

Gig Harbor City Council Meeting

**October 28, 2013
5:30 p.m.**



**AGENDA FOR
GIG HARBOR CITY COUNCIL MEETING
Monday, October 28, 2013 – 5:30 p.m.**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

CONSENT AGENDA:

1. Approval of City Council Minutes Oct 14, 2013.
2. Liquor License Action: Renewals: Maritime Mart, Marketplace Grille, Blue Cannon Pizza, Albertson's, Pioneer 76, Qdoba Mexican Grill, The Wine Studio, and Bartell Drug Co., Tobacco Harbor, and Fuller Greenhouse Restaurant.
3. Correspondence / Proclamations: Letter from Gig Harbor Sportsman's Club.
4. Receive and file: Third Quarter Financial Report.
5. Resolution No. 939 – Surplus Equipment – Public Works.
6. Second Reading of Ordinance No. 1272 – Housekeeping Update to Business License Code.
7. WWTP Phase 2 - Habitat and Stream Buffer Mitigation Plan – Grette and Associates.
8. Approval of Payroll for the month of October, 2013: Checks #7053 through #7070 including direct deposits in the amount of \$360,387.71.
9. Approval of Payment of Bills Oct 28, 2013: Checks #73759 through #73879 in the amount of \$454,490.12.

PRESENTATIONS:

1. Outstanding Wastewater Treatment Plant Award.
2. Gig Harbor Maritime Playzone Committee / PenMet PEG Grant for the Maritime Playground at Crescent Creek Park.

OLD BUSINESS:

1. Second Reading of Ordinance No. 1273 – Updates to Public Works Standards.
2. Second Reading of Ordinance No. 1274 - Land Use Permit Extensions.
3. Second Reading of Ordinance – Downtown Waterfront Building Size and Height Amendments.

NEW BUSINESS:

1. Public Hearing on 2014 Revenue Sources.
2. Resolution No. 940 - 2013 Property Tax Levy / Resolution No. 941 – Excess Property Tax.
3. Resolution No. 942 – Open Space at Skansie Brothers Park.

STAFF REPORT:

PUBLIC COMMENT:

MAYOR'S REPORT / COUNCIL COMMENTS:

ANNOUNCEMENT OF OTHER MEETINGS:

1. Planning/Building Committee: Mon. Nov. 4th at 5:15 p.m.
2. Public Hearing / Open House for Ancich Waterfront Visioning: Wed. Nov. 6th at 4:00 p.m.
3. Civic Center Closed for Veterans Day – Mon. Nov. 11th
4. City Council Meeting on Tue. Nov. 12th at 5:30 p.m.
5. Operations Committee – Thur. Nov. 21st at 3:00 p.m.

ADJOURN:

MINUTES OF GIG HARBOR CITY COUNCIL MEETING – October 14, 2013

PRESENT: Councilmembers Ekberg, Guernsey, Perrow, Malich, Payne, Kadzik, and Mayor Hunter. Councilmember Young came later in the meeting.

CALL TO ORDER: 5:32 p.m.

PLEDGE OF ALLEGIANCE:

Mayor Hunter announced that when the public hearing was opened for New Business No. 1, that each person who wished to speak would have three minutes and that donating your time to another would not be allowed. He then noted that Councilmember Young would be late due to a Pierce Transit Trolley meeting he was attending.

CONSENT AGENDA:

1. Approval of City Council Minutes: a) Regular Meeting Sep. 23, 2013; b) Special Meeting Minutes Sep. 30, 2013.
2. Liquor License Action: Domo Sushi Application.
3. Receive and File: a) TNAAC Meeting Summary July 11, 2013; b) Parks Commission Minutes Sept. 4, 2013; c) Minutes from Council Workstudy Session Sep 23, 2013.
4. Correspondence / Proclamations: Domestic Violence Awareness Month Proclamation.
5. Resolution No. 937 – Adopting an Interlocal for a Joint Self-Insured Health and Welfare Benefit Program.
6. Memorandum of Agreement with Pierce County for Commute Trip Reduction Program.
7. Approval of Payment of Bills Oct 14, 2013: Checks #73603 through #73758 in the amount of \$1,849,959.83.
8. Approval of Payment of Payroll for the month of September 14, 2013: Checks #7040 through #7052 in the amount of \$359,784.80.

Councilmember Guernsey announced that she would be abstaining on this vote due to an item concerning her employer, Pierce County.

MOTION: Move to adopt the Consent Agenda as presented.
Ekberg / Perrow – five voted yes.

OLD BUSINESS: None scheduled.

NEW BUSINESS:

1. Public Hearing and First Reading of Ordinance – Downtown Waterfront Building Size and Height Amendments. Planning Director Jennifer Kester presented this ordinance previously considered at the September 9th meeting. She explained that Council directed staff to prepare an open house and to bring back the water-side amendments for continued consideration and additional public comment. She said that

public comments were included in the packet, public comments which came in after the packet was prepared were given to Council, and that the testimony received tonight will finish out the public comments. She added that reduced copies of the information boards from the open house were also included in the record. Ms. Kester then narrated a PowerPoint presentation that described the steps leading up to the proposal including the main objectives identified in the visioning process, the history of building size and height limits in the downtown area, and illustrations of what currently exists verses what could be built under these proposals, both in commercial and residential waterfront areas. She finalized by saying that tonight we hold a public hearing; Council then considers the comments, asks clarifying questions, and provides direction to staff before this returns on the 28th.

Councilmember Malich asked about the typical width of a house and how much view would be impacted by moving the house closer to the right of way. Ms. Kester responded that it would depend upon the lot size, adding that as you go further up Harborview the lots are narrower. She said that by moving the house closer to the street it would take up more of your peripheral vision, and offered to do a rough calculation based on a 50 foot lot before the next meeting.

Councilmember Ekberg asked for clarification on the reason behind moving the height measurement from the setback up to the property line. Ms. Kester explained that this would allow more height and a front porch closer to the street, which is the desire of communities and more consistent with the historic nature of the neighborhood. She said that the Planning Commission didn't propose measuring from the right of way because that isn't allowed anywhere else. In addition, it could possibly affect future public projects.

Councilmember Malich then asked about using land fill to increase height and the time limits on fill. Ms. Kester said you could not use fill to increase the height of a building and because of the requirements for permitting and for maintaining the natural topography.

Mayor Hunter opened the public hearing at 6:08 p.m. and reminded the audience of the three-minute limit. Councilmember Young joined the meeting at this time.

Mike Baechler – 12520 59th Ave NW. Mr. Baechler mentioned the Smithsonian article naming Gig Harbor number five of the 20 best towns in America, and said that most people they have met in their travels know about Gig Harbor. He described Gig Harbor's small-town character when he moved here in 1999, and talked about the quaint downtown with a glorious water view of a harbor, fishing fleet, and private boats for residents and tourists to enjoy. He talked about the changes he's seen since then, and how he enjoyed the Uptown and North Gig Harbor communities; while asking to leave the downtown area alone. He complimented the Russell Foundation building, calling it a nice addition that provides a water feature and viewing area to sit and enjoy. Mr. Baechler said that he was proud of the Mayor and Council for taking care of the community; today he is here to say leave the waterside of Harborview Drive alone for

future visitors. He then said he would like to be as proud of this Council as he has been of its predecessors.

Brian Heath – 3321 109th St. Ct. NW. Mr. Heath thanked the Council and Planning Commission for serving the public. He continued to say that he knows it's not Councils' duty to vote the way he wants; they are elected to think, debate, research, compromise, listen and decide. He emphasized that it *is* their duty to listen to what the public wants, and that the duty goes beyond holding meetings when people are at work or on their way home; and it goes beyond holding a vote without inviting the opposing view to speak. He stressed that Council, over the past year, must have realized the controversial nature of this issue and added that it's their duty to do a better job of notifying the public of a decision of such magnitude and that changes the very nature of our community. He also said that as Council becomes aware of these things, it's their duty to invite both sides into the debate.

Jennifer Baechler – 12520 59th Ave NW. Ms. Baechler asked if she understood the process, then she cannot donate her time to Ms. Woock. Mayor Hunter responded that she could not.

Jenni Woock, Citizens for the Preservation of Gig Harbor Waterfront – 3412 Lewis Street. Ms. Woock said that the 1,507 signed petitions is a testament to Gig Harbor voters and citizens for no new zoning anywhere on Harborview Drive. She said that they expect the comments from the online petitions to be entered into the legal record. She continued to say that if two-story buildings are allowed anywhere on the water side of Harborview, the only option for property owners on the uphill side to keep their view is to go up big and tall with multi-story development agreements. She stressed that the pedestrian experience is both sides of the street; if houses are allowed to move closer to the sidewalk it eliminates harbor views for boaters, residents, and tourists walking and driving by. View corridors can contain tall trees and six-foot tall hedges, she said, adding that this view killing ordinance passed in 2012 at another public hearing folks knew nothing about. She said that it is the Council's job to represent the majority of the voters, adding that you have heard loud and clear that the voters do not want this amendment. It is time that the views of the majority outweigh the money of builders and special interest. You *will not* vote against the will of the majority of the people, she emphasized, and that at some point you will have to make one of two choices: either your legacy to your children, grandchildren, and the town of Gig Harbor is to be known as the City Council that killed the view and the feeling of downtown, or you can stand and be counted to save the waterfront and promote a unique downtown for generations to come. She finalized by saying that the citizens deserve to see a copy of the petitions.

Two people flanking the podium unfurled copies of the petitions onto the floor.

Marilyn Lepape – 10408 Kopachuck Dr NW. Ms. Lepape described the town of Gig Harbor in which she grew up when the population was only 1,000. She said that the town was somewhat isolated and unknown. She explained that that the stores consisted of a grocery, a hardware store, a pharmacy, a movie theater, doctors, and

dentists, all who were all located downtown. She emphasized that people didn't worry about the vitality of the economy, and Gig Harbor didn't seek out visitors; nor did visitors seek out the town. Fast forward to the present with two bridges and people moving here in droves because they like it; now people from all over know where it is. She said that Gig Harbor North and Uptown are developed and the residents have other options to buy necessities. In spite of this, many residents, visitors, and tourists still frequent the downtown because they like the way it is. There are those who feel the need to revitalize the downtown by amendments that allow two-story, 27 foot high buildings along the waterfront of Harborview Drive, but she doesn't believe that this will revitalize anything. She said that if you build it the tourists and visitors will not come because you will be taking away Gig Harbor's greatest assets: the view, the openness, the feeling of an authentic town that is content the way it is. Ms. Lepape said that she attended the July 8th open house, and to her best recollection, none of the business owners spoke in favor of the proposal. The only ones speaking in favor were builders, developers, and an architect. She continued to say that this amendment addresses the water side between The Green Turtle Restaurant and Rosedale Street but if it passes you have said you plan to extend the re-zoning to the Finholm District next year. She said the changes that would occur with this rezoning would have a significant impact that would alter the unique character of Gig Harbor. She finalized by saying that you have already passed rezoning for the non-water side of Harborview; please allow the water side to remain as is, an inviting place to visit, to walk, and to revitalize one's spirit.

Dave Morris – 2809 Harborview Drive. Mr. Morris thanked Council and the Planning Commission for the study on this issue, and then spoke to the proposed 27 foot height proposal from Rosedale Street down past the Green Turtle Restaurant, on the waterside. He said he wouldn't be in favor of this in any other location in the city, but here it's entirely appropriate. He added that his family and he have been here since the late 40's, so they are not newcomers. He explained that from an architectural and economic standpoint it makes perfect sense along that particular, very narrow area, which is already developed in large part, and can't really change. He explained that the park is there, the Russell Building is there, and as you go around to the Haub Property, the views won't be impacted because of the large property up behind is all trees. He said that he has looked at the elevations from where the businesses will look across. He finalized by saying again that from an architectural and economic standpoint, it adds vibrancy to the town so he is in favor of this.

Peter Stanley, Tides Tavern – 2925 Harborview Drive. Mr. Stanley stated that he has been a business and property owner in Gig Harbor for 40 years. He explained that he grew up in Connecticut so he understands old, small villages and how they are valued. He said that what we have is a gem, and the 20 foot view corridor downtown and between houses is unheard of on the East Coast; the buildings there are a foot apart and right on the street. People love to live there, and so this proposal to move the houses closer to the street is in keeping with hundreds of years of history. He continued to say that having and maintaining the 20 foot view corridor is a gift, so taking out the trees and shrubs is another issue that he would favor in order to be able to see from the street to the water. He thanked Council and all the others involved in the eighteen

month process that has gotten us here. He explained that perhaps the reason that business owners weren't at the hearing to testify is because they had already been involved in the process that has gotten this to where it is. He agreed with comments made by Dave Morris about the architectural and economic sense, and the opportunity to provide incentive for building owners to reinvest in the downtown area. He explained that currently, they have no reason to put any money into the buildings because they are small, antiquated spaces that cannot generate the sort of rental returns needed. He commented that the allegations that the Mayor and City Councilmembers are in the pocket of developers is hurtful, and said "*shame on you.*" He again said that he has been here for 40 years and has heard from a lot of developers that it's a tough place to get anything done because the Council, the Mayor, and the citizens have been so concerned about the nature and look of Gig Harbor. He finalized by saying what you see today is the result of a tremendous efforts by all to grow and to preserve, and that's what the process we are looking at here is all about.

