its past and its destiny was to house a commercial, family-friendly experience - in a grand fashion. A success story.

On the other side of town, you have another jewel, the Waterfront. Not to belittle or misuse the term, but the Waterfront is SACRED. It is the heart of its citizens great pride and fulfillment on a daily basis, and brings to visitors enjoyment and awe, and as previously stated, sometimes the Uptown is Uptown, the Waterfront is the Waterfront. We have it both ways, we have it all, we should all feel blessed. I know I do. I know my neighbors in Tacoma cherish what we have here, and especially the ones who have chosen to move across the bridge to our town in this time.

This Google image search should remain (beautifully) consistent over the years: <https://www.google.com/search?q=gig+harbor&client=firefox-a&source=lnms&tbn=isch&sa=X&ei=gydYUvXqF6rCigKO5oGgBQ&ved=0CAkQAUoAQ&biw=1665&bih=963>

This Google image search should remain (beautifully) progressive over the years: <https://www.google.com/search?q=gig+harbor&client=firefox-a>

[US:official&source=Inms&tbn=isch&sa=X&ei=gydYUvXqF6rCigKO5oGgBQ&ved=0CAkQ AUoAQ&biw=1665&bih=963#q=gig+harbor+uptown+waterfront&usq=US%3Aofficial&tbn=isch](#)

I had attended the City Council Meeting on September 9th, and I was glad to have a front row view of what is planned for the city and to be able to weigh in. Here are my comments on what I saw and heard:

- PURPOSE - Through all of the proceedings about WHAT was being planned, I listened intently in hope of catching a mention of WHY it was. I did not hear one councilman state that there was a goal of "rejuvenating" the Waterfront. It would have been nice to hear more about how much need is being met, how waterfront business are doing, how much public outcry there is for more activity or more commercial entities there, etc. Perhaps this was a bit late to the game. Regardless, I agree that the Waterfront can stand to be "rejuvenated", if we are talking about attempting to add more life and hours. However, this has to be done within the framework of the existing Waterfront, within its existing spirit, character and intent (think four trolley bus was an excellent addition, by the way). Allowing and encouraging bigger, taller buildings is not the way to do it - this is not a form of quantity, it is about the quality. Part of the current problem is that a number of current businesses don't stay open late enough (some of these are a great strolling experience, e.g. Heidi's Sweet Shop, Gift shops, Clothing boutiques, Art shops, etc.), and that other businesses unfortunately are just commerce and entertainment (e.g. Windermere and Russell Investments - quite frankly it is a big shame that these businesses have been an estate with spectacular views for the enjoyment of very few while offering nothing for the sake of rejuvenating the waterfront in its best interest). I am sure whom I've spoken to have been able to connect lines between raising building heights and commercial success/waterfront revitalization. Landmark development on the waterfront, is part of the goal to "get back" some business that may have gone to Uptown? Uptown is us too, it is all Gig Harbor. Waterfront the Waterfront, with its unique strengths, and the same for Uptown. Both will be stronger because of it, and so will the city as a whole balance.

- BUILDING HEIGHTS - As mentioned earlier, it is not clear how this is to bring commercial success. However, it is indisputably clear how the value of the waterfront - the views, the charm and allowing everyone to enjoy the current buildings and walkways in their current state. I don't think the proposed development plans tell the whole story. I am not saying this was done in a misleading fashion, just that I don't think anyone can make of such potential decisions until something like that is already upon them. Some of the illustrations were from the vantage point of Heidi's side of the street at buildings across the street. What one cannot get a feel for is what would it be like to actually stand on the other side of the street immediately plus imagine doing so while all of the buildings on Heidi's side have increased in height as well. Driving and walking through that block would not to mention depressing, knowing what one has lost. There was a lot of mentioning of preserving view corridors, however, this topic did not excite any citizens, including myself - it is hard to get excited about "providing" a view corridor that has come about because of "taking" the view in new and bigger buildings. Sorry for the blunt analogy, but I believe this is true to how citizens feel on this one: it is like someone asking you to go into a prison cell by pointing out the (small) window with a view and free food. In attempting to explain how the waterfront corridor would be the Planning Commission had pointed out how one of the buildings towards the Green Turtle Restaurant was currently obscured by a large building (somehow enjoy a better street presence) ... as if this were a negative thing! Part of the waterfront's charm is that there are some mysterious walking experience. In fact there are some tucked away businesses which are all part of our landscape, part of fun of exploring Gig Harbor. "build up" or "build out". Embrace, celebrate and treasure what is here. Again, Uptown is Uptown. The Waterfront is the Waterfront. tell the story - in some cases it was crystal clear, e.g. the increased height of homes by Anthony's - they all still tell a sad story. Whether you go up or by 2 feet, I have yet to encounter a fellow Gig Harbor resident who feels any of this is a good thing, or something that they want.



- COMMUNITY/OUTREACH - Granted to keep everyone informed you likely regularly publish information related to city planning on your website. It seems there is no replacement to getting the word out, and more importantly, getting citizens immediate opinions, by adopting the tactics of having a city representative attend various community events, e.g. farmer's market, concert in the park, etc. and pro-actively tell citizens about their opinions. Perhaps you do engage in this, however, I thought I should bring it up for there are still quite a few people that are in the dark about city planning. Question: while there is indeed a Planning Commission, is there also a Preservation Commission (beyond Pierce County Register of Historic Properties "Gig Harbor Planning & Preservation Commission". And lastly on outreach... feel free to reach out to me if you would like to talk further with me about city planning.

Thank you for reading, and I hope it is deemed a worthy read from a Gig Harbor resident of 7 years and a fan of 16 years! I have always loved to live in a city that dares to be different and takes the desire to preserve cherished parts of their city very seriously, and I challenge you to do the same. The things that are valuable about Gig Harbor. Some things should not change.

Thank you,  
**Drea Solan**

*Husband, Father of Three  
Gig Harbor resident*

**Kester, Jennifer**

---

**From:** DIANE [martindiane@centurylink.net]  
**Sent:** Monday, October 14, 2013 11:43 AM  
**To:** Kester, Jennifer; Young, Derek; Ekberg, Steve; Guernsey, Jill; Hunter, Chuck; Kadzil, Paul; Malich, Ken; Payne, Tim  
**Subject:** Downtown Gig Harbor

Mayor Hunter, Council Members and others,

Please do not amend the zoning for the downtown area of Gig Harbor. I moved from Pennsylvania less than one year ago and love Gig Harbor. It would be a shame to have the current view spoiled by your proposed amendment to allow the 27 foot height and the set back allowances.

Remember that once changes are made they cannot be undone; you must think about what changes could take place five, ten, twenty and more years from now. It is better to move cautiously, particularly since so many that I have spoken with say they do not what the proposed changes.

Thank you for allowing the 3 minute hearing from citizens and reconsidering this matter.

Diane Martin  
4309 144th St., Ct. NW  
Gig Harbor

**Kester, Jennifer**

---

**From:** Rose Mary Micheli [rmmicheli@comcast.net]  
**Sent:** Monday, October 14, 2013 12:32 PM  
**To:** Kester, Jennifer  
**Subject:** Zoning Amendment for 2 Story Buildings

I cannot imagine WHAT the city is thinking of in allowing 2 Story buildings on Harborview. Do you not have any concept of what you will be doing to our city? The city already messed up in allowing the Russell Building to take away the view and then allowing Uptown to destroy the landscape by cutting all the trees after the hard-fought win from Walmart. Don't you have any concept of what you would be doing? Are the engineers of Gig Harbor really that incompetent that they don't tell you what it would look like or do you think you will be getting more revenue by doing this? I DON'T UNDERSTAND THIS THINKING. DO NOT DESTROY OUR TOWN!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!

**Kester, Jennifer**

---

**From:** Jacobus Smit [jacobus.smit@me.com]  
**Sent:** Monday, October 14, 2013 12:27 PM  
**To:** Kester, Jennifer  
**Subject:** Save gig harbor waterfront

Stop!!! Stop! The development to block views in gig harbor develop more small shops and restaurants in current style.

Jacobus Smit  
4226 57th St ct NW  
Gig harbor 98335

Sent from my iPhone

## Kester, Jennifer

---

**From:** Linda Ferris [lattelindal@comcast.net]  
**Sent:** Monday, October 14, 2013 1:28 PM  
**To:** Kester, Jennifer  
**Subject:** downtown bldg hts

Please don't even consider obscuring the visual warmth of our beautiful harbor town. The uptown area is perfect for that type of development, & waterfront & water view is not. It will destroy so much of our town's history, attractiveness, and tourism.

Linda Ferris--registered voter & homeowner in the Harbor for 12 years.

RECEIVED

OCT 14 2013

CITY OF GIG HARBOR

Gig Harbor citizens s  
proposed new zoning rules anywt

NAME	STREET ADDRESS	ZIP
Shelly Cox	3603 Butler Dr	98335
James Sullivan	8714 90th Ave NW	98332
Lyndee Sullivan	8714 90th Ave. NW	98332
CHRIS BURDOYSHAW	15321 45TH AVE NW	98332
Christy Busdyska	15321 45TH AVE NW	98332
Kelly Ray	7427 84th Ave NW	98335
Carl Ray	" " " "	" "
DON MAY	7312 80th St. N.W	98335
RANDINE LUND	7221 SOUNDVIEW DR <sup>#301</sup>	98335
<del>Don Trumbull</del>	<del>3114 Forest Bend Dr</del>	don't live
ANNETTE HEIN	3819 100th St. G. NW	98332
Fran Olufs	3314 58th Ave NW	98335
Stephanie Somers	4514 Garden Pl. NW	98335
Catherine Johnson	3110 JUDSON ST. PMB 66 GIG HARBOR	



**Business of the City Council  
City of Gig Harbor, WA**

**Subject:** 1<sup>st</sup> Reading and Public Hearing of Ordinance – Land Use Permit Extensions

**Proposed Council Action:** Hold public hearing and consider land use permit extensions.

**Dept. Origin:** Planning

**Prepared by:** Jennifer Kester, Planning Director *JK*

**For Agenda of:** October 14, 2013

**Exhibit:** Draft Ordinance, Ordinance 1225, Letters of request.

	Initial & Date
<b>Concurred by Mayor:</b>	<i>cut 10/18/13</i>
<b>Approved by City Administrator:</b>	<i>2 10/18/13</i>
<b>Approved as to form by City Atty:</b>	<i>emgil 10/7/13</i>
<b>Approved by Finance Director:</b>	<i>N/A</i>
<b>Approved by Department Head:</b>	<i>JK 10/7/13</i>

<b>Expenditure Required</b>	\$0	<b>Amount Budgeted</b>	\$0	<b>Appropriation Required</b>	\$ 0
-----------------------------	-----	------------------------	-----	-------------------------------	------

On August 10, 2009, the City Council passed Ordinance 1167 which allowed for the extension of land use permit expirations for two years. Land use permits that would have ordinarily expired in 2009 and 2010 were extended until November 2011. On October 24, 2011, the City Council passed Ordinance 1225 which allowed for the extension of land use permit expirations for two years to November 30, 2013. Six land use permits that were approved between 2006 and 2009, have been granted extensions of their permit expiration to this date.