Anne Knapp – 5810 19th St. Ct. NW. Ms. Knapp noted that they own two properties in Gig Harbor. She said that our town has long attracted visitors due to the unique setting, views along Harborview, and the eccentric charm. What is being proposed today will change this, and once these areas are built, like the Russell building, it will be there for a lifetime. We need to decide what matters more, the historic look of our town or the rights of developers and waterfront property owners to maximize their views at the expense of the rest of the community. She continued by saying that she is not opposed to development, just to placing the rights of the developers over the rights of the residents and business owners. Gig Harbor is a branded destination, and she fears we will lose that if we allow 27 foot, flat-roofed buildings along both sides of the street that will fundamentally change the look of this area, with an unattractive corridor which impinge views and reduce property values downtown. If tourists don't come, sales for businesses will be negatively impacted, but ironically, their rents will go up. She continued by saying "Welcome to Harbor No-view Drive; welcome to wall-to-wall upscale offices and the end to small retail shops." The Council voted on September 9th to increase heights to the downtown business district, and as a result we are already faced with the possibility of a line of 27 foot buildings on the lower section of Pioneer. She continued to say she doesn't feel this is an attractive inducement to tourists to come and spend money. Our town has been successful than most in attracting tourists that are important to the economy, adding that it would be short-sighted to kill the cash cow for a little hamburger. If the developers want to build taller buildings then let them go to Uptown or Gig Harbor North; that is why those areas were created. Residents of Gig Harbor have no responsibility to maximize profits for developers at the expense of property values, views of the harbor, and the quality of life. She ended by saying that if we want to help businesses downtown this is the wrong path to take.

Tom Harris – 9508 Johnson Lane. Mr. Harris read a letter from Carol Davis, 4202 57th Street CT. NW, who could not be present. The letter said: In the 20 years she has lived here there have been many surveys, ad hoc and visioning committees, paid studies regarding what to do to revitalize the downtown with the same results; keep the maritime flavor downtown and preserve the charm of the historic fishing village. If the

downtown needs to be revitalized the theme should be the Maritime City as all our publicity calls our town. If you want to encourage maritime related businesses, then reward such businesses with tax and parking requirement breaks. Adding two-story flat-roofed buildings with offices and professional services will do nothing to revitalize downtown. Tourists aren't going to flock here to look at office buildings. New construction should reflect the craftsman style of homes and businesses that lend such charm to our city. All the above mentioned studies also reflect the public's desire to preserve expansive by views of the bay; the most notable characteristics of downtown. If you allow two-story buildings with peek-a-boo views through the trees, you will not be preserving what the public has adamantly requested. Please respect the results of the committees and citizen input that the Council has gathered over the decades. Keep our unobstructed view of the harbor and the fishing village atmosphere that makes Gig Harbor a tourist destination and gathering place for the local citizens. Sincerely, Carol Davis.

Mr. Harris echoed the comments in this letter.

Del Woock – 3412 Lewis Street. Mr. Woock thanked everyone for coming to this meeting and said that our citizens are very concerned with the proposal to amend the zoning code on the waterside of Harborview Drive. He said the proposal doesn't set well with the citizens; they want the downtown along waterside to remain as it is and not to increase the building heights along this beautiful drive. He continued to say that when he was soliciting names, he seldom found anyone who didn't agree to sign the petition in opposition to the zone change. He only got a small number of the total signatures, but he heard objections and thanks that someone is opposing this change. He said that the 1,507 names is only a small portion of the voting citizens that live in Gig Harbor, but it's a far bigger group than the few that are in favor of passing this amendment. He said that Council is elected to represent the will of the people of the city; and asked that they please listen to the people who elected them to office. He restated that this vote is against the will and desire of the vast majority; please listen to their concerns about the proposed change on the waterside of Harborview area zoning. This entire proposal is only about money; developers want it passed, property owners want it, the taxes want it, but the citizens don't want it. You as City Council members must vote to leave the water side of Harborview as is, he said. Once the view is gone and replaced with a whole group of new two-story buildings, it's gone forever.

Lynn Stevenson 7406 Hill Avenue. Ms. Stevenson first said she sincerely appreciates living in a place where the City Councils have done so much to preserve public waterfront access and historic structures, which has not gone unnoticed. This is why when she heard about the proposed zoning changes that she assumed they would be shot down. Councilmember Kadzik stated that the harbor is withering, and she found this comment surprising because from her perspective, and given the withering world economy, it seems that Gig Harbor is doing relatively well. She said that slacking up on building restricting feels like a knee-jerk reaction to a dip in the economy. She continued to say that of course, loosening restrictions will incite building growth, but the abundance of vacant retail space, she fears investors will seek profit by creating

residential space. She said that City Council has failed to explain how this change in zoning will help businesses and not just turn the downtown into a bedroom community. Gig Harbor is recognized nationally and internationally due largely to the character of the town that has developed at a measured pace through the decades; embraces a variety of architectural styles; and remains on a scale that is difficult to find in this day and age. Yes, she said the views are being threatened, but she is more concerned with what is really at stake here; the Gig Harbor experience. She said that you don't need a PhD in the psychology of architecture to know that a small town of quaint shops, galleries, homes, and cafes just feels more warm and welcoming. There is something to the character and patina of even the smallest, original shop you can't replicate even with modern building materials even if the design passes some committee's objective opinion on what constitutes a maritime theme. It's that warm and welcoming feeling that visitors get when they come to Gig Harbor. The new zoning threatens this by incentivizing one architectural flat-roof style. Opening the door for a sudden burst of redevelopment will date our town and give it a manufactured flavor. If it's too late to save some of our uphill buildings, she asked Council to take great care in managing how those future buildings will be used; saying we are at a critical point where we want our downtown to thrive while simultaneously saving the original integrity of Gig Harbor. This is not an easy task; by giving permission to build taller, flat-roofed buildings along Harborview Drive, she said she fears we have just opened the door to the slow deconstruction of our little harbor's heritage. What we can preserve is this small remaining downtown zone. Please stop trying to fix what isn't broken.

Jim Eustace – 8601 Goodman Drive NW. Mr. Eustace said he doesn't understand why character and cohesiveness cannot be created in this quaint little town without going up in the air with buildings. He referred to a show on PBC about National Parks, explaining that President Roosevelt, John Muir, and some of the Rockefellers had the foresight to look forward with the understanding of what people want, need, and deserve in their lives. It wasn't big development; it was a National Parks Service that they brought forth. He asked Council to have that foresight, to look and see what has been said. He said he has been in this area for nearly 20 years and asked that we listen to what the citizens say and go back to the drawing board and come back with an idea that's what the people want.

Kit Kuhn – 3104 Shyleen Street. Mr. Kuhn said that he is a citizen who lives two blocks down and a retailer here of over 26 years. He explained that he has spent most of his years fighting growth downtown, and acknowledged that this is a tough issue. He explained that he is here now to encourage what you are doing, thanking Council for what they've done. He again said that he represents both sides of the issue as a citizen and one of the oldest businesses. He said that except for the setback moving closer to the street, because then the building is right in your face and looks that much larger, he agrees and encourages what has been brought forward. He said that a lot of people come down to watch the festivals and listen to the music and everyone thinks it's a vibrant downtown because they see all the people. He continued to explain that 24 years ago, when he was located above Spiros, which used to be W.B. Scotts, the town was much busier. It wasn't the same world then, he explained. We didn't have the

internet, Uptown, or box stores, stressing that if you think little businesses can make it with those things in the world; it's not possible. He said that his is a specialty store and so he can make it, but he has seen ten places within a block that have been for rent for over two years. Even before the economy changed downtown wasn't vibrant, and he has watched the downtown retail core continue to die for about twelve years. He continued to say that it's great to have tourists come, but most people that live in this community do not support the downtown shops. He shared that he was scared of growth downtown; scared of the two-story buildings, but he would give up a little charm, a little quaintness, to not have boarded up, decrepit buildings where businesses can't make it. About one-third of the retailers are going to be retired or gone in about 5-7 years, and people are not coming in to take over those spots, he explained. If you allow two-story buildings you will create more shops downtown, people can have condos or apartments and live downtown, and you will probably get a grocery store back because there's enough people to warrant one coming. You will have some more offices, but will double the amount of people that spend time downtown. During the day, he explained, there are very few people walking around downtown, and small business cannot make it. He said that he signed the petition against this proposal, but wished he had not done that. He commented that there are checks and balances in place, and the city has done a good job. He then said that a study nine years ago revealed there isn't two hours of shopping downtown; the person who performed the study said that if there isn't two hours of shopping in an area, people will not come. Mr. Kuhn finalized by saying he wants a vibrant downtown.

Charlotte Gerlof – 7712 73rd St. Ct NW. Ms. Gerlof, a resident for over 20 years, said she loves this town; she walks downtown 4-6 times a week, and sees lots of people walking. She said that the reason they walk here and come downtown is solely for the scenery and the quaint shops, including Kit's; she's been there often, she added. Raising the elevations and rooftops isn't going to bring more business, she stressed. If we've got vacancy in retail now and we create more buildings, we create more vacancy. She said that there has to be a draw; the biggest draw now is the gem of the scenery that we have. She shared that just this morning she was walking downtown and was looking at what she enjoys every day. It broke her heart, she said, to think that could be gone. Extinct is forever; you cannot bring it back, she added. We are so unique where we live. To think you can just put this aside and hope for the best is foolish because it's not going to work this way, she explained. This City Council has a really big challenge, she said, and she respects their position as being extremely difficult. You are trying to balance something that is irreplaceable with the immediate needs: financial, retail space, living space; and people's personal needs, she said. But there is a compromise to this and challenged Council to be in the present moment and to be mindful of what they've got before they throw it away. It would be tragic, she added. We don't live on the East Coast where there are distances, these corridors, which has become the euphuism for diminished space, diminished view, or no view at all. We live here in Gig Harbor where we have space to look out onto the harbor. We get to see the sea, we get to see the birds, and we get to see the people on the waterway enjoying themselves. Many of these people I know personally, she added, and I don't want that to go away. I really hope you will take a look at this from all angles, she urged. Yes, we do have an

obligation to this community for developing and you have done a good job with it. There are no decrepit buildings in this town as was referenced. Yes, they could use some help, and there has been some really nice work done on many of them. Continue that; do that, she said. I think each and every one of you has a good view, but make sure that it's for all of us that want it. The majority of the people here have spoken for what they want. I just expect you to do the right thing, she emphasized. You are elected officials; you work for me. I hope you listen to what I say.

Diane Martin - 4309 144th St. Ct. NW. Ms. Martin said she moved to Gig Harbor almost a year ago, but has been coming here for almost 20 years to visit her daughter who lives here, but couldn't attend because she is on her way home from work. Ms. Martin said that the only thing she wants to add to the comments in her e-mail, is that today is Indigenous People's Day, and in honor of that, she said that they thought about what their decisions would affect for seven generations. She added that she is not in favor of this amendment and would encourage Council to not pass it, but asked that they think about how their decision will affect seven generations from now; not just how it would affect us today.

Greg Hoeksema – 9105 Peacock Hill Ave. Mr. Hoeksema said that his major concern that there hasn't been any data presented to support why the city thinks this plan is going to work. He said it feels like the city is going to try and solve the world-wide recession by implementing changes to the Gig Harbor building codes. He asked what model and specific data from another city was used to verify that the plan changes will actually result in a stimulation or revitalization of the downtown business district. Isn't it just as likely that through the natural course of economic recovery that the downtown will also recover? More importantly, he asked why these changes should extend to the residential areas on the waterside of Harborview Drive. The city planners have argued that protections will still be afforded by the Design Review Board and current building code. Furthermore, they have argued and shown photos of how view corridors will be maintained, however, we cannot be reassured by those arguments because there is the opportunity to apply for variances from those restrictions. Too often variances have been granted that benefited a specific homeowner or business but resulted in a permanent disregard for everyone else's enjoyment of the harbor. And too often, one variance has resulted in a domino effect of subsequent variances also being approved, he said. In their presentations, he said that planners have argued that preservation of the pedestrian experience through preservation of the view corridors is important, and has been a foundational principal of this project from the start, and they have used static photographs to reinforce their argument. He said he would argue very stridently that the pedestrian experience is not about walking along and then flashing ninety degrees and capturing a ten-foot separation between two buildings, and then walking along again. The pedestrian experience is about walking along the sidewalk on the water side of the street, not the other side of the street where the photographs were taken. Mr. Malich asked a salient point about what the impact going to be, he said, then he passed out photographs that he said will show that it's going to be significant. He continued by explaining that there are very few destination businesses downtown; therefore, they are dependent upon foot traffic for their viability and sustainability. The sad irony is that any

changes that detract from the current ambiance, beauty, and water views of the harbor will directly result in a decrease in the very foot-traffic that is the lifeline for the businesses, both current and future. People come downtown for a very specific type of shopping experience. The destination is the harbor with its views and ambiance of a turn of the century fishing village. Let's not spoil that with a well-intentioned but short-sighted business plan that will become irrevocable once done, he stressed. You cannot unscramble an egg. Therefore, he pleaded, before you consider any changes, have profound regard for all residents of Gig Harbor and future generations as well as the tens of thousands of visitors who support downtown businesses.

Eric Peavy – 7315 Forest Glen Court. Mr. Peavy said they moved here in 1988. He explained that he was a teacher in a small town in Southern California, and served on the Parks and Receptions Board for several years. He said that he completely understands Council's position and the difficulty to maintain your rules and regulations, and the respect of the public. Several years ago, he said, the city paid a couple hundred thousand dollars to have somebody come and say how we can make town better and encourage tourism. The biggest words that came out of the study were quaint, characteristics, charming, historical, and picturesque. The city then paid another couple hundred thousand dollars to have another report done and again the main words were the same; quaint, characteristics, charming, historical, and picturesque. A square box, 27 foot building is not picturesque, nor is it charming. You want to maintain the characteristic of this town that has been defined by your own people, and yet you have now decided that we want to fill our town with great big "ala bahas" architecture that was never beautiful, picturesque, or charming.

David Boe – 705 Pacific Avenue. Mr. Boe explained that he is in his 25th year of designing buildings in Gig Harbor, adding that the task you gave the Planning Commission was very difficult. He emphasized that you have land use professionals who were trying to look at ways of complying with the vision for the City of Gig Harbor; the Comprehensive Plan. Law requires you to write zoning regulations that support the vision of the city, he said. Tonight, you are hearing many other visions of the city that may be in conflict with your Comprehensive Plan, but he doesn't believe that these amendments as proposed are in conflict, adding that maybe, as you go through your comp plan update, you may change that vision and downtown no longer will be a commercial area. You may decide that it should be residential and you will down-zone and basically remove property rights. When he looks at Gig Harbor's Comprehensive Plan, which is one of the best he deals with on a professional basis, he added, there are lots of elements which are the city's words, and for the Planning Commission, the guiding principles. He cited: under land use element: "Waterfront – provide for a variety of mixed uses along the waterfront which are allowed under the City of Gig Harbor Shoreline Master Program and is more particularly defined under the zoning code. Generally, the lower intensity waterfront areas which favor residential and marinas, while the more intense use waterfront areas would provide for higher density residential, commercial, and retail uses," which is what your waterfront commercial zone is, he said. He continued to explain that there is a section about building and structure design encouraging building designs that define and respect the human scale. We could argue

size verses scale, but it's there. And you are encouraging mixed uses structures specifically in your downtown commercial zone that are two stories. You have waterfront provisions to preserve visual points of interest that encourages design that frame points of interest and you have a whole section on historic development and design. This one is really important he stressed: "encourage retention and adaptive reuse of older buildings with the following types of incentives such as zoning incentives, financial incentives, and design assistance." He emphasized that this is what the Planning Commission struggled with, and came forward with "not huge steps." He said he wished that ten percent of the fear of development was going to happen downtown, saying he thinks we would be incredibly pleased with the results. He said he is in favor of the proposal and that this is a way to actually get the zoning code to reflect the city vision of the Comprehensive Plan, and required under state law. He thanked Council and said he thinks we've heard the difference between those that enjoy the waterfront, and those who are downtown running businesses, and the issue they face day to day.

Margot LeRoy – 7021 81st Ave Ct. NW. Ms. LeRoy said she spent a lot of time debating what she would say about all the arguments made for not adopting these zoning changes. Most of them are valid and she thinks they reflect the love the community has for the harbor. She said the real question is "you guys." You can build shopping malls very well, she said, and you can expand Gig Harbor North, not so well. You can use phrases like mixed use both in this plan and in Gig Harbor North, but I don't think you've proven to this community with any degree of confidence in terms of urban planning. Gig Harbor North is a mess; the traffic backs up the hill and the roundabouts have been taken out two or three times because they don't handle capacity. This community wants you to understand that we can forgive a lot of mistakes, but not downtown. Downtown is the heart and soul of everybody who lives here. She said "I moved here in 1987 and just like everybody else, it was because I drove downtown. It's because I love downtown." She continued to stress that you've got to preserve that heritage and respect the voters; the people who love this community will put up with more roundabouts and traffic messes at Uptown; they'll put up with a lot, but if you take their downtown away from them, she said, I don't think they're going to put up with that. She said it's a terrible mistake for you to take away what motivated 90% of the people in this room to move here.

Marian Berejikian – 8205 90th St. Ct. NW, Gig Harbor. Ms. Berejikian thanked Council for allowing testimony again on this important issue. She also referred to the Comp Plan Goal 3.6 that mentions "Articulate an architectural style which reflects Gig Harbor's built and natural environment and which appeals to the human spirit." The next section 3.6.1 says "maintain a small-town scale for structures." The word "maintain" is critical in her opinion, she said, when it comes to what we are actually talking about. It says "new structures should not overpower existing structures or visually dominate Gig Harbor's small-town city-scape, except as approved landmark structures." She asked why we are building to the 3,000 square foot, the two-story, and the 27 foot height limits. She asked staff "Where are the one-story buildings?" She added that she would like to see how many of those we have, asked whether there has been an inventory, and said if there has been an inventory, can she have that data? Also in the Comp Plan it says "as the

city recognized opportunities to build upon existing characteristics, it also recognizes that recent development trends have detracted from Gig Harbor's small town quality." She asked "Why continue the trend?"

Cindy Grey – 8221 Bayridge Avenue. Ms. Grey said that all her points have been covered and so she wanted to defer to the next person.

Mayor Hunter told Ms. Grey that time could not be donated in case she still wanted to speak. She did not.

Jack Sutton – 13309 Pt. Richmond Bead Rd NW. Mr. Sutton said he is very much in favor of the height issue. He asked that we keep our eye on the prize; saying that over the past many years you have done a marvelous job of building and creating parks and public spaces for this community; with that comes responsibility of trying to support the economic development of this area. He said that you simply can't just have ten-foot walking trails, which are wonderful and said he hopes we bring down the Cushman Trail into the museum area. All these things have been very positive, but we still need to make sure we have businesses that people want to come to. He said he's lived here as long as anybody, and it's sometimes he doesn't come down and shop in the harbor, adding that we need people to do that. We need to create an economic area where people are coming and enjoying. It's a quality of life; it's what we have, it's why we're here, but we need businesses down here as well. He said he hopes Council supports the proposal.

Bob Himes – 6507 115th St. Ct. NW. Mr. Himes said that he can't add a lot in terms of what you would call the value, or the emotional, historical, cultural, and recreational importance of the downtown area; adding that those have all been mentioned. He said that he can add that he's very surprised that a decision of this magnitude, particularly with one side being dollars and cents, isn't in some way balanced with what you have heard here tonight. He said what you've heard tonight is the cost side of the equation, but what he hasn't heard a whole lot about is the benefit side; in other words, what does this cost us to provide this benefit and who are we providing this benefit to? He asked the City Council to take that factor into account. The second thing he said concerns him is you talk about the downtown as if it's an isolated part of the community. He said he sails his boat out of the marina, and goes to the Tides and like many people he goes downtown, when he wants to have fun. It all builds into his experience in the community. He said "it's great, I've got it all!" He continued to say that he can shop at other places if he wants to, he can come downtown and have fun, go to concerts, sail, walk down the street, and do a lot of things. He asked the Council that when you look at the benefit verses the cost analysis that you look at the whole community. In other words, what's the effect of what we are doing on Gig Harbor, including everything out there. He continued by saying he lives on the other side of Highway 16, but he comes down here to enjoy concerts and walk up and down the waterfront and sail and have a great time. So he asked that the Council try and put forth to the community what are benefits verses the cost and at an overall community level, what does it look like from a benefits and cost standpoint.

David Fisher – 7766 Beardsley Avenue. Mr. Fisher said he has an architectural business here and is a resident of Gig Harbor. He explained that he has been around Gig Harbor since the early 1980's and has seen Gig Harbor grow. He said he has spent thousands of hours with the different associations such as the Downtown Waterfront Alliance, the Visioning Committee formed by the City Council, and the Design Review Board. He explained that he knows the city codes and has designed to them. He said he has looked at the many studies that have been done over the years, emphasizing that we need some help in Downtown Gig Harbor. He continued by saying that to him this ordinance changes very little. Right now there is a 6,000 square foot maximum building size allowed; with two-stories you would have 3,000 square feet above and below, with a 6,000 square foot maximum. Therefore you get more view corridor and so he doesn't know what these people are really talking about. If they would really get into the details they will understand that their harbor is protected, he said. We have a very strong Design Review Board full of architects and members that have a vested interest in keeping Gig Harbor historic and a wonderful place to be. The waterfront district needs more options, he said; more mixed use, more business, and just plain activity with more people on a regular basis. More activity and people are good for the existing businesses, he added. This ordinance is in line with the Visioning Statement adopted by the City Council. Downtown is a special place; a special place that needs help that the ordinance would provide. We need a healthy downtown, he said, and this small step would give it a shot in the arm.

Jeff Acker – 3320 Lewis Street. Mr. Acker said he is against the 27 foot high flat-roof buildings. He said that if we let them do that, that they can increase the amount of footage interior to the building and that will increase other difficulties with parking, traffic, and so on, and it will also distract from the look of the city. He said he and his wife moved here just over a year ago because they liked what they saw, and were happy with what's here. He added that it is unfortunate, for some of the buildings have businesses that can't get more business, but some of that is due to the economy or the type of business. He said there are a lot of shops at Uptown and north of here that duplicate products, and so they just have to come up with better boutiques or art stores, or whatever is going to bring the people in. But building two-story flat-roof buildings is going to totally distract from the look of the city, he said. If you are building a fishing village he doesn't think you'd want it to look like that.

Mike Pinch – 3813 Mountain View Place. Mr. Pinch said he moved to Gig Harbor in 1989. More importantly, he said he is one of the guys that start watering the flower baskets in Gig Harbor at 5:00 in the morning. Mr. Pinch continued to say that he once went to a meeting just like this in University Place dealing with a piece of property down the hill off Bridgeport on 27th. He said there's an empty shopping center on the right. Some time ago someone came in wanting to put up condominiums, with a medical outfit and grocery store; it looked like a pretty good plan. But the spirit of the evening was the people didn't want that and said "we've got ours and don't want anything to change from our basically, single-family home neighborhood." They shot the project down, and the guy that owned the property went broke. So now it sits; empty all these years, just a

dump. Mr. Pinch continued by saying that it's real easy to suggest that Council may be in the pockets of developers and architects, but that is just foolish talk. He stressed that it's not wise for anyone to dictate to you how you should vote. You are the leaders and you should make the decisions of what's best for this community. This community, this fishing village was built at a time when people did the best with what they had, and I think we should be doing the same today, he said. We do the best with what we have, including our leadership. He said he thinks downtown does need some help. It was interesting to listen to the merchants said, he added, because when he is out there from 5:00 to 7:30 in the morning, watering baskets and looking for the town to wake up, it wakes up, but it's pretty slow. He continued to say that going in to Kelly's Café it might be his wife and him until 8:30. That's not real vibrant, he added, and with rents and taxes going up, you need synergy in a city to make it thrive. He talked about a recent trip up to Victoria. He said that 30% of the employees work in the tourism industry. They have a vibrant tourism industry, and he thinks they have good leadership. They have old buildings and some flat buildings too, but it's very charming, he said. He was in Walla Walla last weekend, and saw the same thing; flat-top buildings. He said that he doesn't know what that means architecturally, but said those were nice places. He said do the right thing, adding that he hopes we can do something to help the vibrancy of downtown Gig Harbor.

Drea Solan – 3416 135th St. Ct. NW. Mr. Solan commended everyone who spoke so well and pretty much covered his notes. He said he is going to dance around and try and get some new material. He read the following: "I visited Gig Harbor for the first time way back in 1997 with his then, fiancé, and we were immediately taken by the beauty and charm of this stunningly," idealic" community. What we witnessed in this town in our three-day visit, particularly the waterfront community, if not entirely the waterfront community, was a huge reason for our decision to come back in 2006. To pack up everything and leave everything in California including dozens and dozens of relatives to relocate my family here, my three kids, and start our new life here. What is of note and goes to the core of the unique value and blessing of this city is that that my nine-year hiatus from this area did not impact what we saw when we returned. Our homecoming revealed a waterfront community that, for all intents and purposes appeared the same as when we had left it nine years prior. That's a good thing...a very good thing and a very unique thing." Mr. Solan continued to say that he agrees with the man before with the phrase, "do the best with what we have." And why not, we have everything here, we have the best of both worlds, we have it all, he said. We have Uptown and we have the waterfront. There's a lot of talk here about the views and how it's not going to impact, and how to measure, but the point is, it's taking away. None of you can prove what's going to happen business-wise. Nobody can draw a direct line between increasing those heights and dollars coming in; it's a shot in the dark. He said he doesn't know and doesn't want to measure it either. He said he knows definitively something's going away and you're not getting it back. It's a natural resource; it's the gem that everybody talks about. We all know it and we all love it and none of us should deny it. He said he doesn't know how any of us could sleep easy knowing we are encroaching on that. He said he "gets it" that there is a balance to be made; but again, there's different ways; quality over quantity. There's too much quantity going on here;

anybody can build a mini-Universal City walk; he's not impressed with that notion, but he is impressed with the city and that's why he is here and that is indeed, the waterfront. So he doesn't want to sound old-fashioned and say no development nowhere, so I've started asking some younger people; his kids, and they weighed in across the board: no, no. He's talked to people out on the street and everybody he's talked to fall into two camps: ones that know about this and the ones that don't know about this at all. It's not anybody's fault for that but you need to make aware of how many people are unaware. Hands down, across the board, every one of them is against it, but he said he has to amend that, he did talk to somebody this morning on a walk that was for it; he did disclose that he is a developer and Mr. Solan added that he is also a dear friend of his. He finalized by saying we do have it both ways, we've got it all, let's keep it all and we can't get it back if it's gone. By trying to save Gig Harbor and I know you are all trying to do that, I think we're going to kill something or if not, severely wound it.