Earlier in September, the planning staff and Council members on the Planning and Building Committee were approached by a property owner who received extensions under both ordinances for a permit that would have expired in 2010. The owner requested the City Council consider another extension for up to two years. (See enclosed letters) In addition, the planning staff has received verbal requests for extensions from holders of three other permits.

At the September 23<sup>rd</sup> City Council meeting, the Council directed staff to prepare an ordinance that would provide for an additional two-year extension for only those permits that were previously granted extensions under Ord 1225.

Also at the September 23<sup>rd</sup> meeting, the Council was concerned about the potential negative stormwater impacts that could occur if the City allowed projects vested to a previous stormwater manual to be constructed. Staff does not believe that significant impacts will occur such that we need to require compliance with the new manual. Both the old and new stormwater manuals limit post-developed release rates of water from detention facilities to be no more than pre-developed

release rates. The old manual limits release rates based on statistical rain event reoccurrence and existing conditions (which may include impervious areas) while the new manual limits release rates based on historical rain events and forested conditions. The end result will be higher release rates from facilities designed under the old manual, especially when the existing conditions include impervious areas. However, facilities designed under the old manual do provide significant reductions to flow rates and severe flooding due to releases from such facilities are unlikely.

**FISCAL CONSIDERATION**

None

**BOARD OR COMMITTEE RECOMMENDATION**

None

**RECOMMENDATION/MOTION**

Hold public hearing and consider land use permit extensions.



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO DEVELOPMENT PERMIT EXTENSIONS; AUTHORIZING THE PLANNING DIRECTOR TO GRANT A TEMPORARY EXTENSION OF THE EXPIRATION OF CERTAIN DEVELOPMENT RELATED APPROVALS AND PERMITS PREVIOUSLY GRANTED EXTENSIONS IN RESPONSE TO THE LOCAL, REGIONAL AND NATIONAL ECONOMIC RECESSION; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.**

---

WHEREAS, the severe downturn in the local, regional, and national housing and commercial markets, reduced demand for new housing, tightening credit market, and difficulty obtaining the financing for development projects have resulted in a situation where developers are unable to finalize development projects in a timely manner; and

WHEREAS, in order to prevent the expiration of development approvals granted during the economic downturn, extensions of the expiration dates of certain development related approvals are needed; and

WHEREAS, the expiration of a development approval can have significant financial impacts to a developer and also adversely affects the financial institutions and other investors which have provided financing in support of a development proposal; and

WHEREAS, construction related activity is a significant tax generator and provides much needed revenue to local governments to finance public safety and other needed public services; and

WHEREAS, the Gig Harbor Municipal code allows for the extension of the expiration date of development related approvals and permits, but such existing extensions have been shown to be insufficient to accommodate the length and scope of the economic recession; and

WHEREAS, the Gig Harbor City Council finds that it is in the best interest of citizens of Gig Harbor and the local economy to temporarily grant extensions of the expiration dates for certain development related approvals and permits that were previously granted extensions; and

WHEREAS, the in 2009 the City passed Ordinance 1167 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2011; and

WHEREAS, due to the length of the economic downturn the Gig Harbor City Council found that an additional two years was warranted and in 2011 the City passed Ordinance No. 1225 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2013; and

WHEREAS, six projects were granted extensions under Ordinance No. 1225 and none of those six have been able to submit construction permits due to the slow recovery of the economy; and

WHEREAS, the City Council finds that an additional two years is warranted for those project that were previous granted extension under Ordinance No. 1225 for the reasons set forth in this ordinance; and

WHEREAS, the City's SEPA Responsible Official determined that this Ordinance is categorically exempt from SEPA, pursuant to WAC 197-11-800(19); and

WHEREAS, pursuant to RCW 36.70A.106, the City forwarded a copy of this Ordinance to the Washington State Department of Commerce on October 2, 2013; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on \_\_\_\_\_; and

WHEREAS, on \_\_\_\_\_, the City Council adopted this Ordinance at second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Findings. The Gig Harbor City Council makes the following findings:

A. That the severe housing and commercial market downturn coupled with the tightening of credit markets significantly impacted the construction industry and posed a threat to the local economy and the general public health, safety and welfare due to reductions in construction-related taxes and revenues and loss of construction related jobs; and

B. That long term affect of these conditions requires actions to be taken to allow for the continued extension of certain existing development related approvals that were previously granted extension; and

C. That such extensions will benefit the local economy by helping to protect the construction industry from the significant financial losses associated

with expired development approvals and permits, including the loss of real estate entitlements, and will better enable the local construction industry to recover as the economy improves.

Section 2. Temporary Extensions.

A. Authority. Based on the above findings, the City Council hereby authorizes the Planning Director to extend the expiration date until November 30, 2015 for permits previously granted extensions under Ordinance 1225.

B. Request for Extension of Development Related Approvals and Permits. A holder of the above-identified development related permits or approvals may submit a written request to the Gig Harbor Planning Director for an extension of the holder's approval or permit no later than five business days prior to expiration of the subject development related approval or permit.

C. Final Decision. Decisions of the Planning Director made pursuant to the provisions of this Ordinance shall be final and not subject to appeal to the Hearing Examiner.

Section 3. No Codification. The provisions of this Ordinance are temporary in nature and shall not be codified.

Section 4. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance. To the extent the provisions of this Ordinance are found to be inconsistent with other provisions of the Gig Harbor Municipal Code, this Ordinance is deemed to control.

Section 5. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title

PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

CITY OF GIG HARBOR

---

Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:

---

Molly M. Towslee, City Clerk

APPROVED AS TO FORM:  
Office of the City Attorney

---

FILED WITH THE CITY CLERK:  
PASSED BY THE CITY COUNCIL:  
PUBLISHED:  
EFFECTIVE DATE:  
ORDINANCE NO:

**ORDINANCE NO. 1225**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO DEVELOPMENT PERMIT EXTENSIONS; AUTHORIZING THE PLANNING DIRECTOR TO GRANT A TEMPORARY EXTENSION OF THE EXPIRATION OF CERTAIN DEVELOPMENT RELATED APPROVALS AND PERMITS IN RESPONSE TO THE LOCAL, REGIONAL AND NATIONAL ECONOMIC RECESSION; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.**

---

WHEREAS, the severe downturn in the local, regional, and national housing and commercial markets, reduced demand for new housing, tightening credit market, and difficulty obtaining the financing for development projects have resulted in a situation where developers are unable to finalize development projects in a timely manner; and

WHEREAS, in order to prevent the expiration of development approvals during the economic downturn, extensions of the expiration dates of certain development related approvals are needed; and

WHEREAS, the expiration of a development approval can have significant financial impacts to a developer and also adversely affects the financial institutions and other investors which have provided financing in support of a development proposal; and

WHEREAS, construction related activity is a significant tax generator and provides much needed revenue to local governments to finance public safety and other needed public services; and

WHEREAS, the Gig Harbor Municipal code allows for the extension of the expiration date of development related approvals and permits, but such existing extensions will likely be insufficient to accommodate the length and scope of the economic recession; and

WHEREAS, maintaining the viability of development approvals will also help to ensure that the development industry is in a position to respond more quickly once favorable economic conditions return; and

WHEREAS, the Gig Harbor City Council finds that it is in the best interest of citizens of Gig Harbor and the local economy to temporarily grant extensions of the expiration dates for certain development related approvals and permits; and

WHEREAS, the in 2009 the City passed Ordinance 1167 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2011 and due to the continued economic downturn the Gig Harbor City Council finds that an additional two years is warranted for the reasons set forth in this ordinance; and

WHEREAS, the City's SEPA Responsible Official determined that this Ordinance is categorically exempt from SEPA, pursuant to WAC 197-11-800(19); and

WHEREAS, pursuant to RCW 36.70A.106, the City forwarded a copy of this Ordinance to the Washington State Department of Commerce on September 28, 2011; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on October 10, 2011; and

WHEREAS, on October 24, 2011, the City Council adopted this Ordinance at second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Findings. The Gig Harbor City Council makes the following findings:

A. That the severe housing and commercial market downturn coupled with the tightening of credit markets has significantly impacted the construction industry and poses a threat to the local economy and the general public health, safety and welfare due to reductions in construction-related taxes and revenues and loss of construction related jobs; and

B. That these conditions require actions to be taken to allow for the extension of certain existing development related approvals that would likely expire due to the economic downturn; and

C. That such action will benefit the local economy by helping to protect the construction industry from the significant financial losses associated with expired development approvals and permits, including the loss of real estate entitlements, and will better enable the local construction industry to recover as the economy improves.

Section 2. Temporary Extensions.

A. Authority. Based on the above findings, the City Council hereby authorizes the Planning Director to extend the expiration date of the below-identified development related approvals and permits to November 30, 2013.

1. Binding site plans approved under chapter 16.11 GHMC.
2. Conditional use permits approved under chapter 17.64 GHMC.
3. Variances approved under chapter 17.66 GHMC.
4. Performance-based height exceptions approved under chapter 17.67 GHMC.
5. Nonconforming use and structure review approved under chapter 17.68 GHMC.
6. Planned unit developments approved under chapter 17.90 GHMC.
7. Site plans approved under chapter 17.96 GHMC.
8. Design review approved under chapter 17.98 GHMC.
9. Reasonable use exceptions approved under chapter 18.08 GHMC.
10. Alternative landscape plan approved under Chapter 17.78 GHMC.

B. Request for Extension of Development Related Approvals and Permits. A holder of the above-identified development related permits or approvals may submit a written request to the Gig Harbor Planning Director for an extension of the holder's approval or permit no later than five business days prior to expiration of the subject development related approval or permit. Holders of the above-identified development related permit approvals which received an extension under Ordinance 1167 may request a second extension using the procedures contained in this ordinance. The time period during which a holder of a development related approval or permit may apply for a temporary extension shall sunset on December 31, 2011; provided, however, that any temporary extension granted pursuant to this Ordinance prior to the sunset date shall remain in effect for the duration of the extension.

C. Final Decision. Decisions of the Planning Director made pursuant to the provisions of this Ordinance shall be final and not subject to appeal to the Hearing Examiner.

Section 3. No Codification. The provisions of this Ordinance are temporary in nature and shall not be codified.

Section 4. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance. To the extent the provisions of this Ordinance are found to be inconsistent with other provisions of the Gig Harbor Municipal Code, this Ordinance is deemed to control.

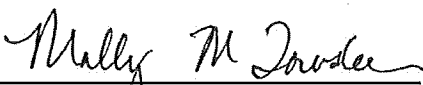
Section 5. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title

PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this 24th day of October, 2011.