Bill Hunter – 4404 Towhee Drive. Mr. Hunter said he lives on the north end and thanked Council for inviting them. He said that he was unable to attend the open house and might have missed some things, but will proceed on the basis that he can pick those up later. He said that he has e-mailed Councilmember Payne, who has been very helpful in educating him on the underlying issues that this isn't just a simple thing. He continued to say he is among the 1500 that signed the petitions, and isn't in favor of what you want to do. Most of what he wanted to say has been said, he added, particularly by Mr. Hoeksema. He said he comes from a business background and would have like to have seen some data associated with this decision to move ahead towards vibrancy. Vibrancy doesn't mean a lot to a data person or business person, he said, then asked what is driving this decision and whether there are cold facts that you can present. He asked about protocol for a response.

Councilmember Payne responded that typically in a public hearing, Council listens to the speakers, then respond at a later time. He then said that part of the data was heard from Kit Kuhn; that's a big part and for those who have lived here, and run businesses here, you hearing from them that they are hurting and have been hurting. He said he could go into much more data with Mr. Hunter one-on-one.

Mr. Hunter agreed to do that at some point and then said he and his wife have only been here three years, but heard of Gig Harbor while working in a fish cannery in Alaska, in 1966. He said he ran into some fishermen from Gig Harbor who were interesting guys with a lot of funny stories and who were very proud of their town. He said he doesn't know how many are still alive, but he said he's not sure they would be thrilled with what's going on with these new zoning ideas. He continued to say that he next came to Gig Harbor in 1997 on his way north to visit his wife's parents. He had not seen Gig Harbor at that point and suggested they drive through. It was the night before Christmas around 6:00 p.m. when they drove down Harborview and the town was lit up, the harbor was full of boats with Christmas lights, and he never forgot it. Fifteen years after that, they finally got here. We like it the way it is, he exclaimed, so don't change it, please.

Patrick Quigg – 3617 Harborview Drive. Mr. Quigg, property owner at 3617 Harborview Drive, explained that his wife, Kathy Ancich and he bought the property on August 1, 2012. When they bought the property, no one told them building in Gig Harbor was easy, and they knew it would be difficult, but they knew it would be possible. He said the property had a dilapidated rental house, a dilapidated net shed, and a dilapidated cabin cruiser sitting next to the bulkhead. The property was in a terrible state, he said. The grounds and everything about the property was not good, but they had a vision, primarily, because of his wife's long history in Gig Harbor. She saw something that he didn't see, and so that's why he is here tonight. He said that he supports the zoning changes because their lot is what is considered "a house in a hole," and what they would have. The consultants told them that the city wanted to move the houses closer to the sidewalk, to make the historic Millville District look like it used to be with some of the older houses. He added that the house next to theirs is very close to the sidewalk and so they thought it was a good idea. This is why they have continued on with the process and would like to see the city pass this ordinance; they are ready to go and start improving the netshed, the residence, and the cabin cruiser is for sale!

Larry Johnson – 10302 36th St. NW - Arletta. Mr. Johnson said he moved here in 1958 with his family. He said the focus for him tonight is the building height does not have any connection with vitality, adding that he had done the research. He said he loves to go into Kit Kuhn's place, but right now, economically it's a little tough, and he's bought a lot of jewelry for his wife already and so now it's just not a place for them to go. It won't matter if the building is 27 feet or whatever it ends up; it's not going to change that. He said that his point is that building height is not connected to vitality as he has been hearing over the past few months. Somehow that this building code and raising the height is going to miraculously bring vitality. He said he hates to see this hung on that piece because there isn't any evidence to support it. The East Coast was mentioned, but it is typical to develop the water side or the aesthetic quality of that area for public access so that everybody has access. The buildings behind do not become so much of a barrier, because people have access to that aesthetic value. In Gig Harbor you walk along Harborview and you are already restricted, but it's still available and so it's what we have. If you start raising heights, the comment earlier looking from Morso looking out, raising the height, the new house would literally cut off the view from where that was taken, it would latterly cut off any water view. That viewpoint intersects the shoreline of the north shore. He said that the comment was "so they would still have a view." Well, okay, but what's the quality of the view and what have we lost? Is the sacrifice worth it?

Bruce Byerly – 2401 19th Avenue NW. Mr. Byerly said a lot of good points have been made on both sides. He explained that he has a Master's in Public Administration, and when he hears of zoning change, it sends up a flag. He said he won't go as far as to say anyone is in anybody's pocket; that's dirty ball, frankly. He said we are tinkering with a very permanent solution to an apparent current downtrend in the economy. He said that he agrees wholly with the need to meet business owners' needs because that's what brings people down there; the specialty shops. He asked what the impact of tax incentives would be to stimulate the reconstruction of the buildings, because there are a

lot that need some help. He added that bigger is not necessarily better, and using finesse to balance the now with the forever is an approach that must be considered. He said he hasn't heard the word "intangible" mentioned tonight, so he wants to bring that to light because we can't assume we will ever get those intangibles back. He finalized by asking that even if the proposed changes are congruent with the city vision, is that the best way to achieve the city vision? There are many ways obviously, but is this the best way forward. It seems hope is an integral component to the outcome of the proposed changes, and in his experience, hope is a very flawed strategy.

There were no further comments and the public hearing closed at 7:32 p.m.

Councilmember Malich asked about provisions in the code to allow for tree and shrub removal that interfere with view, and if there was data on one-story buildings, or any data to justify this change.

Ms. Kester responded that if a nursery stock tree, meaning one that has been planted as part of their project, needs to be replaced because it's not an appropriate species or it's too tall, you can remove those trees and shrubs and replace them with a better suited species. The city is not an active enforcement community, but if someone reports it, or if the property owner wants to solve the problem on their own we will work to rectify the issue and get approved plants in place. She added that the mature, maximum height of the tree is limited to the height of the buildings. So in this area, we're talking about vine maples, crab apples, dogwoods; primarily deciduous trees, unless it's an alpine evergreen.

Ms. Kester then explained that there was a visual survey of anything that was over one-story, so staff could do the reverse and generate a report on the number of one-story buildings and how many meet or do not meet code. She continued to respond to the question on data by saying that the Planning Commission looked at the existing building heights and collected data using a story-pole to determine how many currently don't meet the 16' code, but said that no economic study has been done.

Councilmember Payne commented that someone sent an e-mail suggesting that Council was going to take a vote "in the secret" of a public meeting two weeks from now. He explained that there will be a *public* vote taken at that meeting, and if anyone wants to understand the determination and the thoughts behind the decision, to come back and continue to participate in the process; the same process used for every vote.. He also said that he hopes everyone will continue to remain involved in other issues. He stressed that the city does a great deal of outreach and said he is offended when he hears the words "sneaky," "in the pocket," and "for developer's interest." He asked that the public be responsible and stay engaged. Democracy is a contact sport, he added, and encouraged everyone to remain in contact. The city's website is a tremendous resource that you can learn a lot about what the city is doing, he said.

Someone in the audience asked what the best venue to stay notified of meeting dates and times. Councilmember Payne responded that the city's website posts everything:

the agendas, backup materials, and all the meetings that have taken place. He said that the Planning Commission has been talking about this issue for a year and a half; this has not been a sneaky process. He added that you can look at meeting minutes on-line or request them from the city clerk. He said the website has all the information, but you have to stay actively engaged.

Planning Director Kester spoke to this concern by saying anyone who has requested that their e-mail be added to the list will be notified of action regarding the downtown. As for general city business, *cityofgigharbor.net* is the website where you can get to all public notices and other city information. In regards to planning issues, you can go to the new *gigharborplanning.com* to keep notified. She responded affirmatively when asked if we would be sending out notices for the meeting in two weeks.

At this time the Mayor called a brief recess at 7:42 p.m. The meeting resumed at 7:53 p.m.

2. Public Hearing and First Reading of Ordinance – Land Use Permit Extensions.

Planning Director Jennifer Kester presented the background for this ordinance that would provide for an additional two-year extension for permits that were previously granted extensions under Ordinance 1225. She addressed concerns that potential negative stormwater impacts that could occur if projects vested to a previous stormwater manual. She said that information provided by the Public Works Director Jeff Langhelm, states that the flows might be greater from the detention ponds, but the ponds would adequately deal with stormwater; so there should be no flooding events.

Councilmember Perrow asked why new stormwater regulations were adopted if the old regulations were sufficient. Ms. Kester responded that it was a state requirement.

Mayor Hunter opened the public hearing at 7:49 p.m.

Chris Dewald – 6622 Wollochet Drive. Mr. Dewald spoke on behalf of Rush Company in favor of the extension. He explained that they have a binding site plan for Mallard's Landing with two remaining opportunities to build a 15,000 square foot building near the frontage of Wollochet, and another project, Mallard's Landing Seven, near the back of Wagner Way. He explained that from an economic standpoint, this isn't the time for more office buildings because of the high vacancy rate. He said they would appreciate the opportunity to extend those permits. He described the Mallard's Landing Seven project as six smaller buildings about 2,500 square feet each; perfect for small business incubator space with offices above and warehouse space below. He said there is very expensive frontage improvements and infrastructure associated with these projects and so they are looking for the right time to build. He said they would not like to lose vesting on these projects. Because they are nearing the expiration date of November, if they expire they would have update to current building codes. Hopefully this will be passed, he said.

There were no further public comments and the public hearing was closed at 7:59 p.m. Councilmember Guernsey suggested that this return at the next meeting on the

Consent Agenda. Councilmember Malich objected, saying he wanted to vote on this separately. This will return at the next meeting under Old Business.

3. Public Hearing and First Reading of Ordinance – Public Works Standards Update. Public Works Director Jeff Langhelm presented the background for this ordinance that would adopt a new set of Public Works Standards that incorporates previous amendments, and allows for new and enhanced construction materials, LED lighting, and would memorialize certain policies in place. He said that the document has been in development for many years and a final version is now ready for adoption. He described the review process by the Operations Committee, the SEPA Official, and the State Department of Commerce. He finalized by saying that this document is ready for adoption at the second reading, with an effective date of January 1, 2014.

Councilmember Perrow asked about standards regarding irrigation, the lack of reference to ADA yellow mats at crosswalks, and standards for sidewalk ends that won't be developed for years.

Mr. Langhelm first responded that irrigation backflow will be addressed in the cross-connection control ordinance that will be presented to Council at a later date. Currently, we follow the American Waterworks Association Backflow Prevention Manual, he added. He then responded that the ADA regulations change so rapidly that we now reference the State's DOT Standard Plans. He finalized by responding to the comments on the concern for sidewalk terminations. He said that he would have to research whether Type III barricades are needed. Typically, he said, an asphalt ramp is required.

Mayor Hunter opened the public hearing at 8:08 p.m. There were no public comments and the hearing closed.

4. First Reading of Ordinance – Housekeeping Update to Business License Code. City Clerk Molly Towslee explained that this ordinance is in response to the state moving this function from the Master Licensing Department to the Department of Revenue Business License Service. The amendment would update the city code to reflect the name change. There were no questions, and Councilmember Young suggested this return on the Consent Agenda.

5. Street Names – Harbor Hill Phase S-9. Building / Fire Safety Director Paul Rice presented the background information for these two actions to approve the naming of streets within the Harbor Hill Plats to reflect the Peaks of the Olympic National Park & Forest. He said that none of these areas are located within the historic naming district, and encouraged Council to approve the naming.

Councilmember Malich asked if there was a street-naming policy outside the historic district. When Mr. Rice responded that there is not, Councilmember Malich said that that we should develop a policy that enhances our community voicing his dislike of this naming scheme.

MOTION: Move to approve the street names as submitted for Harbor Hill Phase S-9.
Ekberg / Guernsey – six voted in favor. Councilmember Malich voted no.

6. Street Names – Harbor Hill Phase N-1.

MOTION: Move to approve the street names as submitted for Harbor Hill Phase N-1.
Ekberg / Perrow – six voted in favor. Councilmember Malich voted no.

PUBLIC COMMENT: None.

MAYOR’S REPORT / COUNCIL COMMENTS:

Councilmember Young gave an update for the Trolley Project. He said that the Pierce Transit Board approved the annual seasonal part of the service. He said that fare has to be set similar to other service because of the new FTA rulings and fare equity. The fare being discussed is \$2 with the possibility of local contributions to keep it lower. Terry Lee, the Chamber of Commerce, and Uptown are working toward this goal.

Mayor Hunter asked about the possibility of using the trolley buses for special occasions during off –season. Councilmember Young said that this is being considered for regular routes. In addition Pierce Transit may use the buses for events such as the fair.

Councilmember Malich said he tried to find e-mails for Planning Commissioners, but they aren’t listed on the city website. Staff responded that those are personal and not disclosable. He asked why we don’t have public e-mails for them through the city. Ms. Kester explained she would have to ask these volunteers if they want it. She then stressed that for open public meeting purposes and public records requests, it is good for communication go through the Planning Director to make sure it’s part of the record.

Mayor Hunter added that it would be asking too much for our volunteers to monitor another e-mail address.

Councilmember Tim Payne praised our Planning Director and other city staff for a fine job on the open house and this meeting. He said it was well done effort that did the public a great service. He then wished Mayor Hunter a happy birthday.

Councilmember Kadzik then wished Councilmember Payne a happy birthday.

ANNOUNCEMENT OF OTHER MEETINGS:

1. Connie Schick Clock Dedication – Tues. Oct. 15th at 11:30 a.m.
2. Operations Committee – Thur. Oct. 17th at 3:00 p.m.
3. Budget Worksession I: Mon. Oct 21, 2013 at 5:30 p.m.

4. Budget Worksession II: Tue. Oct 22, 2013 at 5:30 p.m.
5. Donkey Creek Project Ribbon Cutting Ceremony – Wed. Oct. 23rd at 10:30 a.m.