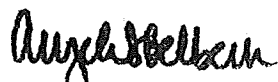
CITY OF GIG HARBOR

  
\_\_\_\_\_  
Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:

  
\_\_\_\_\_  
Molly M. Towslee, City Clerk

APPROVED AS TO FORM:  
Office of the City Attorney

  
\_\_\_\_\_  
Angela S. Belbeck

FILED WITH THE CITY CLERK: 10/05/11  
PASSED BY THE CITY COUNCIL: 10/24/11  
PUBLISHED: 11/02/11  
EFFECTIVE DATE: 11/07/11  
ORDINANCE NO: 1225



September 3, 2013

City of Gig Harbor City Council

Ms. Jill Guernsey; Mr. Mike Perrow; Mr. Paul Kadzik

Copy to: Ms. Jennifer Kester

RE: Harbor Reach Storage LLC , a storage facility proposed for 9202 Bujacich Road NW  
PL-SPR-06-0009/PL-CUP-06-0007/PL-DRB-06-0022/PL-VAR-06-0001

Dear Councilwoman and Councilmen;

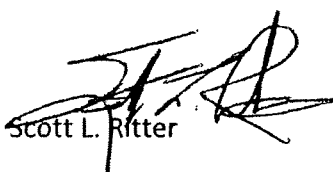
In 2006, when we began this development, much discovery and a lot of work went in to the original application, design and eventual approval. However, market conditions have just not yet gotten to the place to be able to make this project a reality. We believe this parcel continues to be a great site and we are still hopeful to make this a viable project but we have had to accommodate slow market conditions, which we are all aware of.

In December, 2011 the City Council approved a two year extension of various land use permits, including ours, because the market had taken such a toll on many projects in the works. That extension was granted until November, 2013. (Attached is a copy of that extension.)

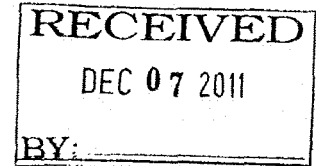
We want to thank you as we appreciate the extension we received for the above-named project.

There is still interest in the project, but while we wait for the market to recover, we respectfully request an additional two year extension for the development of the Harbor Reach Storage property, through November 30, 2015.

Thank you again for your consideration and we look forward to hearing from you.

  
Scott L. Ritter

Manager, Harbor Reach Storage, LLC



COMMUNITY DEVELOPMENT DEPARTMENT

December 5, 2011

Mr. Scott L. Ritter  
Harbor Reach Storage LLC  
2840 Crites St SW Ste 104  
Tumwater WA 98512-6117

RE: Permit Extension Request – Harbor Reach Storage - PL-SPR-06-0009/  
PL-CUP-06-0007/PL-DRB-06-0022/PL-VAR-06-0001

Mr. Ritter:

The purpose of this letter is to approve your request for a 2-year extension of the above referenced permits. The approval is appropriate given that Ordinance 1225 which was passed by the Gig Harbor City Council on October 24, 2011 specifically allows for a 2 year extension. Your permit will now expire on November 30, 2013. If you have any questions, please contact me at 253-853-7615.

Tom Dolan  
Planning Director

September 12, 2013

Ms. Jill Guernsey

City of Gig Harbor

RE: Harbor Reach Storage LLC , a storage facility proposed for 9202 Bujacich Road NW PL-SPR-06-0009/PL-CUP-06-0007/PL-DRB-06-0022/PL-VAR-06-0001

Dear Ms. Guernsey,

This letter is in response to your e mail of September 12, 2013 requesting additional information beyond the letter of September 3, 2013, as to why we need an extension for the above referenced project. In a nutshell, it has everything to do with the demise of the market over the past several years, and waiting for the market to rebound, which it is now starting to do.

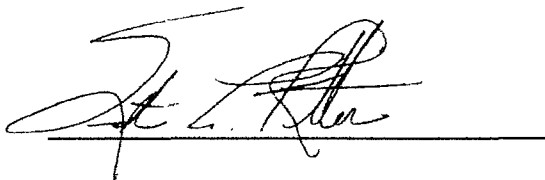
We purchased the above property in 2005 and spent nearly 3 years researching and working on the various possibilities for this storage facility. We worked with Carl Halsan, Halsan Frey Planners; Brandon Smith, PacWest Engineering; the architectural firm of BT Designs and Engineering for the building designs; Main Street Design Landscape Architect; plus many meetings with the City. We were finally able to get the project before the Hearing Examiner in 2008. Carl Halsan provided testimony and exhibits (design review, landscaping, engineering, etc) at the meeting with Cliff Johnson, Associate Planner who represented your Community Development Department. Our application was for site plan and design review, a conditional use permit and a parking variance. After all information was presented and considered, the City of Gig Harbor Hearing Examiner gave us a Decision in November of 2008 which allowed for the use requested and the ability to move forward with our project. We have devoted a tremendous amount of our time, energy and well over One Million dollars acquiring the property and working through the approval process. We have paid for the application, the engineers, the wetland studies, the drafting of the plans

and specifications; we attended the required meetings and continued to move forward after the decision was rendered. In 2009 we had a solid buyer, but the real estate market imploded on all of us and the purchaser could not obtain the funding to build; no one could find a financial institution to loan for construction of any kind. Then we made the decision to proceed to build the project ourselves, went to many lending institutions to obtain financing; still, no lender would provide construction funds.

We have worked steadily on this project and as the time drew near for the permit to expire, we discussed the situation with Carl, and also Tom Dolan. They indicated the city had decided to extend all approvals for our type of projects as so many developments were in the same predicament. So we requested and we were granted a two year extension, with the expectation that the extension would give the economy time to "turn around"; that has not happened. All we are asking for is an additional two year extension as the economy continues to rebound. We do not feel there is a downside granting an extension as the decision was already made and the project approved. But we cannot control the ebbs and flows of the economy, and especially over these past four years; it has been unprecedented. The extension allows us time needed to develop the property.

We respectfully request that the City of Gig Harbor grant us an additional two year extension to bring this project to fruition.

Sincerely,

A handwritten signature in black ink, appearing to read "S. L. Ritter", is written over a horizontal line.

Scott L Ritter

Harbor Reach Storage

Manager

# The *Rush* Companies

---

October 10, 2013

City Council  
City of Gig Harbor  
3510 Grandview Street  
Gig Harbor, WA 98335

RE: Comments supporting extension of Ordinance #1225  
Mallards Landing 2 & 7 #PL-BSP-07-0003; #PL-BSP-07-0004; #PL-DRB-07-0024;  
#PL-07-0025; #PL-SPR-07-0006; #PL-SPR-07-0007

To: Council Members - Timothy Payne, Steven Ekberg, Derek Young, Jill Guernsey, Ken  
Malich, Michael Perrow, Paul Kadzik, and Jennifer Kester – Planning Director


It has come to our attention that an extension to Ordinance #1225 has been requested and written by Jennifer Kester, Planning Director, under the direction of the City Council. The extension is for a two (2) year period and would allow developers and builders, who hold land use approvals and were granted extensions in October 2011, more time to determine what would be the best use of their land within the City of Gig Harbor.

At the time of the original approvals of the subject properties, there was great interest in companies locating to Gig Harbor and bank loans were easy to obtain. However, as you know, the economic climate changed overnight, and the recovery from the economic downturn has been very slow. There are still many office and retail buildings, and tenant improvement spaces that remain empty or only partially occupied within the City, as well as, surrounding cities and municipalities. We have not had interested tenants, for either of the locations that these permits cover, come forward anxious to have us build buildings for them even though the properties have been marketed for five (5) years.

We were very thankful that the City Council approved the extension ordinance in 2011. We now respectfully request that the City of Gig Harbor grant an additional two years so that these two projects can be completed in a manner that will add quality office space to the City.

Thank you for your consideration of our request.

Sincerely,



Matt Smith  
President  
Rush Companies

**ORDINANCE NO. 1225**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO DEVELOPMENT PERMIT EXTENSIONS; AUTHORIZING THE PLANNING DIRECTOR TO GRANT A TEMPORARY EXTENSION OF THE EXPIRATION OF CERTAIN DEVELOPMENT RELATED APPROVALS AND PERMITS IN RESPONSE TO THE LOCAL, REGIONAL AND NATIONAL ECONOMIC RECESSION; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.**

---

WHEREAS, the severe downturn in the local, regional, and national housing and commercial markets, reduced demand for new housing, tightening credit market, and difficulty obtaining the financing for development projects have resulted in a situation where developers are unable to finalize development projects in a timely manner; and

WHEREAS, in order to prevent the expiration of development approvals during the economic downturn, extensions of the expiration dates of certain development related approvals are needed; and

WHEREAS, the expiration of a development approval can have significant financial impacts to a developer and also adversely affects the financial institutions and other investors which have provided financing in support of a development proposal; and

WHEREAS, construction related activity is a significant tax generator and provides much needed revenue to local governments to finance public safety and other needed public services; and

WHEREAS, the Gig Harbor Municipal code allows for the extension of the expiration date of development related approvals and permits, but such existing extensions will likely be insufficient to accommodate the length and scope of the economic recession; and

WHEREAS, maintaining the viability of development approvals will also help to ensure that the development industry is in a position to respond more quickly once favorable economic conditions return; and

WHEREAS, the Gig Harbor City Council finds that it is in the best interest of citizens of Gig Harbor and the local economy to temporarily grant extensions of the expiration dates for certain development related approvals and permits; and

WHEREAS, the in 2009 the City passed Ordinance 1167 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2011 and due to the continued economic downturn the Gig Harbor City Council finds that an additional two years is warranted for the reasons set forth in this ordinance; and

WHEREAS, the City's SEPA Responsible Official determined that this Ordinance is categorically exempt from SEPA, pursuant to WAC 197-11-800(19); and

WHEREAS, pursuant to RCW 36.70A.106, the City forwarded a copy of this Ordinance to the Washington State Department of Commerce on September 28, 2011; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on October 10, 2011; and

WHEREAS, on October 24, 2011, the City Council adopted this Ordinance at second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Findings. The Gig Harbor City Council makes the following findings:

A. That the severe housing and commercial market downturn coupled with the tightening of credit markets has significantly impacted the construction industry and poses a threat to the local economy and the general public health, safety and welfare due to reductions in construction-related taxes and revenues and loss of construction related jobs; and

B. That these conditions require actions to be taken to allow for the extension of certain existing development related approvals that would likely expire due to the economic downturn; and

C. That such action will benefit the local economy by helping to protect the construction industry from the significant financial losses associated with expired development approvals and permits, including the loss of real estate entitlements, and will better enable the local construction industry to recover as the economy improves.

Section 2. Temporary Extensions.

A. Authority. Based on the above findings, the City Council hereby authorizes the Planning Director to extend the expiration date of the below-identified development related approvals and permits to November 30, 2013.

1. Binding site plans approved under chapter 16.11 GHMC.
2. Conditional use permits approved under chapter 17.64 GHMC.
3. Variances approved under chapter 17.66 GHMC.
4. Performance-based height exceptions approved under chapter 17.67 GHMC.
5. Nonconforming use and structure review approved under chapter 17.68 GHMC.
6. Planned unit developments approved under chapter 17.90 GHMC.
7. Site plans approved under chapter 17.96 GHMC.
8. Design review approved under chapter 17.98 GHMC.
9. Reasonable use exceptions approved under chapter 18.08 GHMC.
10. Alternative landscape plan approved under Chapter 17.78 GHMC.

B. Request for Extension of Development Related Approvals and Permits. A holder of the above-identified development related permits or approvals may submit a written request to the Gig Harbor Planning Director for an extension of the holder's approval or permit no later than five business days prior to expiration of the subject development related approval or permit. Holders of the above-identified development related permit approvals which received an extension under Ordinance 1167 may request a second extension using the procedures contained in this ordinance. The time period during which a holder of a development related approval or permit may apply for a temporary extension shall sunset on December 31, 2011; provided, however, that any temporary extension granted pursuant to this Ordinance prior to the sunset date shall remain in effect for the duration of the extension.

C. Final Decision. Decisions of the Planning Director made pursuant to the provisions of this Ordinance shall be final and not subject to appeal to the Hearing Examiner.

Section 3. No Codification. The provisions of this Ordinance are temporary in nature and shall not be codified.

Section 4. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance. To the extent the provisions of this Ordinance are found to be inconsistent with other provisions of the Gig Harbor Municipal Code, this Ordinance is deemed to control.




Section 5. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title

PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this 24th day of October, 2011.

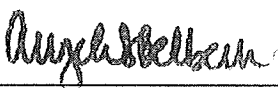
CITY OF GIG HARBOR

  
\_\_\_\_\_  
Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:

  
\_\_\_\_\_  
Molly M. Towslee, City Clerk

APPROVED AS TO FORM:  
Office of the City Attorney

  
\_\_\_\_\_  
Angela S. Belbeck

FILED WITH THE CITY CLERK: 10/05/11  
PASSED BY THE CITY COUNCIL: 10/24/11  
PUBLISHED: 11/02/11  
EFFECTIVE DATE: 11/07/11  
ORDINANCE NO: 1225



**Business of the City Council  
City of Gig Harbor, WA**

**Subject:** Public Hearing and First Reading of Ordinance – Public Works Standards Update

**Proposed Council Action:** Bring Ordinance back for consideration at the second reading.

**Dept. Origin:** Public Works

**Prepared by:** Jeff Langhelm

*FOR JL*

**For Agenda of:** October 14, 2013

**Exhibits:** Ordinance, Final Draft Public Works Standards

Initial &  
Date

**Concurred by Mayor:**

*CLH 10/9/13*

**Approved by City Administrator:**

*R 10/9/13*

**Approved as to form by City Atty:**

*by email 10/8/13*

**Approved by Finance Director:**

**Approved by Department Head:**

*JL 10/8/13*

<b>Expenditure Required</b>	\$0	<b>Amount Budgeted</b>	\$0	<b>Appropriation Required</b>	\$0
-----------------------------	-----	------------------------	-----	-------------------------------	-----

**INFORMATION/BACKGROUND**

The City of Gig Harbor originally adopted the 1993 version of the Public Works Standards under the direction of the Director of Public Works, Ben Yazici. The adoption occurred through council action in 1994 (Res. No. 403) and was eventually re-adopted by ordinance (Ord. No. 712) in January 1996. Public Works Staff has since seen the need to update sections of the 1993 Standards to implement current City policies and construction and engineering practices.

Some minor amendments to the 1993 Standards requiring immediate attention occurred as the years advanced. These amendments have resulted in Standards that are fragmented as they have not been incorporated in a single comprehensive published document. The result is a document that is cumbersome to read and implement. This fragmentation, along with continued developments in engineering, construction, and City policies, compelled the creation of the proposed 2014 Public Works Standards.

The 2014 Standards provide for current engineering principles and practices, such as traffic control devices, wastewater pumping, record drawing standards, and back flow prevention. The 2014 Standards also allow or require the incorporation of improved construction materials and techniques. This includes use of recycled materials, energy conserving equipment such as LED elements, pavement marking materials, and computer-based infrastructure mapping. Lastly, the 2014 Standards memorialize and clarify policies set by elected officials and Public Works Staff, including process to obtain water and sewer service, establishment of a visible identity of the

City (unique cross walks, street lights, etc.), relocation of existing utilities, and defining private ownership of travel ways.

The City submitted the 2014 Standards for SEPA review and received a SEPA Determination of Non-Significance on August 28, 2013. The City subsequently provided a copy of the draft Public Works Standards to the Washington State Department of Commerce for review as a development regulation amendment in accordance with RCW 36.70A.106.

The 2014 Standards were then posted to the City's website and Staff requested public comment on the document. Notice of the comment period was posted to the City's website, emailed to owners of the 1993 Standards, advertised in the Daily Journal of Commerce, advertised in the Tacoma News Tribune, and advertised in the Peninsula Gateway.

Any amendment to the City's Public Works Standards must be adopted by ordinance. Therefore the attached ordinance includes relevant amendments to the Gig Harbor Municipal Code allowing for adoption of the 2014 Standards effective January 1, 2014. This date was selected to give developers, engineers, and Staff time to prepare for the transition to new standards.

Due to the size of the document, the 2014 Standards are available for review either on line (<http://www.cityofgigharbor.net/page.php?id=1771>) or in print at the Civic Center. One hard copy of the draft is available at the Council Office next to the City Clerk and one hard copy is on file with the City Clerk.

### **FISCAL CONSIDERATION**

The proposed Public Works Standards will likely not cost the City more to implement. However, due to ongoing improvements to construction materials and engineering principles and practices, many materials and practices will cost more to construct. Those additional costs will be paid by developers, utilities, and the City as a cost of construction.

### **BOARD OR COMMITTEE RECOMMENDATION**

This topic was presented at the April meeting of the Operations and Public Projects Committee. The revisions requested by the Committee were incorporated into the attached Final Draft Public Works Standards

### **RECOMMENDATION/MOTION**

Bring Ordinance back for consideration and adoption at the second reading.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO PUBLIC WORKS STANDARDS; REPEALING THE CURRENT PUBLIC WORKS STANDARDS AND ADOPTING NEW PUBLIC WORKS STANDARDS FOR NEW DEVELOPMENT IN THE CITY; AMENDING CHAPTERS 12.06 AND 12.16 OF THE GIG HARBOR MUNICIPAL CODE; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.**

---

WHEREAS, the City adopted the current Public Works Standards (Standards) in 1994 by Resolution No. 403 and re-adopted the same document in 1996 by Ordinance No.712; and

WHEREAS, Public Works Staff has seen the need to update sections of the current Standards to implement current City policies, engineering principles and practices, and construction techniques; and

WHEREAS, the City submitted the draft 2014 Standards for SEPA review and received a SEPA Determination of Non-Significance on August 28, 2013; and

WHEREAS, the City subsequently provided a copy of the draft 2014 Standards to the Washington State Department of Commerce for review as a development regulation amendment in accordance with RCW 36.70A.106, whereby the 60 day notice period ends on October 27, 2013; and

WHEREAS, the draft 2014 Standards was posted to the City's website and public comment on the document was requested with notice of the comment period posted to the City's website, emailed to owners of the 1993 Standards, advertised in the Daily

Journal of Commerce, advertised in the Tacoma News Tribune, and advertised in the Peninsula Gateway; and

WHEREAS, the City Council held a public hearing on October 14, 2013, and considered this Ordinance during its regular City Council meetings on October 14, 2013 and October 28, 2013; NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON,  
ORDAINS AS FOLLOWS:

Section 1. Chapter 12.06 of the Gig Harbor Municipal Code is hereby amended to read as follows:

**12.06.010 Purpose.**

The purpose of this code is to:

- A. Establish a permit process for submittal, review, and issuance of a permit for construction of civil improvements not already required by Chapter 12.02 GHMC and Chapter 14.40 GHMC; and
- B. Provide for inspection and maintenance of civil construction activities to ensure an effective and functional water system, wastewater system, transportation system, and stormwater drainage system; and
- ~~C. Establish provisions for the recording of civil construction activities.~~

**12.06.020 Definitions.**

For the purposes of this chapter, the definitions listed under this section shall be construed as specified in this section:

“Civil construction activity” means manmade action to install or create civil improvements.

“Civil engineer” means a professional engineer licensed to practice in the state of Washington in civil engineering.

“Civil improvement” means a manmade object or entity that benefits humankind or mitigates the impact of humankind, including, but not limited to, motorized and

nonmotorized ways of travel, street lighting, stormwater facilities, underground utilities, and overhead utilities, both public and private.

“Development” means any manmade change to improved or unimproved real estate including, but not limited to, buildings or other structures, utilities, placement of manufactured home/mobile home, mining, dredging, clearing, filling, grading, paving, excavation, drilling operations, or the subdivision of property.

“Public Works Standards” is the document adopted in Chapter 12.16 GHMC.

**12.06.060 Variances.**

The director may grant a variance from the provisions of this code in accordance with the variance process outlined in the Public Works Standards; ~~provided, that all criteria are met as adopted in GHMC 12.16.010~~

**12.06.070 Permit requirements.**

The director shall establish requirements for the submittal of civil permits, subject to the following criteria:

A. Each applicant shall first file a written permit application on a form furnished by the city for that purpose.

B. All ~~site-development activities~~ and civil construction activity shall comply with the ~~standards, specifications~~ Public Works Standards and requirements contained in GHMC Titles 12, 13, and 14.

C. Before accepting a permit application, the permit authority shall collect a permit fee. Such fee shall be determined according to the standard fee schedule approved by the city council by resolution.

D. The director shall establish a checklist demonstrating the information that shall be provided by the applicant for review of a civil permit.

E. Time Limitation on Permit Application. An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing and expired, unless such application has been pursued in good faith or a permit has been issued; except that the director is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing with justifiable cause demonstrated.

F. Time Limitation on Approved Civil Permit. A civil permit that has been approved more than 180 days before construction begins (i.e., a preconstruction

meeting scheduled and inspection fees paid) shall be subject to an additional review prior to commencement of construction based on the hourly rate as established for third submittal.

G. Time Limitation on Approved Civil Permit under Construction. A civil permit that has been approved and construction related to the permit has begun (i.e., a preconstruction meeting has been held and inspection fees paid) shall expire 180 days after construction has begun unless such construction has been pursued in good faith; except that the director is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing with justifiable cause demonstrated.