EXECUTIVE SESSION: To discuss property acquisition per RCW 42.30.110(1)(b)

MOTION: Move to go into Executive Session at 7:23 p.m. for approximately thirty minutes to discuss property acquisition.
Payne / Kadzik – unanimously approved.

MOTION: Move to go return to regular session at 8:50 p.m.
Kadzik / Malich – unanimously approved.

ADJOURN:

MOTION: Move to adjourn at 8:50 p.m.
Kadzik / Malich – unanimously approved.

CD recorder utilized: Tracks 1002 – 1057

Charles L. Hunter, Mayor

Molly Towslee, City Clerk

C091080-2

WASHINGTON STATE LIQUOR CONTROL BOARD

DATE: 10/06/2013

LICENSED ESTABLISHMENTS IN INCORPORATED AREAS CITY OF GIG HARBOR
(BY ZIP CODE) FOR EXPIRATION DATE OF 20140131

LICENSEE	BUSINESS NAME AND ADDRESS	LICENSE NUMBER	PRIVILEGES
1. KAE & SOOK CORPORATION	MARITIME MART 7102 STINSON GIG HARBOR WA 98325 0000	078669	GROCERY STORE - BEER/WINE
2. LAI FOOK, RICHARD ANTHONY LAI FOOK, TERRY-ANN CARLENE	MARKETPLACE GRILLE 8825 N HARBORVIEW DR STE C & D GIG HARBOR WA 98332 2149	084215	BEER/WINE REST - BEER/WINE
3. EMPIRE RESTAURANTS INC.	BLUE CANNON PIZZA COMPANY 4726 BORGEN BLVD STE B GIG HARBOR WA 98332 6832	405752	BEER/WINE REST - BEER/WINE BEER/WINE REST - BEER/WINE
4. ALBERTSON'S LLC	ALBERTSON'S #406 11330 51ST AVE NW GIG HARBOR WA 98332 7890	083474	GROCERY STORE - BEER/WINE BEER AND WINE TASTING
5. GRANITE SERVICE, INC.	PIONEER 76 7101 PIONEER WAY GIG HARBOR WA 98335 0000	365485	GROCERY STORE - BEER/WINE
6. ZRC OPERATIONS COMPANY, INC.	QDOBA MEXICAN GRILL 4726 BORGEN BLVD STE A GIG HARBOR WA 98335 0000	403619	BEER/WINE REST - BEER/WINE
7. THE WINE STUDIO OF GIG HARBOR,	THE WINE STUDIO OF GIG HARBOR 3123 56TH ST NW STE 5 GIG HARBOR WA 98335 1302	080669	TAVERN - BEER/WINE OFF PREMISES
8. THE BARTELL DRUG COMPANY	BARTELL DRUG COMPANY #39 5500 OLYMPIC DR GIG HARBOR WA 98335 1487	077055	GROCERY STORE - BEER/WINE SPIRITS RETAILER

C091080-2

WASHINGTON STATE LIQUOR CONTROL BOARD

DATE: 10/06/2013

LICENSED ESTABLISHMENTS IN INCORPORATED AREAS CITY OF GIG HARBOR
(BY ZIP CODE) FOR EXPIRATION DATE OF 20140131

LICENSEE	BUSINESS NAME AND ADDRESS	LICENSE NUMBER	PRIVILEGES
9. I.T. INVESTMENTS (U.S.) LTD	TOBACCO HARBOR 5114 POINT FOSDICK DR NW STE H GIG HARBOR WA 98335 1734	410944	GROCERY STORE - BEER/WINE
10. FULLER GREENHOUSE RESTAURANT L	FULLER GREENHOUSE RESTAURANT 4793 PT FOSDICK DR NW STE 400 GIG HARBOR WA 98335 2315	403430	SPIRITS/BR/WN REST LOUNGE -



GIG HARBOR SPORTSMAN'S CLUB
9721 BURNHAM DRIVE N.W.
GIG HARBOR, WA 98332

Denny Richards
Gig Harbor City Administrator
3510 Grandview Street,
Gig Harbor, WA 98335

October 14, 2013

**Re: Shooting Sports Facility Operating License Renewal
Gig Harbor Sportsman's Club**

Dear Mr. Richards,

Enclosed you will find our completed Shooting Sports Facility Operating License renewal application, in accordance with section 5.12 of the Gig Harbor Municipal Code.

Our site survey, as well as, the Gig Harbor Sportsman's Club Management Guidebook and Range Operating Procedures manual are already on file with the city, and therefore have not been attached to this application. However, we are happy to provide another copy upon request.

The City has been issued two copies of our manual, one for your office and another for Chief Davis'. We have provided all revisions for these manuals, including timely revisions to our list of Range Masters per GHMC 5.12.100.B. When added, the attached revision will bring those manuals up to date with the latest information.

We have continued to make improvements to our shooting facilities and operations over the past year. Here's a glimpse for your review:

1. In May, we introduced the requirement for all Rifle, Pistol, and Shotgun range users to complete a Range Orientation and Safety Briefing. The Orientation covers our Range Rules, Procedures, and Protocols. Moreover, it emphasizes the behavior we expect of all range users, as well as, the authority of the Range Masters and Range Officers. Also part of the Orientation is for each participant to demonstrate that they can put their shots on the target. This requirement is being phased in as membership renewals come due – and will apply to all range users by June 2014. To date, over six hundred people have successfully completed the Orientation. Already, we have seen an improvement in the behavior and compliance of range users.

2. During a ten day closure of the Rifle & Pistol Range in June, we accomplished a ton of routine maintenance and refurbishing. The items you would be most interested in have to do with our bullet containment provisions. Even though we have not had ANY projectiles escape the range, we enhanced our containment even more.
 - a. Cement block walls and a steel sliding door were completed on the lateral side of the Rifle Range from the firing line out to 15 yards.
 - b. An armored bullet shield was also added on the lateral side of the Rifle Range between the 15 yard and 25 yard lines.
 - c. The 85 yard and 100 yard containment baffles (formerly exposed logs) have now been armored with bullet shields constructed in accordance with the NRA Range Sourcebook. These are the same bullet shields we have throughout the remainder of the rifle and pistol range. These installations make that project complete.
3. In August we installed armor within the partitions that separate each pistol shooting position. Together with Range Master/Range Officer surveillance and our new Orientation requirement, this will further ensure that an errant shot from one lane will not cause injury to a range user on an adjacent lane.
4. We have also embarked on a major project to install a shot containment screen on four of our Trap Ranges. The project is still in the engineering stages. Once complete, it is intended to keep lead shot from entering the creek bed area, and add extra insurance that no shotgun projectiles will leave our property.

We hope you will agree that we continue to go above all other guidance and requirements to ensure the safety of our volunteers, range users, and our community.

Please contact us if there is any further information you require.

Sincerely,


A handwritten signature in purple ink, appearing to read "L. Rodenberg", with a long horizontal flourish extending to the right.

Le Rodenberg
President Gig Harbor Sportsman's Club
253 853-5676

Attachments:

- License Renewal Application
- General Liability Insurance Certificate
- Revision #5 for the GHSC manual (2 copies)



To: Mayor Hunter and City Council
From: David Rodenbach, Finance Director 
Date: October 28, 2013
Subject: Third Quarter Financial Report

The quarterly financial reports for the third quarter of 2013 are attached.

Total resources, including all revenues and beginning cash balances, are 61 percent of the annual budget. Total revenues, excluding beginning cash balances, are 43 percent of the annual budget while total expenditures are at 56 percent. For the same period in 2012 we were at 66 and 56 percent for revenues and expenditures respectively.

General Fund revenues are 74 percent of budget. Third quarter 2012 general fund revenues were at 72 percent of budget. Taxes are projecting to come in right about at the 2013 budgeted amount. Building permit revenues through September are 96 percent (\$752,000) of budget. The budget for permit revenues in 2013 is \$781,000.

General fund expenditures are 66 percent of budget. A year ago expenditures were 73 percent of budget after the third quarter. At this time it appears that all general fund departments are tracking within their 2013 budgets.

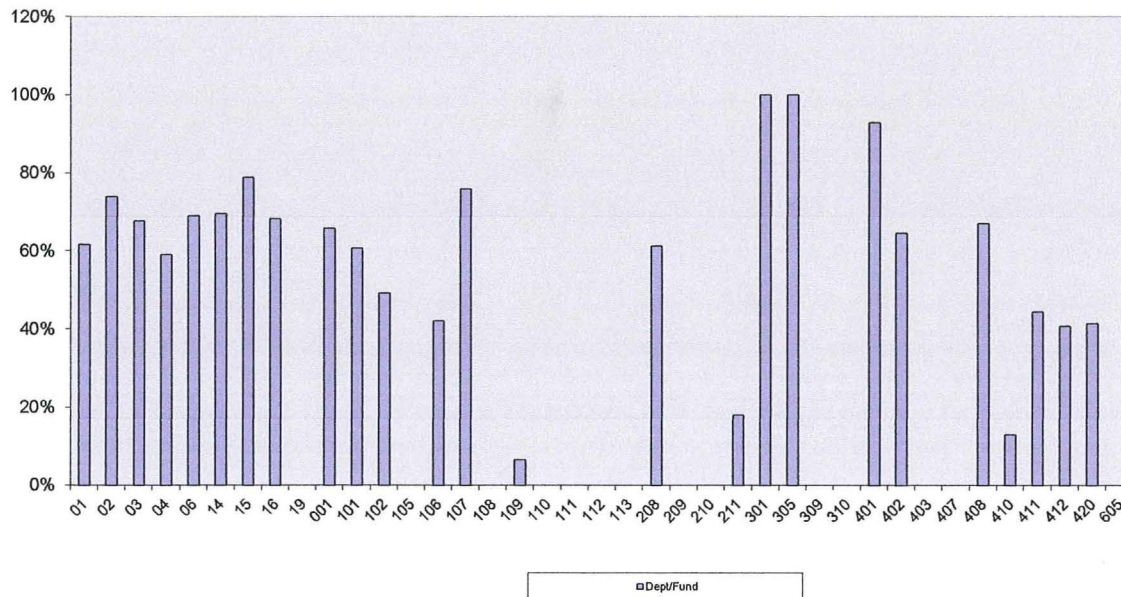
Water, Sewer and Storm Sewer revenues are 85, 78 and 62 percent of budget; while expenditures for these three funds are at 92, 66 and 44 percent of budget. 2012 amounts for the same period were 77, 73 and 72 percent for revenues and 49, 69 and 68 percent for expenditures.

Cash balances are adequate in all funds.

CITY OF GIG HARBOR
YEAR-TO-DATE EXPENDITURE SUMMARY
AND COMPARISON TO BUDGET
FOR PERIOD ENDING SEPTEMBER 30, 2013

FUND NO.	DESCRIPTION	ESTIMATED EXPENDITURES	ACTUAL Y-T-D EXPENDITURES	BALANCE OF ESTIMATE	PERCENTAGE (ACTUAL/EST.)
001	GENERAL GOVERNMENT				
01	NON-DEPARTMENTAL	\$ 3,715,722	\$ 2,290,664	\$ 1,425,058	62%
02	LEGISLATIVE	59,492	44,033	15,459	74%
03	MUNICIPAL COURT	376,000	254,422	121,578	68%
04	ADMINISTRATIVE/FINANCIAL	1,619,850	955,829	664,021	59%
06	POLICE	3,130,050	2,161,233	968,817	69%
14	COMMUNITY DEVELOPMENT	1,298,925	904,439	394,486	70%
15	PARKS AND RECREATION	745,075	587,405	157,670	79%
16	BUILDING	278,800	190,097	88,703	68%
19	ENDING FUND BALANCE	-	-	-	
001	TOTAL GENERAL FUND	11,223,914	7,388,121	3,835,793	66%
101	STREET FUND	2,073,218	1,259,307	813,911	61%
102	STREET CAPITAL FUND	4,622,100	2,272,620	2,349,480	49%
105	DRUG INVESTIGATION FUND	7,500	-	7,500	
106	DRUG INVESTIGATION FUND	10,000	4,208	5,792	42%
107	HOTEL-MOTEL FUND	218,650	165,843	52,807	76%
108	PUBLIC ART CAPITAL PROJECTS	-	-	-	
109	PARK DEVELOPMENT FUND	5,354,600	347,687	5,006,913	6%
110	CIVIC CENTER DEBT RESERVE	-	-	-	
111	STRATEGIC RESERVE FUND	648,000	-	648,000	
112	EQUIPMENT RESERVE FUND	-	-	-	
113	DONATIONS/CONTRIBUTIONS	-	2,169	(2,169)	
208	LTGO BOND REDEMPTION	1,050,163	642,794	407,369	61%
209	2000 NOTE REDEMPTION	39,000	-	39,000	
210	LID NO. 99-1 GUARANTY	97,000	-	97,000	
211	UTGO BOND REDEMPTION	265,811	47,906	217,905	18%
301	PROPERTY ACQUISITION FUND	150,000	150,000	-	100%
305	GENERAL GOVT CAPITAL IMPR	150,000	150,000	-	100%
309	IMPACT FEE TRUST	350,000	-	350,000	
310	HOSPITAL BENEFIT ZONE	2,625,000	350,000	-	
401	WATER OPERATING	1,256,317	1,165,635	90,682	93%
402	SEWER OPERATING	3,817,259	2,465,592	1,351,667	65%
403	SHORECREST RESERVE FUND	2,700	2,307	393	
407	UTILITY RESERVE	200	309	(109)	
408	UTILITY BOND REDEMPTION	2,079,159	1,392,664	686,495	67%
410	SEWER CAPITAL CONSTRUCTION	6,808,000	885,805	5,922,195	13%
411	STORM SEWER OPERATING FUND	1,040,729	462,170	578,559	44%
412	STORM SEWER CAPITAL	1,809,400	737,870	1,071,530	41%
420	WATER CAPITAL ASSETS	3,564,700	1,478,760	2,085,940	41%
605	LIGHTHOUSE MAINTENANCE TRUST	-	-	-	
631	MUNICIPAL COURT	-	88,358	(88,358)	
		\$ 49,263,420	\$ 21,460,125	\$ 25,528,295	44%

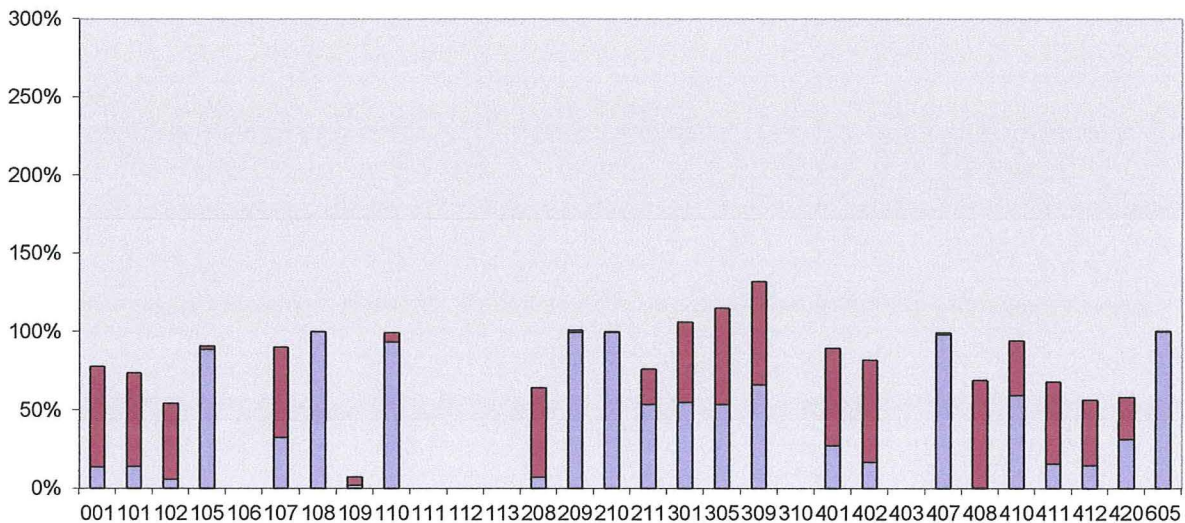
Expenditures as a Percentage of Annual Budget



CITY OF GIG HARBOR
YEAR-TO-DATE RESOURCE SUMMARY
AND COMPARISON TO BUDGET
AS OF SEPTEMBER 30, 2013

FUND NO.	DESCRIPTION	ESTIMATED RESOURCES	ACTUAL Y-T-D RESOURCES	BALANCE OF ESTIMATE	PERCENTAGE (ACTUAL/EST.)
001	GENERAL GOVERNMENT	\$ 12,034,966	\$ 9,368,295	\$ 2,666,671	78%
101	STREET FUND	1,950,552	1,436,179	514,374	74%
102	STREET CAPITAL FUND	4,628,704	2,509,546	2,119,158	54%
105	DRUG INVESTIGATION FUND	8,846	8,025	821	91%
106	DRUG INVESTIGATION FUND	28,239	28,235	3	100%
107	HOTEL-MOTEL FUND	317,390	285,455	31,935	90%
108	PUBLIC ART CAPITAL PROJECTS	92,175	92,167	8	100%
109	PARK DEVELOPMENT FUND	5,229,829	378,577	4,851,251	7%
110	CIVIC CENTER DEBT RESERVE	1,242,894	1,234,331	8,564	99%
111	STRATEGIC RESERVE FUND	1,089,667	1,090,304	(637)	100%
112	EQUIPMENT RESERVE FUND	150,361	150,386	(25)	100%
113	DONATIONS/CONTRIBUTIONS	-	92,181	(92,181)	
208	LTGO BOND REDEMPTION	1,048,930	673,938	374,992	64%
209	2000 NOTE REDEMPTION	40,078	40,424	(346)	101%
210	LID NO. 99-1 GUARANTY	95,736	95,632	105	100%
211	UTGO BOND REDEMPTION	432,303	328,607	103,696	76%
301	PROPERTY ACQUISITION FUND	407,928	432,910	(24,982)	106%
305	GENERAL GOVT CAPITAL IMPR	327,194	376,076	(48,882)	115%
309	IMPACT FEE TRUST	1,035,176	1,366,475	(331,299)	132%
310	HOSPITAL BENEFIT ZONE	4,511,908	3,739,615	772,293	83%
401	WATER OPERATING	1,783,597	1,593,485	190,112	89%
402	SEWER OPERATING	4,186,703	3,428,194	758,509	82%
403	SHORECREST RESERVE FUND	72,949	80,805	(7,856)	111%
407	UTILITY RESERVE	1,383,055	1,374,458	8,597	99%
408	UTILITY BOND REDEMPTION	2,035,949	1,402,517	633,432	69%
410	SEWER CAPITAL CONSTRUCTION	8,014,410	7,538,350	476,061	94%
411	STORM SEWER OPERATING FUND	992,072	673,627	318,445	68%
412	STORM SEWER CAPITAL	2,066,376	1,160,851	905,524	56%
420	WATER CAPITAL ASSETS	3,822,575	2,217,656	1,604,919	58%
605	LIGHTHOUSE MAINTENANCE TRUST	2,114	2,116	(2)	
631	MUNICIPAL COURT	-	88,343	(88,343)	
		\$ 59,032,678	\$ 43,287,762	\$ 15,744,916	73%

Resources as a Percentage of Annual Budget



CITY OF GIG HARBOR
CASH AND INVESTMENTS
YEAR TO DATE ACTIVITY
AS OF SEPTEMBER 30, 2013

FUND NO.	DESCRIPTION	BEGINNING			OTHER CHANGES	ENDING BALANCE
		BALANCE	REVENUES	EXPENDITURES		
001	GENERAL GOVERNMENT	\$ 1,639,423	\$ 7,728,872	\$ 7,388,121	\$ (122,905)	\$ 1,857,269
101	STREET FUND	273,754	1,162,424	1,259,307	(43,804)	133,069
102	STREET CAPITAL FUND	266,404	2,243,142	2,272,620	(94,179)	142,747
105	DRUG INVESTIGATION FUND	7,836	189	-	-	8,025
106	DRUG INVESTIGATION FUND	28,209	27	4,208	-	24,027
107	HOTEL-MOTEL FUND	102,431	183,024	165,843	(10,396)	109,215
108	PUBLIC ART CAPITAL PROJECTS	92,075	92	-	-	92,167
109	PARK DEVELOPMENT FUND	102,829	275,749	347,687	(8,080)	22,811
110	CIVIC CENTER DEBT RESERVE	1,162,028	72,302	-	-	1,234,331
111	STRATEGIC RESERVE FUND	1,009,217	81,087	-	-	1,090,304
112	EQUIPMENT RESERVE FUND	100,236	50,150	-	-	150,386
113	CONTRIBUTIONS/DONATIONS	-	92,181	2,169	-	90,012
208	LTGO BOND REDEMPTION	73,880	600,058	642,794	8	31,153
209	2000 NOTE REDEMPTION	39,878	546	-	-	40,424
210	LID NO. 99-1 GUARANTY	95,536	95	-	-	95,632
211	UTGO BOND REDEMPTION	232,003	96,604	47,906	-	280,701
301	PROPERTY ACQUISITION FUND	223,829	209,081	150,000	-	282,910
305	GENERAL GOVT CAPITAL IMPR	175,594	200,482	150,000	-	226,076
309	IMPACT FEE TRUST	684,176	682,299	-	8,340	1,374,815
310	HOSPITAL BENEFIT ZONE	2,555,454	1,184,161	350,000	-	3,389,615
401	WATER OPERATING	486,077	1,107,408	1,165,635	(65,624)	362,226
402	SEWER OPERATING	702,405	2,725,789	2,465,592	66,774	1,029,376
403	SHORECREST RESERVE FUND	56,412	24,393	2,307	1,343	79,841
407	UTILITY RESERVE	1,360,755	13,703	309	(22)	1,374,127
408	UTILITY BOND REDEMPTION	5,408	1,397,109	1,392,664	-	9,853
410	SEWER CAPITAL CONSTRUCTION	4,755,410	2,782,939	885,805	(22,899)	6,629,646
411	STORM SEWER OPERATING FUND	157,253	516,374	462,170	107,555	319,012
412	STORM SEWER CAPITAL	301,272	859,580	737,870	(87,756)	335,226
420	WATER CAPITAL ASSETS	1,204,075	1,013,581	1,478,760	(74,046)	664,851
605	LIGHTHOUSE MAINTENANCE TRUST	2,114	2	-	-	2,116
631	MUNICIPAL COURT	-	88,343	88,358	-	(15)
		<u>\$ 17,895,975</u>	<u>\$ 25,391,787</u>	<u>\$ 21,460,125</u>	<u>\$ (345,691)</u>	<u>\$ 21,481,948</u>

COMPOSITION OF CASH AND INVESTMENTS
AS OF SEPTEMBER 30, 2013

	MATURITY	RATE	BALANCE
CASH ON HAND			300
CASH IN BANK			1,486,123
INVESTMENTS/US BANK			318,978
INVESTMENTS/CD COLUMBIA BANK	May 2014	0.5000%	1,000,000
WSDOT ESCROW/CD COLUMBIA BANK			2,000
INVESTMENTS/US BANK	July 2017	0.1250%	1,004,048
LOCAL GOVERNMENT INVESTMENT POOL		0.1807%	17,670,499
			<u>\$ 21,481,948</u>

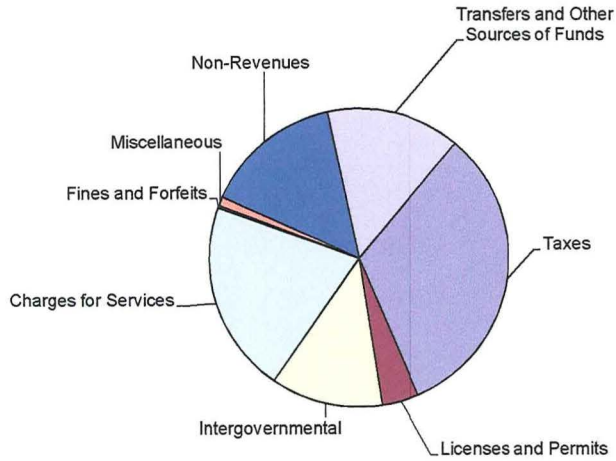
CITY OF GIG HARBOR
YEAR-TO-DATE REVENUE SUMMARY
BY TYPE
FOR PERIOD ENDING SEPTEMBER 30, 2013

<u>TYPE OF REVENUE</u>	<u>AMOUNT</u>
Taxes	\$ 8,249,932
Licenses and Permits	1,000,281
Intergovernmental	3,080,112
Charges for Services	5,293,898
Fines and Forfeits	72,502
Miscellaneous	242,857
Non-Revenues	3,774,083
Transfers and Other Sources of Funds	3,678,120
Total Revenues (excludes Court Pass Thru)	25,391,786
Beginning Cash Balance	17,895,975
Total Resources	\$ 43,287,761

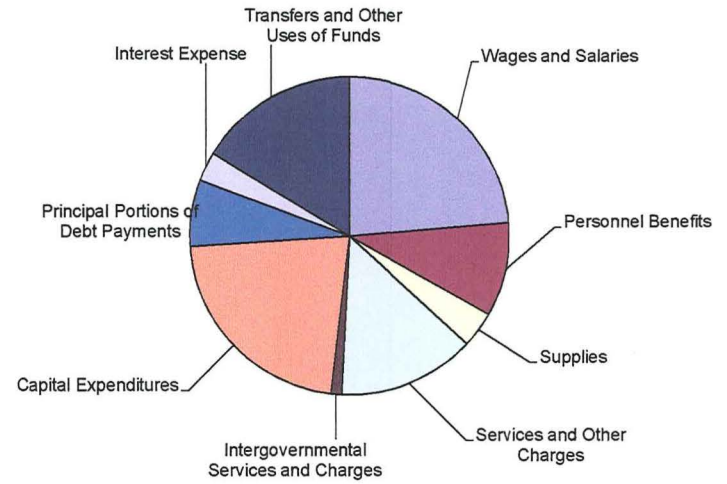
CITY OF GIG HARBOR
YEAR-TO-DATE EXPENDITURE SUMMARY
BY TYPE
FOR PERIOD ENDING SEPTEMBER 30, 2013

<u>TYPE OF EXPENDITURE</u>	<u>AMOUNT</u>
Wages and Salaries	\$ 5,042,086
Personnel Benefits	2,053,261
Supplies	784,363
Services and Other Charges	2,983,127
Intergovernmental Services and Charges	228,332
Capital Expenditures	4,716,193
Principal Portions of Debt Payments	1,455,740
Interest Expense	627,623
Transfers and Other Uses of Funds	3,481,041
Total Expenditures (excludes Court Pass Thru)	21,371,767
Ending Cash Balance	21,481,948
Total Uses	\$ 42,853,715