~~H. Record Drawings. The applicant shall provide to the city both a final record drawing and a final record survey of the proposed development, each in both mylar format and digital format. These drawings shall be have the seal of a civil engineer and be provided after the city accepts the construction improvements shown on the civil plans but prior to any certificate of occupancy for any buildings or structures located on the site plan. The digital format of the drawings shall be in AutoCAD compatible file and include all improvements in the right of way and all stormwater, water, and sewer utilities. The horizontal datum shall be NAD 1983 HARN State Plane South FIPS 4602 feet, or as otherwise approved by the director. The vertical datum shall be NGVD 29, or as otherwise approved by the director.~~

Section 2. Chapter 12.16 of the Gig Harbor Municipal Code is hereby amended to read as follows:

**12.16.010 Adopted.**

Those certain guidelines and standards entitled "Public Works Standards" for the city of Gig Harbor, published in ~~1994~~ 2014 and adopted by Ordinance No. \_\_\_\_\_ ~~Resolution No. 403~~, are hereby adopted as the official public works standards for use on all development projects within the city of Gig Harbor and shall be used for all development projects located within the city of Gig Harbor's service areas, annexation areas, or planning areas to the extent that the city has the authority to require such guidelines and standards.

**~~12.16.015 Chapter 3 repealed.~~<sup>4</sup>**

~~Chapter 3, "Storm Drainage," of the Gig Harbor public works standards as adopted in GHMC 12.16.010 is hereby repealed.~~

Section 3. Severability. If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of this Ordinance.

Section 4. Effective Date. This ordinance shall take effect and be in full force on January 1, 2014 after passage and publication of an approved summary consisting of the title.

PASSED by the Council and approved by the Mayor of the City of Gig Harbor this 28th day of October, 2013.

CITY OF GIG HARBOR

\_\_\_\_\_  
CHARLES L. HUNTER, MAYOR

ATTEST/AUTHENTICATED:

By: \_\_\_\_\_  
MOLLY TOWSLEE, CITY CLERK

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY:

By: \_\_\_\_\_  
ANGELA S. BELBECK

FILED WITH THE CITY CLERK:  
PASSED BY THE CITY COUNCIL:  
PUBLISHED:  
EFFECTIVE DATE: 01/01/2014  
ORDINANCE NO.





Business of the City Council  
City of Gig Harbor, WA

**Subject: First Reading of Ordinance  
Amending Chapter 5.01 of the Gig Harbor  
Municipal Code for Business Licensing**

**Dept. Origin:** Administration  
**Prepared by:** Molly Towslee, City Clerk *MTC*  
**For Agenda of:** October 14, 2013  
**Exhibits:** Draft Ordinance  
**Concurred by Mayor:** *RM 9/25/13*  
**Approved by City Administrator:** *R 9/24/13*  
**Approved as to form by City Atty:** by email \_\_\_\_\_  
**Approved by Finance Director:** *DP 9/26/13*  
**Approved by Department Head:** \_\_\_\_\_

**Proposed Council Action:**

Adopt the Ordinance at its second reading.

Initial & Date

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
----------------------	-----	-----------------	-----	------------------------	-----

**INFORMATION / BACKGROUND**

In 2006 the city entered into an Interagency Agreement with the Department of Licensing Master Licensing Service to act as the agent for business licensing purposes. This has been a very successful partnership.

Recently, the state moved the function from the Department of Licensing Master License Service to the Department of Revenue Business Licensing Services. This is a housekeeping ordinance to update the references in Sections 5.01.080 and 090 of the Municipal Code to reflect this change.

**FISCAL CONSIDERATION**

None

**BOARD OR COMMITTEE RECOMMENDATION**

N/A

**RECOMMENDATION / MOTION**

**Move to:** Adopt the Ordinance at the second reading.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO BUSINESS LICENSE PROCEDURES AND AMENDING SECTION 5.01.080 AND 5.01.090 OF THE GIG HARBOR MUNICIPAL CODE TO PROVIDE FOR THE STATE OF WASHINGTON DEPARTMENT OF LICENSING DEPARTMENT CHANGE FROM MASTER LICENSING SERVICE TO DEPARTMENT OF REVENUE'S BUSINESS LICENSING SERVICE.**

---

WHEREAS, in 2006 the city adopted Ordinance No. 1049 in order to improve customer service by authorizing the Washington State Department of Licensing's Master Licensing Services to perform business licensing services; and

WHEREAS, Washington State has changed the business licensing division from Master Licensing Services to the Department of Revenue's Business Licensing Services; and

WHEREAS, in order reflect this change it is necessary to amend the municipal code;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. Sections 5.01.080 and 5.01.090 of the Gig Harbor Municipal Code are hereby amended to read as follows:

**5.01.080 Application procedure.**

A. Any new non-exempt business shall make application for a business license prior to commencing business in the city. Application for license shall be accomplished by filing a Master Application through the ~~state Department of Licensing's Master License Service~~ Department of Revenue Business Licensing Service, in coordination with the city license officer. Persons applying for a license must pay a fee as established by the city council by periodic resolution, and the ~~Master License~~ Business Licensing Service's handling fee.

B. The city license officer is authorized to prepare a schedule of fees for general business licenses issued, and when approved by the city council by resolution, such schedule shall govern the amount of the city license fee.

C. Application for a business license shall be made either at the City of Gig Harbor or with the State of Washington Department of Licensing Revenue Business Licensing Service, on a form to be furnished for that purpose and shall be accompanied by the proper fee. Each application submitted in person or by mail shall be signed by the person, or other authorized representative of the firm or corporation to be licensed. If an application is denied, the city business license fee shall be returned to the applicant.

D. No license shall be issued until the application has been fully completed and all applicable ordinances have been fully complied with. In addition, any business requiring a state or federal license shall obtain said licenses and provide proof of their issuance with the application prior to the issuance of a city business license.

E. City business licenses shall be granted annually and have an expiration date as determined by the State of Washington Department of Licensing Revenue Business Licensing Services in cooperation with the City, but shall have a term of at least one year. The license term or expiration date will be coordinated with the terms or expiration date of all other licenses or permits required by the State for each license.

**5.01.090 Renewal.**

A. All businesses shall renew their business license each year. Businesses must pay a renewal fee as established by the city council by periodic resolution, and the ~~Master License Service's~~ Business Licensing Services processing renewal fee.

B. If any license issued under this chapter is not renewed by the date of expiration of the existing license, then a new application must be submitted and accompanied by a fee of 50 percent of the amount of the combined licensing fees due, up to \$150 maximum.

Section 2. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 3. Effective Date. This ordinance shall take effect and be in full force five (5) days after publication of a summary, consisting of the title.

PASSED by the Gig Harbor City Council and the Mayor of the City of Gig Harbor  
this \_\_\_ day of \_\_\_\_\_, 2013.

CITY OF GIG HARBOR

\_\_\_\_\_  
CHARLES L. HUNTER, MAYOR

ATTEST/AUTHENTICATED:

By: \_\_\_\_\_  
MOLLY TOWSLEE, CITY CLERK

APPROVED AS TO FORM:

By: \_\_\_\_\_  
ANGELA BELBECK, CITY ATTORNEY

FILED WITH CITY CLERK:

DATE PASSED:

DATE OF PUBLICATION:

EFFECTIVE DATE:



**Subject: Street Names – Olympic Peaks**

**Proposed Council Action: Approve the naming of the streets within the Olympic Property Group’s Harbor Hill Plats to reflect the Peaks of the Olympic National Park & Forest.**

**Dept. Origin: Building/Fire Safety**

**Prepared by: P. Rice** *[Signature]*

**For Agenda of: October 14, 2013**

**Exhibits: Map and request letter**

Initial & Date

<b>Concurred by Mayor:</b>	<u>CLH 10/8/13</u>
<b>Approved by City Administrator:</b>	<u>R 10/8/13</u>
<b>Approved as to form by City Atty:</b>	<u>N/A</u>
<b>Approved by Finance Director:</b>	<u>N/A</u>
<b>Approved by Department Head:</b>	<u>R 10/7/2013</u>

Expenditure Required	0	Amount Budgeted	0	Appropriation Required	0
----------------------	---	-----------------	---	------------------------	---

**INFORMATION / BACKGROUND**

The residential plat of Harbor Hill Phase S-9 is located at the southern end of Harbor Hill Drive. The developer has requested to name the streets within the development; Sentinel Drive, Sentinel Loop and Sentinel Court. The development is not within the “historic name area”.

GHMC 12.12.030 (K) states that “All proposed names for new or existing ways-of-travel and private roads must be reviewed and approved by the Gig Harbor City Council”.

Staff has reviewed the applicable codes and finds the proposed names of the ways of travel within the Harbor Hill Phase S-9 Final Plat are appropriate and consistent with City requirements.

**FISCAL CONSIDERATION**

There is no fiscal impact to the City.

**BOARD OR COMMITTEE RECOMMENDATION**

No boards or committees have been consulted.

---

**Move to: Approve the naming and renaming of the streets within the Olympic Property Group's Harbor Hill Phase S-9 Final Plat to reflect the Peaks of the Olympic National Park & Forest.**





11505 Burnham Drive NW, Suite 103  
Gig Harbor, WA 98332  
P 253-851-7009  
www.harbor-hill.com  
www.orm.com

September 26, 2013

City Council  
City of Gig Harbor  
3510 Grandview Street  
Gig Harbor, WA 98335

Re: Harbor Hill S-9 Final Plat Street Names

Dear Council Members:

In preparation for submitting for the Harbor Hill Phase S-9 Final Plat, we have chosen and hope to use Olympic Peak names throughout the Harbor Hill community. There is quite a variety to choose from and we feel there is plenty of opportunity to find unique names not otherwise in use around Gig Harbor. We are submitting for consideration the following street names; Sentinel Drive, Sentinel Loop, and Sentinel Court. See the attached Exhibit showing the streets and names requested.

If you have any questions, or need any additional information, please contact me at 253-851-7009, or in my absence please contact Pete Gonzales at 253-852-1164.

Sincerely,

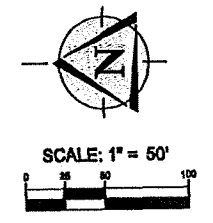
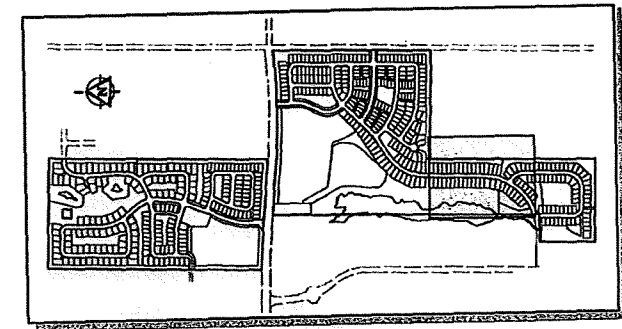
John Chadwell  
General Manager - Harbor Hill  
**OPG Properties LLC**  
*A Pope Resources Company*

Cc: Kristin Moerler  
Pete Gonzales, Pyramid Engineering

A subsidiary of Olympic Property Group, a Pope Resources company.