Revenues by Type - All Funds



Expenditures by Type - All Funds



**CITY OF GIG HARBOR
STATEMENT OF FINANCIAL POSITION
AS OF SEPTEMBER 30, 2013**

	SPECIAL REVENUE FUNDS										
	001	101	102	105	106	107	108	109	110	111	112
	GENERAL GOVERNMENT	STREET	STREET CAPITAL	DRUG INVESTIGTN	DRUG INVESTIGTN	HOTEL - MOTEL	PUBLIC ART PROJECTS	PARK DVLP FUND	CIVIC CTR DEBT RESERVE	STRATEGIC RESERVE	EQUIPMENT RESERVE
ASSETS											
CASH	\$ 119,429	\$ 10,323	\$ 11,074	\$ 623	1,864	\$ 8,473	\$ 7,150	\$ 1,770	\$ 18,179	\$ 84,583	\$ 11,667
INVESTMENTS	1,737,840	122,745	131,673	7,403	22,163	100,743	85,017	21,041	1,216,152	1,005,721	138,719
RECEIVABLES	1,297,270	5,706	28,501	-	-	31,761	-	-	312,400	-	-
FIXED ASSETS	-	-	-	-	-	-	-	-	-	-	-
OTHER	-	-	-	-	-	-	-	-	-	-	-
TOTAL ASSETS	3,154,539	138,775	171,248	8,025	24,027	140,976	92,167	22,811	1,546,731	1,090,304	150,386
LIABILITIES											
CURRENT	(116,850)	3,750	0	-	-	-	-	-	-	-	-
LONG TERM	70,038	-	-	-	-	-	-	-	-	-	-
TOTAL LIABILITIES	(46,812)	3,750	0	-	-	-	-	-	-	-	-
FUND BALANCE:											
BEGINNING OF YEAR	2,860,600	231,907	200,727	7,836	28,209	123,796	92,075	94,749	1,474,428	1,009,217	100,236
Y-T-D REVENUES	7,728,872	1,162,424	2,243,142	189	27	183,024	92	275,749	72,302	81,087	50,150
Y-T-D EXPENDITURES	(7,388,121)	(1,259,307)	(2,272,620)	-	(4,208)	(165,843)	-	(347,687)	-	-	-
ENDING FUND BALANCE	3,201,351	135,025	171,248	8,025	24,027	140,976	92,167	22,811	1,546,731	1,090,304	150,386
TOTAL LIAB. & FUND BAL.	\$ 3,154,539	\$ 138,775	\$ 171,248	\$ 8,025	24,027	\$ 140,976	\$ 92,167	\$ 22,811	\$ 1,546,731	\$ 1,090,304	\$ 150,386

**CITY OF GIG HARBOR
STATEMENT OF FINANCIAL POSITION
AS OF JUNE 30, 2013**

	SPECIAL REVENUE FUNDS							TOTAL SPECIAL REVENUE
	113 CONTRIBUTIONS DONATIONS	301 PROPERTY ACQUISITION	305 GEN GOVT CAPITAL IMP	309 IMPACT FEE TRUST FUND	310 HOSPITAL BENEFIT	605 LIGHTHOUSE MAINT	631 MUNICIPAL COURT	
ASSETS								
CASH	\$ 6,983	\$ 21,947	\$ 17,538	\$ 106,655	\$ 262,958	\$ 164	\$ -	\$ 571,950
INVESTMENTS	\$ 83,029	260,963	208,537	1,268,160	3,126,658	1,952	-	7,800,677
RECEIVABLES	-	-	-	-	-	-	-	378,368
FIXED ASSETS	-	-	-	-	-	-	-	-
OTHER	-	-	-	-	-	-	-	-
TOTAL ASSETS	90,012	282,910	226,076	1,374,815	3,389,615	2,116	-	8,750,995
LIABILITIES								
CURRENT	-	-	-	50,040	-	-	-	53,790
LONG TERM	-	-	-	-	-	-	-	-
TOTAL LIABILITIES	-	-	-	50,040	-	-	-	53,790
FUND BALANCE:								
BEGINNING OF YEAR	-	223,829	175,594	642,476	2,555,454	2,114	-	6,962,647
Y-T-D REVENUES	92,181	209,081	200,482	682,299	1,184,161	2	88,343	6,524,736
Y-T-D EXPENDITURES	(2,169)	(150,000)	(150,000)	-	(350,000)	-	(88,343)	(4,790,177)
ENDING FUND BALANCE	90,012	282,910	226,076	1,324,775	3,389,615	2,116	-	8,697,205
TOTAL LIAB. & FUND BAL.	\$ 90,012	\$ 282,910	\$ 226,076	\$ 1,374,815	\$ 3,389,615	\$ 2,116	\$ -	\$ 8,750,995

**CITY OF GIG HARBOR
STATEMENT OF FINANCIAL POSITION
AS OF JUNE 30, 2013**

	208	209	210	211	TOTAL
	LTGO BOND	2000 NOTE	LID 99-1	UTGO BOND	DEBT
	REDEMPTION	REDEMPTION	GUARANTY	REDEMPTION	SERVICE
ASSETS					
CASH	\$ 2,417	\$ 3,136	\$ 7,419	\$ 21,776	\$ 34,748
INVESTMENTS	28,736	37,288	88,213	258,925	413,162
RECEIVABLES	-	-	-	9,424	9,424
FIXED ASSETS	-	-	-	-	-
OTHER	-	-	-	-	-
TOTAL ASSETS	31,153	40,424	95,632	290,125	457,333
LIABILITIES					
CURRENT	-	-	-	-	-
LONG TERM	-	-	-	7,782	7,782
TOTAL LIABILITIES	-	-	-	7,782	7,782
FUND BALANCE:					
BEGINNING OF YEAR	73,888	39,878	95,536	233,645	442,947
Y-T-D REVENUES	600,058	546	95	96,604	697,304
Y-T-D EXPENDITURES	(642,794)	-	-	(47,906)	(690,699)
ENDING FUND BALANCE	31,153	40,424	95,632	282,343	449,551
TOTAL LIAB. & FUND BAL.	\$ 31,153	\$ 40,424	\$ 95,632	\$ 290,125	\$ 457,333

**CITY OF GIG HARBOR
STATEMENT OF FINANCIAL POSITION
AS OF SEPTEMBER 30, 2013**

	PROPRIETARY										TOTAL PROPRIETARY	TOTAL
	401 WATER OPERATING	402 SEWER OPERATING	403 SHORECREST RESERVE	407 UTILITY RESERVE	408 UTILITY BOND REDEMPTION	410 SEWER CAP. CONST.	411 STORM SEWEF OPERATING	412 STORM SEWER CAPITAL	420 WATER CAP. ASSETS			
ASSETS												
CASH	\$ 28,193	\$ 79,949	\$ 6,194	\$ 28,710	\$ 764	\$ 514,311	\$ 24,748	\$ 26,006	\$ 51,422	\$	\$ 760,297	\$ 1,486,424
INVESTMENTS	334,033	949,427	73,647	1,345,417	9,089	6,115,335	294,264	309,220	613,429		10,043,861	19,995,539
RECEIVABLES	240,362	393,307	751	5,823	54,343	-	93,509	-	-		788,094	2,473,157
FIXED ASSETS	6,814,182	33,994,134	-	-	-	404,272	665,781	999,216	843,203		43,720,787	43,720,787
OTHER	-	-	-	-	151,566	-	-	-	-		151,566	151,566
TOTAL ASSETS	7,416,770	35,416,817	80,592	1,379,950	215,762	7,033,918	1,078,302	1,334,441	1,508,054		55,464,605	67,827,472
LIABILITIES												
CURRENT	1,849	25	-	-	1,533,364	-	29	-	21,701		1,556,968	1,493,908
LONG TERM	50,841	76,500	-	-	21,339,877	-	46,245	-	-		21,513,463	21,591,283
TOTAL LIABILITIES	52,690	76,524	-	-	22,873,241	-	46,274	-	21,701		23,070,431	23,085,191
FUND BALANCE:												
BEGINNING OF YEAR	7,422,307	35,080,096	58,506	1,366,556	(22,661,925)	5,136,783	977,824	1,212,732	1,951,531		30,544,410	40,810,604
Y-T-D REVENUES	1,107,408	2,725,789	24,393	13,703	1,397,109	2,782,939	516,374	859,580	1,013,581		10,440,877	25,391,789
Y-T-D EXPENDITURES	(1,165,635)	(2,465,592)	(2,307)	(309)	(1,392,664)	(885,805)	(462,170)	(737,870)	(1,478,760)		(8,591,112)	(21,460,110)
ENDING FUND BALANCE	7,364,080	35,340,292	80,592	1,379,950	(22,657,479)	7,033,918	1,032,027	1,334,441	1,486,353		32,394,174	44,742,282
TOTAL LIAB. & FUND BAL.	\$ 7,416,770	\$ 35,416,817	\$ 80,592	\$ 1,379,950	\$ 215,762	\$ 7,033,918	\$ 1,078,302	\$ 1,334,441	\$ 1,508,054	\$	\$ 55,464,606	\$ 67,827,474



Business of the City Council
City of Gig Harbor, WA

Subject: Resolution 939 – Surplus Equipment

Dept. Origin: Public Works-Operations

Proposed Council Action:

Adopt Resolution No. 939 declaring the specified equipment surplus and eligible for sale.

Prepared by: Greg Foote
Public Works Supervisor

For Agenda of: October 28, 2013

Exhibits: Resolution No. 939

Initial & Date

Concurred by Mayor:

CHA 10/15/13

Approved by City Administrator:

R 10/15/13

Approved as to form by City Atty:

N/A

Approved by Finance Director:

DF 10/15/13

Approved by Department Head:

DF 10/11/13

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
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INFORMATION / BACKGROUND

Staff requests authorization to surplus the following equipment:

- 1998 Chevrolet Truck – 1 Ton Flatbed – Non-dump
- Mechanical Tank Mixer – Electric, 460 Volt, 3-phase, 3 HP

This equipment is worn out and has been replaced and/or is obsolete.

FISCAL CONSIDERATION

Proceeds from the auctioning of these items will go to the General Fund.

BOARD OR COMMITTEE RECOMMENDATION

N/A

RECOMMENDATION / MOTION

Move to: Adopt Resolution No. 939 declaring the specified equipment surplus and eligible for sale.

RESOLUTION NO. 939

A RESOLUTION OF THE CITY OF GIG HARBOR
DECLARING CITY EQUIPMENT SURPLUS AND ELIGIBLE
FOR DISPOSITION.

WHEREAS, the Gig Harbor City Council has determined that city-owned equipment is surplus to the City's equipment needs and has been or is in need of being replaced with new equipment; and

NOW, THEREFORE, the City Council of the City of Gig Harbor hereby resolves as follows.

To declare as surplus:

EQUIPMENT	Quantity	SERIAL / ASSET NUMBER	MODEL INFO.
1998 Chevrolet Truck	1	IGBKC34J3WF042712	1 Ton Flat Bed – Non Dump
Mechanical Tank Mixer	1	N/A	Electric, 460 Volt, 3-Phase, 3 HP

PASSED ON THIS 28th day of October, 2013.

APPROVED:

MAYOR CHARLES L. HUNTER

ATTEST/AUTHENTICATED:

MOLLY M. TOWSLEE, CITY CLERK

FILED WITH THE CITY CLERK: 10/09/13
PASSED BY THE CITY COUNCIL: 10/28/13
RESOLUTION NO. 939



Business of the City Council
City of Gig Harbor, WA

Subject: Second Reading of Ordinance No. 1272 Amending Chapter 5.01 of the Gig Harbor Municipal Code for Business Licensing

Dept. Origin: Administration
Prepared by: Molly Towslee, City Clerk *mf*
For Agenda of: October 28, 2013

Proposed Council Action:

Adopt Ordinance No. 1272 at this second reading.

Exhibits: Draft Ordinance
Initial & Date

Concurred by Mayor: *CLT 10/15/13*
Approved by City Administrator: *R 10/14/13*
Approved as to form by City Atty: by email
Approved by Finance Director: *[Signature] 10/16/13*
Approved by Department Head: _____

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
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INFORMATION / BACKGROUND

In 2006 the city entered into an Interagency Agreement with the Department of Licensing Master Licensing Service to act as the agent for business licensing purposes. This has been a very successful partnership.

Recently, the state moved the function from the Department of Licensing Master License Service to the Department of Revenue Business Licensing Services. This is a housekeeping ordinance to update the references in Sections 5.01.080 and 090 of the Municipal Code to reflect this change.

FISCAL CONSIDERATION

None

BOARD OR COMMITTEE RECOMMENDATION

N/A

RECOMMENDATION / MOTION

Move to: Adopt Ordinance No. 1272.

ORDINANCE NO. 1272

AN ORDINANCE OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO BUSINESS LICENSE PROCEDURES AND AMENDING SECTION 5.01.080 AND 5.01.090 OF THE GIG HARBOR MUNICIPAL CODE TO PROVIDE FOR THE STATE OF WASHINGTON DEPARTMENT OF LICENSING DEPARTMENT CHANGE FROM MASTER LICENSING SERVICE TO DEPARTMENT OF REVENUE'S BUSINESS LICENSING SERVICE.