*Excellence in Northwest Master Planned Communities:*  
Port Gamble; Port Ludlow; Broadmoor, Seattle; West Hills, Bremerton;  
Arborwood, Kingston; Harbor Hill, Gig Harbor.





**SLOPE CATEGORIES**

[Symbol]	0-15%
[Symbol]	15-25%
[Symbol]	25-40%
[Symbol]	40% AND GREATER

**LEGEND**

[Symbol]	ZONING BOUNDARY
[Symbol]	PHASE LINE: REFER TO SHEET 1 FOR PHASE LINES AND BOUNDARIES

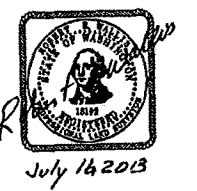
- NOTES**
- 1) SITE PERIMETER SETBACK AS REQUIRED PER CHMC 17.89.060-42. AREA IN PERIMETER SETBACK IS EXCLUDED FROM REQUIRED OPEN SPACE CALCULATION PER CHMC 17.89.110-A
  - 2) PROPOSED HOUSE FOOT PRINTS AND DRIVEWAYS ARE CONCEPTUAL ONLY AND ARE SUBJECT TO CHANGE AT BUILDING PERMIT.
  - 3) REFER TO SHEETS 12-21 FOR PRELIMINARY GRADING PLAN AND RETAINING WALL LOCATIONS
  - 4) REFER TO SHEETS 22-33 FOR PARKING LOT LOCATIONS
  - 5) LOT AND TRACT AREAS SHOWN ARE APPROXIMATE ONLY.
  - 6) BSBL DESCRIPTIONS  
 A-ALLEY LOTS (TYPICAL 40' X 80')  
 • SIDE: 5' MIN.  
 • SIDE STREET: 10' MIN.  
 • FRONT AND REAR STREET: 10' MIN. EACH  
 • DRIVEWAY: 18' MIN.  
 B-FRONT LOAD LOTS (TYPICAL 50', 60' OR 70' X 85') GARAGE FRONT.  
 • SIDE: 5' MIN.  
 • SIDE STREET: 10' MIN.  
 • FRONT AND REAR: 10' MIN EACH, 30' MIN COMBINED  
 • DRIVEWAY: 18' MIN.  
 C-BSBL ALTERNATIVES  
 • CIRCLED LOTS HAVE ALTERNATIVE BSBLs AS SHOWN - (C)

**CAUTION**  
 LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION OF UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. YOU MUST CALL 1-800-424-5555 NOT LESS THAN 2 FULL BUSINESS DAYS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY BE LOCATED. FAILURE TO DO SO COULD MEAN BEARING SUBSTANTIAL REPAIR COSTS.

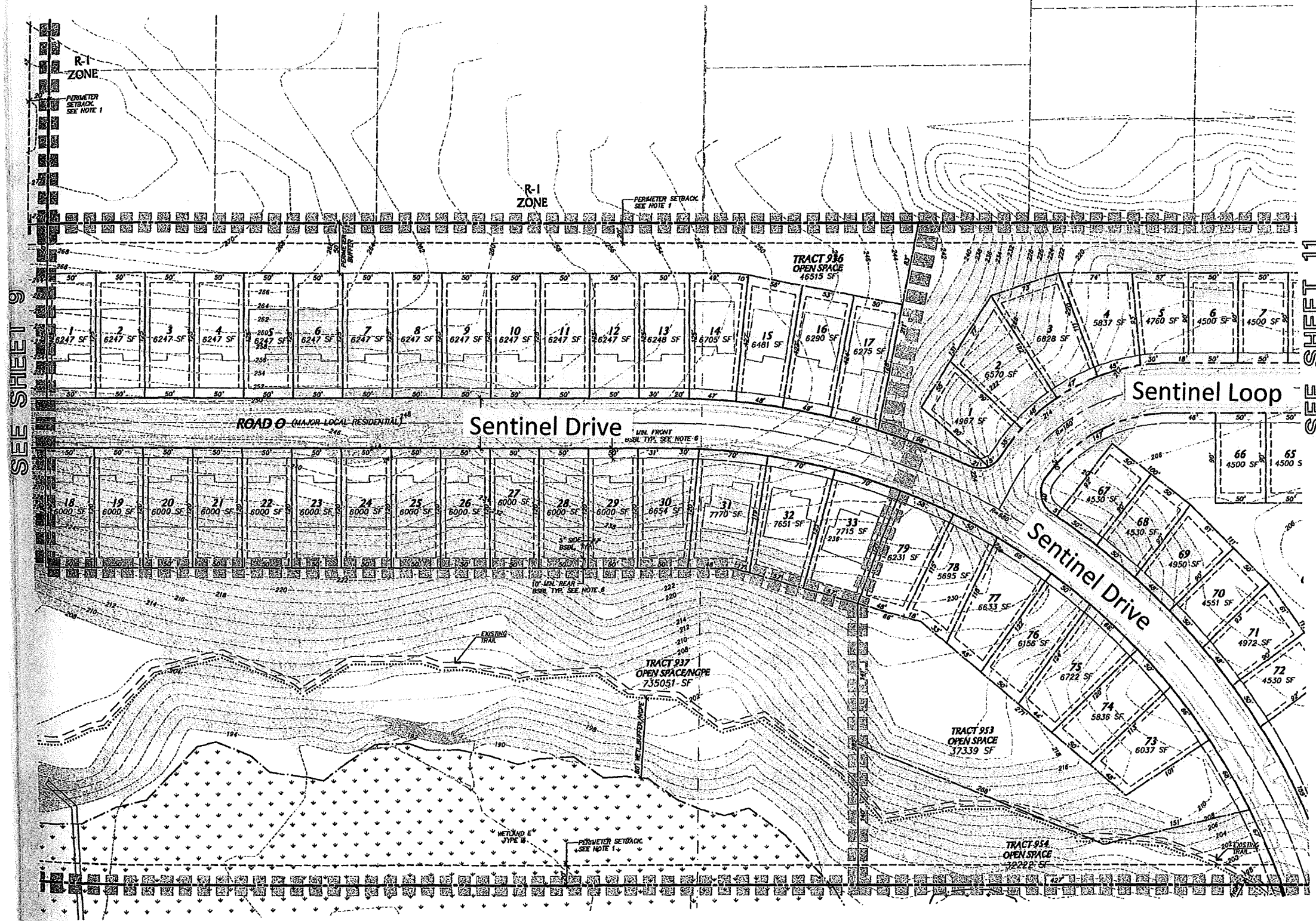
PRD, PRELIMINARY PLAT AND DESIGN MANUAL PLAN  
 OLYMPIC PROPERTY GROUP, LLC  
**HARBOR HILL**  
 PLANNED RESIDENTIAL DEVELOPMENT  
 WASHINGTON  
 GIG HARBOR

**REVISIONS**

NO.	DATE	DESCRIPTION
1	12/2/08	ISSUE FOR PERMIT
2	12/2/08	ISSUE FOR PERMIT
3	12/2/08	ISSUE FOR PERMIT
4	12/2/08	ISSUE FOR PERMIT
5	12/2/08	ISSUE FOR PERMIT
6	12/2/08	ISSUE FOR PERMIT
7	12/2/08	ISSUE FOR PERMIT
8	12/2/08	ISSUE FOR PERMIT
9	12/2/08	ISSUE FOR PERMIT
10	12/2/08	ISSUE FOR PERMIT
11	12/2/08	ISSUE FOR PERMIT
12	12/2/08	ISSUE FOR PERMIT
13	12/2/08	ISSUE FOR PERMIT
14	12/2/08	ISSUE FOR PERMIT
15	12/2/08	ISSUE FOR PERMIT
16	12/2/08	ISSUE FOR PERMIT
17	12/2/08	ISSUE FOR PERMIT
18	12/2/08	ISSUE FOR PERMIT
19	12/2/08	ISSUE FOR PERMIT
20	12/2/08	ISSUE FOR PERMIT
21	12/2/08	ISSUE FOR PERMIT
22	12/2/08	ISSUE FOR PERMIT
23	12/2/08	ISSUE FOR PERMIT
24	12/2/08	ISSUE FOR PERMIT
25	12/2/08	ISSUE FOR PERMIT
26	12/2/08	ISSUE FOR PERMIT
27	12/2/08	ISSUE FOR PERMIT
28	12/2/08	ISSUE FOR PERMIT
29	12/2/08	ISSUE FOR PERMIT
30	12/2/08	ISSUE FOR PERMIT
31	12/2/08	ISSUE FOR PERMIT
32	12/2/08	ISSUE FOR PERMIT
33	12/2/08	ISSUE FOR PERMIT
34	12/2/08	ISSUE FOR PERMIT
35	12/2/08	ISSUE FOR PERMIT
36	12/2/08	ISSUE FOR PERMIT
37	12/2/08	ISSUE FOR PERMIT
38	12/2/08	ISSUE FOR PERMIT
39	12/2/08	ISSUE FOR PERMIT
40	12/2/08	ISSUE FOR PERMIT
41	12/2/08	ISSUE FOR PERMIT
42	12/2/08	ISSUE FOR PERMIT
43	12/2/08	ISSUE FOR PERMIT
44	12/2/08	ISSUE FOR PERMIT
45	12/2/08	ISSUE FOR PERMIT
46	12/2/08	ISSUE FOR PERMIT
47	12/2/08	ISSUE FOR PERMIT
48	12/2/08	ISSUE FOR PERMIT
49	12/2/08	ISSUE FOR PERMIT
50	12/2/08	ISSUE FOR PERMIT
51	12/2/08	ISSUE FOR PERMIT
52	12/2/08	ISSUE FOR PERMIT
53	12/2/08	ISSUE FOR PERMIT
54	12/2/08	ISSUE FOR PERMIT
55	12/2/08	ISSUE FOR PERMIT
56	12/2/08	ISSUE FOR PERMIT
57	12/2/08	ISSUE FOR PERMIT
58	12/2/08	ISSUE FOR PERMIT
59	12/2/08	ISSUE FOR PERMIT
60	12/2/08	ISSUE FOR PERMIT
61	12/2/08	ISSUE FOR PERMIT
62	12/2/08	ISSUE FOR PERMIT
63	12/2/08	ISSUE FOR PERMIT
64	12/2/08	ISSUE FOR PERMIT
65	12/2/08	ISSUE FOR PERMIT
66	12/2/08	ISSUE FOR PERMIT
67	12/2/08	ISSUE FOR PERMIT
68	12/2/08	ISSUE FOR PERMIT
69	12/2/08	ISSUE FOR PERMIT
70	12/2/08	ISSUE FOR PERMIT
71	12/2/08	ISSUE FOR PERMIT
72	12/2/08	ISSUE FOR PERMIT
73	12/2/08	ISSUE FOR PERMIT
74	12/2/08	ISSUE FOR PERMIT
75	12/2/08	ISSUE FOR PERMIT
76	12/2/08	ISSUE FOR PERMIT
77	12/2/08	ISSUE FOR PERMIT
78	12/2/08	ISSUE FOR PERMIT
79	12/2/08	ISSUE FOR PERMIT
80	12/2/08	ISSUE FOR PERMIT
81	12/2/08	ISSUE FOR PERMIT
82	12/2/08	ISSUE FOR PERMIT
83	12/2/08	ISSUE FOR PERMIT
84	12/2/08	ISSUE FOR PERMIT
85	12/2/08	ISSUE FOR PERMIT
86	12/2/08	ISSUE FOR PERMIT
87	12/2/08	ISSUE FOR PERMIT
88	12/2/08	ISSUE FOR PERMIT
89	12/2/08	ISSUE FOR PERMIT
90	12/2/08	ISSUE FOR PERMIT
91	12/2/08	ISSUE FOR PERMIT
92	12/2/08	ISSUE FOR PERMIT
93	12/2/08	ISSUE FOR PERMIT
94	12/2/08	ISSUE FOR PERMIT
95	12/2/08	ISSUE FOR PERMIT
96	12/2/08	ISSUE FOR PERMIT
97	12/2/08	ISSUE FOR PERMIT
98	12/2/08	ISSUE FOR PERMIT
99	12/2/08	ISSUE FOR PERMIT
100	12/2/08	ISSUE FOR PERMIT



STAMP NOT VALID UNLESS SIGNED AND DATED  
 JOB NO. **08-058**  
 SHEET NO. **10 of 70**



SEE SHEET 9

SEE SHEET 11



W 1/2, SE 1/4 OF SEC. 30 AND E 1/2 OF SEC. 31, TWP. 22N, RGE. 2E, W.M.

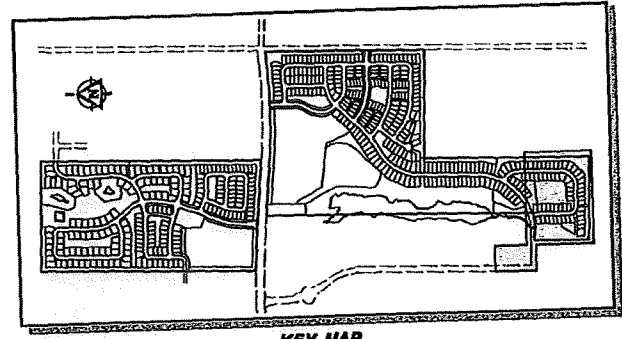
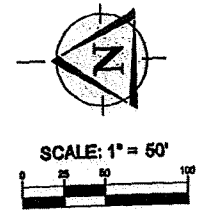
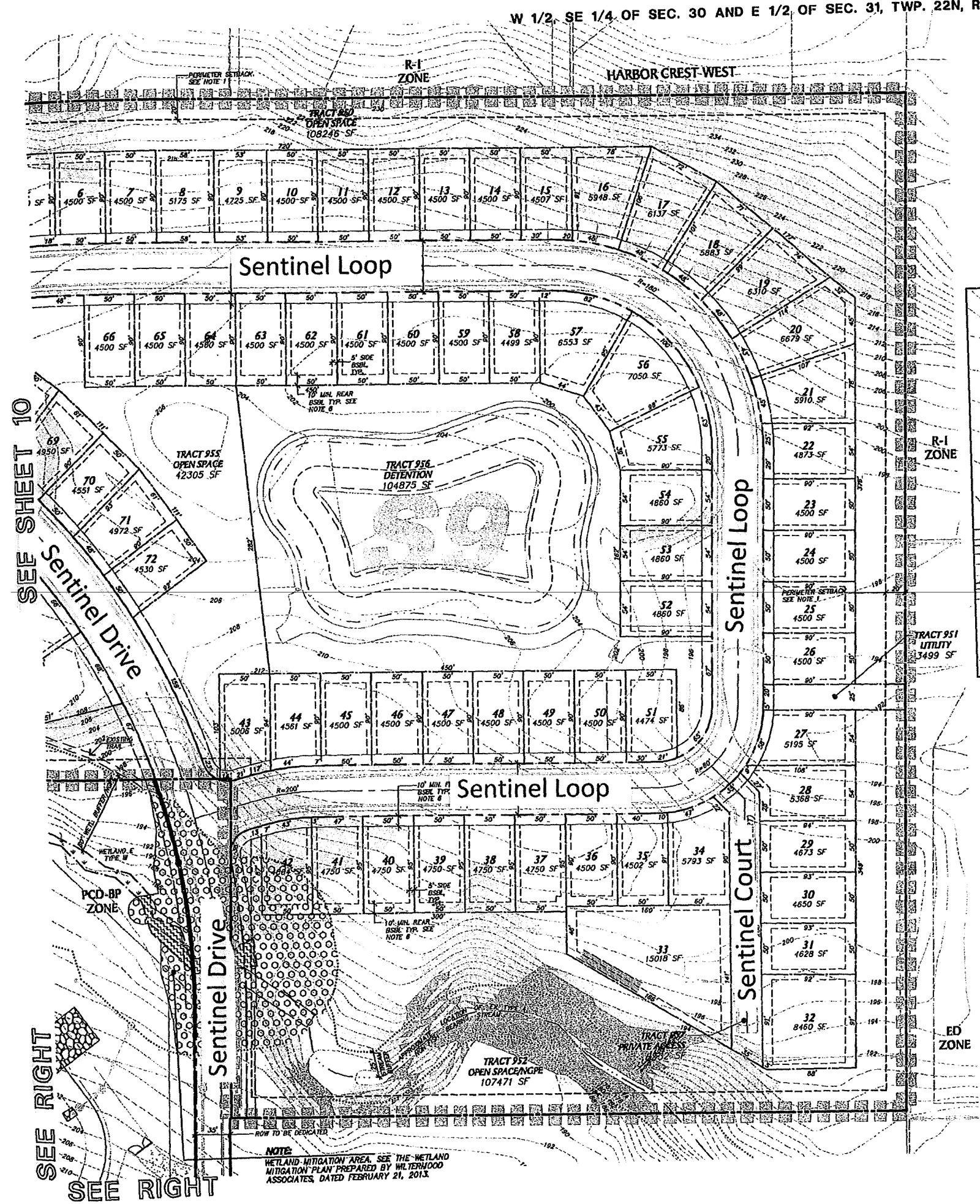
12113 110th Ave. NE  
 Shoreline, WA 98148-0222  
 425.821.8445  
 425.821.5461 Fax  
 800.458.2778 Toll Free  
 www.triadassociates.com

OLYMPIC PROPERTY GROUP, LLC  
**HARBOR HILL**  
 PLANNED RESIDENTIAL DEVELOPMENT

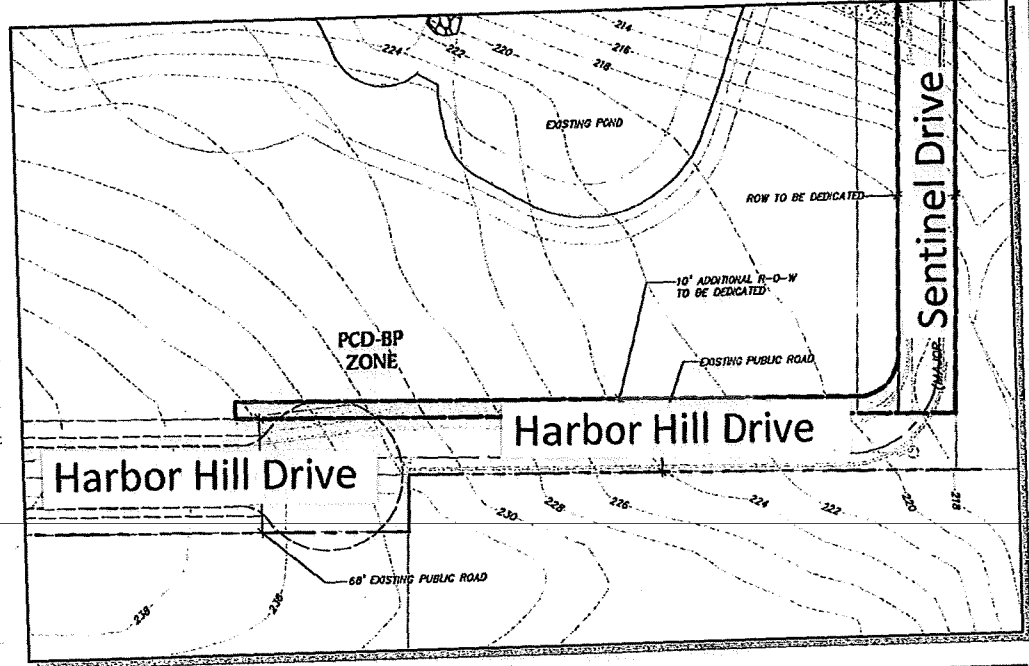
PRD, PRELIMINARY PLAT AND DESIGN MANUAL PLAN

WASHINGTON

GIG HARBOR



KEY MAP  
NOT TO SCALE



**SLOPE CATEGORIES**

[Symbol]	0-15%
[Symbol]	15-25%
[Symbol]	25-40%
[Symbol]	40% AND GREATER

**LEGEND**

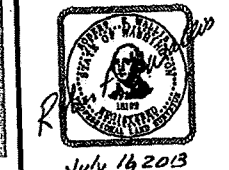
[Symbol]	ZONING BOUNDARY
[Symbol]	PHASE LINE; REFER TO SHEET 1 FOR PHASE LINES AND BOUNDARIES

- NOTES**
- 1) SITE PERMETER SETBACK AS REQUIRED PER CHMC 17.89.060-02. AREA IN PERMETER SETBACK IS EXCLUDED FROM REQUIRED OPEN SPACE CALCULATION PER CHMC 17.89.110-4.
  - 2) PROPOSED HOUSE FOOT PRINTS AND DRIVEWAYS ARE CONCEPTUAL ONLY AND ARE SUBJECT TO CHANGE AT BUILDING PERMIT.
  - 3) REFER TO SHEETS 12-21 FOR PRELIMINARY GRADING PLAN AND RETAINING WALL LOCATIONS.
  - 4) REFER TO SHEETS 22-33 FOR PARKING LOT LOCATIONS.
  - 5) LOT AND TRACT AREAS SHOWN ARE APPROXIMATE ONLY.
  - 6) BSBL DESCRIPTIONS:
    - A-ALLEY LOTS (TYPICAL 40' X 80')
      - SIDE: 5' MIN.
      - FRONT AND REAR STREET: 10' MIN. EACH
      - DRIVEWAY: 18' MIN.
    - B-FRONT LOAD LOTS (TYPICAL 50', 60' OR 70' X 85') GARAGE FRONT
      - SIDE: 5' MIN.
      - FRONT AND REAR: 10' MIN EACH, 30' MIN COMBINED
      - DRIVEWAY: 18' MIN.
    - C-BSBL ALTERNATIVES
    - D-CIRCLED LOTS HAVE ALTERNATIVE BSBL AS SHOWN - (C)

**CAUTION**  
 LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION OF UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. YOU MUST CALL 1-800-424-3355 NOT LESS THAN 2 FULL BUSINESS DAYS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY BE LOCATED. FAILURE TO DO SO COULD MEAN BEARING SUBSTANTIAL REPAIR COSTS.

**INDEX**

TRACT 955 OPEN SPACE	42305 SF	42
TRACT 956 DETENTION	104875 SF	43
TRACT 957 UTILITY	3499 SF	44
TRACT 958 OPEN SPACE	107471 SF	45
TRACT 959 PRIVATE ADDRESS	107471 SF	46



July 16 2013  
 STAMP NOT VALID UNLESS SIGNED AND DATED  
 JOB NO. **08-058**  
 SHEET NO. **11 of 70**

SEE SHEET 10

SEE RIGHT

**NOTE**  
 WETLAND MITIGATION AREA. SEE THE WETLAND MITIGATION PLAN PREPARED BY WILTERHOOD ASSOCIATES, DATED FEBRUARY 21, 2013.



Business of the City Council  
City of Gig Harbor, WA

**Subject: Street Names – Olympic Peaks**

**Proposed Council Action: Approve the naming of the streets within the Olympic Property Group’s Harbor Hill Plats to reflect the Peaks of the Olympic National Park & Forest.**

**Dept. Origin: Building/Fire Safety**

**Prepared by: P. Rice** *PR*

**For Agenda of: October 14, 2013**

**Exhibits: Map and request letter**

Initial & Date

**Concurred by Mayor:** *CLH 10/8/13*  
**Approved by City Administrator:** *R 10/8/13*  
**Approved as to form by City Atty:** *N/A*  
**Approved by Finance Director:** *N/A*  
**Approved by Department Head:** *PR 10/7/2013*

Expenditure		Amount		Appropriation	
Required	0	Budgeted	0	Required	0

**INFORMATION / BACKGROUND**

The residential plat of Harbor Hill Phase N-1 is located on the North side of Borgen Blvd. The developer has requested to rename the public street serving the development, currently North Spring Way, to Olympus Way, additional streets within the development as; Boulder Court, Pelton Court, Overlook Court and Heather Place. The development is not within the “historic name area”.

GHMC 12.12.030 (K) states that “All proposed names for new or existing ways-of-travel and private roads must be reviewed and approved by the Gig Harbor City Council”.

Staff has reviewed the applicable codes and finds the names of the proposed roadways within the Harbor Hill Phase N-1 Final Plat are appropriate and consistent with City requirements.

**FISCAL CONSIDERATION**

There is no fiscal impact to the City.

**BOARD OR COMMITTEE RECOMMENDATION**

No boards or committees have been consulted.

**Move to: Approve the naming and renaming of the streets within the Olympic Property Group's Harbor Hill Phase N-1 Final Plat to reflect the Peaks of the Olympic National Park & Forest.**



11505 Burnham Drive NW, Suite 103  
Gig Harbor, WA 98332  
P 253-851-7009  
www.harbor-hill.com  
www.orm.com

September 26, 2013

City Council  
City of Gig Harbor  
3510 Grandview Street  
Gig Harbor, WA 98335

Re: Harbor Hill N-1 Final Plat Street Names

Dear Council Members:

In preparation for submitting for the Harbor Hill Phase N-1 Final Plat, we have chosen and hope to use Olympic Peak names throughout the Harbor Hill community. There is quite a variety to choose from and we feel there is plenty of opportunity to find unique names not otherwise in use around Gig Harbor. We are submitting for consideration the following street names; Boulder Court, Pelton Court, Overlook Court, Taylor Place, and Heather Place. See the attached Exhibit showing the streets and names requested.

In addition, we request a change for the main road into the northerly portion of the project from North Spring Way to Olympus Way, so that it would reflect the Olympic Peaks theme.

If you have any questions, or need any additional information, please contact me at 253-851-7009, or in my absence please contact Al Fure or Brian Hansen at 425-821-8448.

Sincerely,

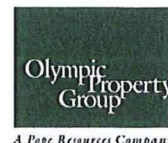
John Chadwell  
General Manager - Harbor Hill  
**OPG Properties LLC**  
*A Pope Resources Company*

Cc: Kristin Moerler  
Al Fure, Triad Associates  
Brian Hansen, Triad Associates

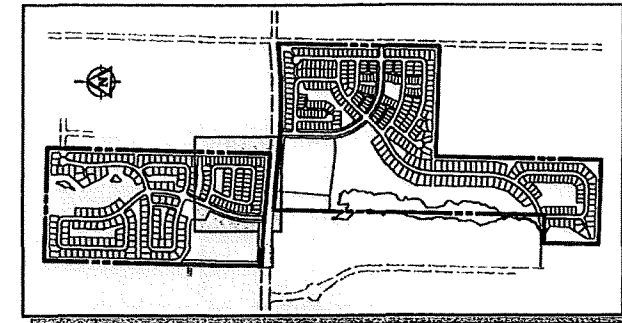
A subsidiary of Olympic Property Group, a Pope Resources company.

*Excellence in Northwest Master Planned Communities:*

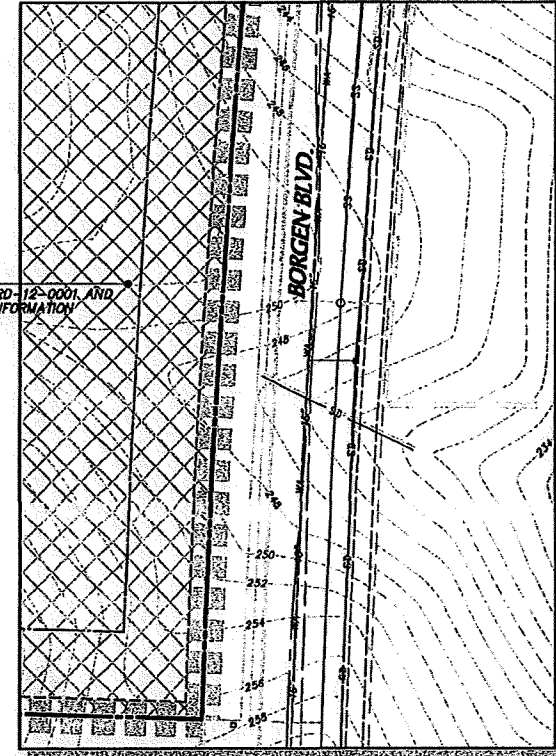
Port Gamble; Port Ludlow; Broadmoor, Seattle; West Hills, Bremerton;  
Arborwood, Kingston; Harbor Hill, Gig Harbor.







KEY MAP  
NOT TO SCALE  
SEE LEFT



NOTE:  
REFER TO PERMIT NUMBER PL-FPRD-12-0001 AND  
PL-FPLAT-12-0001 FOR MI INFORMATION.  
NUMBER OF UNITS = 172

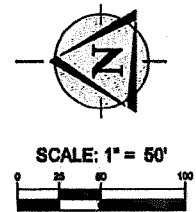
**SLOPE CATEGORIES**

[Symbol]	0-15%
[Symbol]	15-25%
[Symbol]	25-40%
[Symbol]	40% AND GREATER

**LEGEND**

[Symbol]	ZONING BOUNDARY
[Symbol]	PHASE LINE: REFER TO SHEET 1 FOR PHASE LINES AND BOUNDARIES

- NOTES**
- 1) SITE PERIMETER SETBACK AS REQUIRED PER GHMC 17.89.000-42. AREA IN PERIMETER SETBACK IS EXCLUDED FROM REQUIRED OPEN SPACE CALCULATION PER GHMC 17.89.110-A
  - 2) PROPOSED HOUSE FOOT PRINTS AND DRIVEWAYS ARE CONCEPTUAL ONLY AND ARE SUBJECT TO CHANGE AT BUILDING PERMIT.
  - 3) REFER TO SHEETS 12-21 FOR PRELIMINARY GRADING PLAN AND RETAINING WALL LOCATIONS
  - 4) REFER TO SHEETS 22-33 FOR PARKING LOT LOCATIONS
  - 5) LOT AND TRACT AREAS SHOWN ARE APPROXIMATE ONLY.
  - 6) BSBL DESCRIPTIONS (ALLEY LOTS (TYPICAL 40' X 80'))
    - SIDE: 5' MIN.
    - SIDE STREET: 10' MIN.
    - FRONT AND REAR STREET: 10' MIN. EACH
    - DRIVEWAY: 18' MIN.
  - 7) FRONT LOAD LOTS (TYPICAL 50', 60' OR 70' X 85') GARAGE FRONT
    - SIDE: 5' MIN.
    - SIDE STREET: 10' MIN.
    - FRONT AND REAR: 10' MIN EACH, 30' MIN COMBINED
    - DRIVEWAY: 18' MIN.
  - 8) BSBL ALTERNATIVES
    - CIRCLED LOTS HAVE ALTERNATIVE BSBLs AS SHOWN - (C)



**CAUTION**  
LOCATION OF EXISTING UTILITIES SHOWN IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION OF UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. YOU MUST CALL 1-800-434-5555 NOT LESS THAN 2 FULL BUSINESS DAYS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY BE LOCATED. FAILURE TO DO SO COULD MEAN BEARING SUBSTANTIAL REPAIR COSTS.

SEE SHEET 3

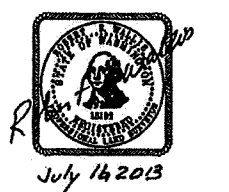
SEE SHEET 7

SEE SHEET 8A

SEE RIGHT

PRD, PRELIMINARY PLAT AND DESIGN MANUAL PLAN  
OLYMPIC PROPERTY GROUP, LLC  
**HARBOR HILL**  
PLANNED RESIDENTIAL DEVELOPMENT  
GIG HARBOR  
WASHINGTON

DATE:	12/2/09
REVISION:	
BY:	
CHECKED BY:	
APPROVED BY:	
PROJECT MANAGER:	ALAN D. FLARE, P.E.
PROJECT SURVEYOR:	ROBERT E. WALLIS, P.L.S.
PROJECT ENGINEER:	BRIAN K. HANSEN, P.E.
PROJECT LANDSCAPE ARCHITECT:	GRACE LEVIN, P.L.A.
FIRST SUBMITTAL DATE:	12/2/09
SCALE:	SCALE: 1"=30' 1/8"=1/4"



STAMP NOT VALID UNLESS SIGNED AND DATED  
JOB NO. **08-058**  
SHEET NO. **4 of 70**