WHEREAS, in 2006 the city adopted Ordinance No. 1049 in order to improve customer service by authorizing the Washington State Department of Licensing's Master Licensing Services to perform business licensing services; and

WHEREAS, Washington State has changed the business licensing division from Master Licensing Services to the Department of Revenue's Business Licensing Services; and

WHEREAS, in order reflect this change it is necessary to amend the municipal code;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. Sections 5.01.080 and 5.01.090 of the Gig Harbor Municipal Code are hereby amended to read as follows:

5.01.080 Application procedure.

A. Any new non-exempt business shall make application for a business license prior to commencing business in the city. Application for license shall be accomplished by filing a Master Application through the ~~state Department of Licensing's Master License Service~~ Department of Revenue Business Licensing Service, in coordination with the city license officer. Persons applying for a license must pay a fee as established by the city council by periodic resolution, and the ~~Master License~~ Business Licensing Service's handling fee.

B. The city license officer is authorized to prepare a schedule of fees for general business licenses issued, and when approved by the city council by resolution, such schedule shall govern the amount of the city license fee.

C. Application for a business license shall be made either at the City of Gig Harbor or with the State of Washington Department of ~~Licensing~~ Revenue Business Licensing Service, on a form to be furnished for that purpose and shall be accompanied by the proper fee. Each application submitted in person or by mail shall be signed by the person, or other authorized representative of the firm or corporation to be licensed. If an application is denied, the city business license fee shall be returned to the applicant.

D. No license shall be issued until the application has been fully completed and all applicable ordinances have been fully complied with. In addition, any business requiring a state or federal license shall obtain said licenses and provide proof of their issuance with the application prior to the issuance of a city business license.

E. City business licenses shall be granted annually and have an expiration date as determined by the State of Washington Department of ~~Licensing~~ Revenue Business Licensing Services in cooperation with the City, but shall have a term of at least one year. The license term or expiration date will be coordinated with the terms or expiration date of all other licenses or permits required by the State for each license.

5.01.090 Renewal.

A. All businesses shall renew their business license each year. Businesses must pay a renewal fee as established by the city council by periodic resolution, and the ~~Master License Service's~~ Business Licensing Services processing renewal fee.

B. If any license issued under this chapter is not renewed by the date of expiration of the existing license, then a new application must be submitted and accompanied by a fee of 50 percent of the amount of the combined licensing fees due, up to \$150 maximum.

Section 2. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 3. Effective Date. This ordinance shall take effect and be in full force five (5) days after publication of a summary, consisting of the title.

PASSED by the Gig Harbor City Council and the Mayor of the City of Gig Harbor
this 28th day of October, 2013.

CITY OF GIG HARBOR

CHARLES L. HUNTER, MAYOR

ATTEST/AUTHENTICATED:

By: _____
MOLLY TOWSLEE, CITY CLERK

APPROVED AS TO FORM:

By: _____
ANGELA BELBECK, CITY ATTORNEY

FILED WITH CITY CLERK: 09/25/13
DATE PASSED: 10/28/13
DATE OF PUBLICATION: 10/31/13
EFFECTIVE DATE: 11/05/13
ORDINANCE NO. 1272



Business of the City Council
City of Gig Harbor, WA

Subject: WWTP Phase 2 - Habitat and Stream Buffer Mitigation Plan - Consultants Services Contract with Grette Associates

Dept. Origin: Public Works

Prepared by: Stephen Misiurak, P.E. City Engineer

Proposed Council Action: Approve and authorize the Mayor to execute the Consultant Services Contract with Grette Associates in an amount not to exceed \$8,682.00.

For Agenda of: October 28, 2013

Exhibits: Consultant Services Contract Scope and Fee

Concurred by Mayor:

Initial & Date

Approved by City Administrator:

CMH 10/24/13

Approved as to form by City Atty:

R 10/23/13

Approved by Finance Director:

ok by email 10/23/13

Approved by Department Head:

SP 10/22

Approved by City Engineer:

S 10/23/13

Table with 6 columns: Expenditure Required, Amount, Budgeted, See Fiscal Below, Appropriation Required, \$0

INFORMATION / BACKGROUND

This contract with Grette Associates will provides for the preparation of a Stream Buffer Mitigation Plan in accordance with the City of Gig Harbor requirements to address the impacts proposed to the stream buffer from construction of Phase 2 improvements. Additionally, Grette Associates will conduct plant establishment monitoring as well.

FISCAL CONSIDERATION

Sufficient funds are available within the Wastewater Operating and Wastewater Capital budgets to cover this expenditure.

BOARD OR COMMITTEE RECOMMENDATION

N/A

RECOMMENDATION / MOTION

Move to: Approve and authorize the Mayor to execute the Consultant Services Contract with Grette Associates in an amount not to exceed \$8,682.00.

EXHIBIT A



To: Steve Misiurak, City Engineer
City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA 98335

Date: October 22, 2013
Project #: 250.021

Phone: (253) 853-7626
Fax: (253) 853-7597
E-Mail: misiuraks@cityofgigharbor.net

Project Name: Gig Harbor WWTP
Phase II
Project Manager: Scott Maharry
Client File No.: 250.000

SENT VIA:

- Mail Hand Delivered
 Fax Email

DESCRIPTION OF WORK:

Task 100 – SEPA Checklist

Grette Associates will prepare a State Environmental Policy Act (SEPA) Checklist for the Gig Harbor Wastewater Treatment Plant (GHWTP) Phase II construction activities. During permitting for Phases I and II, a SEPA checklist was prepared for the redevelopment of the treatment plant and a Mitigated Determination of Nonsignificance (MDNS) was issued. However, the footprint of the proposed Phase II actions has changed from what was originally planned and permitted, and a portion of stream buffer that was enhanced during Phase I is now proposed to be developed. According to City Planning staff, a new SEPA checklist will be required to evaluate the new changes to the plan. This Task includes time for Grette staff to assist City of Gig Harbor Planning staff prepare a new SEPA checklist and answer any questions posed by City Planning staff.

An estimated budget for Task 100 is as follows:

Staff	Rate	Units	Total
Biologist 5	\$126.00	1	\$126.00
Biologist 1	\$87.00	8	\$696.00
Administrative	\$72.00	1	\$72.00
Insurance Certificate	\$80.00	1	\$80.00
TOTAL TASK 100			\$974.00

Task 200 – Mitigation Plan Addendum

Grette Associates will prepare a Stream Buffer Mitigation Plan Addendum in accordance with City of Gig Harbor requirements to address the impacts proposed to the stream buffer from construction of Phase II. The Addendum will supplement the *Habitat Management Plan and Stream Buffer Mitigation Plan* prepared by Grette Associates in 2008 during permitting of Phases I and II. The Plan will describe the impacts proposed, provide a revised buffer enhancement plan to offset the impacts from Phase II, and provide a maintenance and monitoring plan. The Plan will be submitted to the City for review, and this Task includes time for one (1) round of comments from the City. This Task also includes time and expenses for one (1) site visit to the GHWTP to identify an appropriate location for buffer enhancement mitigation.

250.021 GHWWTP Phase II
10/22/2013

An estimated budget for Task 200 is as follows:

Staff	Rate	Units	Total
Biologist 5	\$126.00	2	\$252.00
Biologist 1	\$87.00	30	\$2,610.00
Administrative	\$72.00	2	\$144.00
Mileage	*	25	\$15.00
Narrows Bridge Toll	\$4.25	1	\$4.25
TOTAL TASK 200			\$3,025.25

* Mileage will be billed at the current federal rate.

Task 300 – 2013 Phase I Monitoring

Grette Associates staff will conduct the Phase I Year 2 monitoring at the GHWWTP. Monitoring activities will include the collection of qualitative and quantitative data documenting the development of the planted buffer, as required in the approved *Waste Water Treatment Plant Wetland and Stream Analysis Report Habitat Management Plan and Stream Buffer Mitigation Plan* (March 18, 2008 [Plan]). According to the Plan, data will be collected along the five fixed transects that were established during the post-installation inspection. Photographs will also be taken at the transect endpoints, to further document site development. Upon completion of the field site visit, a technical memorandum will be prepared, conforming to all City standards, for submittal to the City. The memorandum will summarize the results of the data collection and compare the results against the site performance standards, as well as provide recommendations for maintenance activities at the site.

An estimated budget for Task 300 is as follows:

Staff	Rate	Units	Total
Biologist 5	\$126.00	0.5	\$63.00
Biologist 1	\$87.00	12	\$1,044.00
Administrative	\$72.00	1	\$72.00
Mileage	*	25	\$15.00
Narrows Bridge Toll	\$4.25	1	\$4.25
TOTAL TASK 300			\$1,198.25

* Mileage will be billed at the current federal rate.

Task 400 – Phase I and II Monitoring (2014)

Grette Associates staff will conduct the required Phase I and Phase II monitoring at the GHWWTP in 2014. Assuming installation of the Phase II buffer enhancements in 2014, monitoring activities included under this Task to occur in 2014 include one (1) pre-construction meeting with the City and project design team for Phase II enhancement, two (2) planting inspections during enhancement installation, one (1) post-construction inspection and memorandum, and the annual transect monitoring and report for Phase I. The monitoring will be conducted according to the schedule and requirements of the approved *Wetland and Stream Buffer Enhancement Plan Addendum* prepared under Task 200. Upon completion of the field site visit, a technical memorandum conforming to all City requirements will be prepared for submittal to the City. The memorandum will summarize the results of the data collection and compare the results against the site performance standards, as well as provide the City with recommendations for maintenance activities at the site. The rates proposed for this task have been escalated 3.5% for Biologist 1 and Administrative staff, and 5% for Biologist 5 staff.



250.021 GHWWTP Phase II
10/22/2013

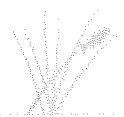
Future monitoring efforts for the buffer enhancement will be negotiated with the City prior to monitoring.

An estimated budget for Task 400 is as follows:

Staff	Rate	Units	Total
Biologist 5	\$132.00	3	\$396.00
Biologist 1	\$90.00	32	\$2,880.00
Administrative	\$75.00	2	\$150.00
Mileage	*	75	\$45.00
Narrows Bridge Toll	\$4.50	3	\$13.50
TOTAL TASK 400			\$3,484.50

TIME AND EXPENSE

Estimated Contract Amount: **\$8,682.00**



**CONSULTANT SERVICES CONTRACT
BETWEEN THE CITY OF GIG HARBOR AND
GRETTE ASSOCIATES LLC**

THIS AGREEMENT is made by and between the City of Gig Harbor, a Washington municipal corporation (the "City"), and Grette Associates LLC, a limited liability company organized under the laws of the State of Washington (the "Consultant").

RECITALS

WHEREAS, the City is presently engaged in WWTP Phase 2 – Habitat and Stream Buffer Mitigation Plan and desires that the Consultant perform services necessary to provide the following consultation services; and

WHEREAS, the Consultant agrees to perform the services more specifically described in the Scope of Work including any addenda thereto as of the effective date of this Agreement, all of which are attached hereto as **Exhibit A – Scope of Work**, and are incorporated by this reference as if fully set forth herein;

NOW, THEREFORE, in consideration of the mutual promises set forth herein, it is agreed by and between the parties as follows:

TERMS

1. **Retention of Consultant - Scope of Work.** The City hereby retains the Consultant to provide professional services as defined in this Agreement and as necessary to accomplish the scope of work attached hereto as **Exhibit A** and incorporated herein by this reference as if set forth in full. The Consultant shall furnish all services, labor and related equipment necessary to conduct and complete the work, except as specifically noted otherwise in this Agreement.

2. **Payment.**

A. The City shall pay the Consultant an amount based on time and materials, not to exceed Eight Thousand Six Hundred Eighty-Two Dollars and Zero Cents (\$8,682.00) for the services described in Section 1 herein. This is the maximum amount to be paid under this Agreement for the work described in **Exhibit A**, and shall not be exceeded without the prior written authorization of the City in the form of a negotiated and executed supplemental agreement. The Consultant's staff and billing rates shall be as described in **Exhibit A – Schedule of Rates and Estimated Hours**. The Consultant shall not bill for Consultant's staff not identified or listed in **Exhibit A** or bill at rates in excess of the hourly rates shown in **Exhibit A**, unless the parties agree to a modification of this Contract, pursuant to Section 17 herein.

B. The Consultant shall submit monthly invoices to the City after such services have been performed, and a final bill upon completion of all the services described in this

Agreement. The City shall pay the full amount of an invoice within forty-five (45) days of receipt. If the City objects to all or any portion of any invoice, it shall so notify the Consultant of the same within fifteen (15) days from the date of receipt and shall pay that portion of the invoice not in dispute, and the parties shall immediately make every effort to settle the disputed portion.

3. Relationship of Parties. The parties intend that an independent contractor-client relationship will be created by this Agreement. As the Consultant is customarily engaged in an independently established trade which encompasses the specific service provided to the City hereunder, no agent, employee, representative or subconsultant of the Consultant shall be or shall be deemed to be the employee, agent, representative or subconsultant of the City. In the performance of the work, the Consultant is an independent contractor with the ability to control and direct the performance and details of the work, the City being interested only in the results obtained under this Agreement. None of the benefits provided by the City to its employees, including, but not limited to, compensation, insurance, and unemployment insurance are available from the City to the employees, agents, representatives, or subconsultants of the Consultant. The Consultant will be solely and entirely responsible for its acts and for the acts of its agents, employees, representatives and subconsultants during the performance of this Agreement. The City may, during the term of this Agreement, engage other independent contractors to perform the same or similar work that the Consultant performs hereunder.

4. Duration of Work. The City and the Consultant agree that work will begin on the tasks described in **Exhibit A** immediately upon execution of this Agreement. The parties agree that the work described in **Exhibit A** shall be completed by March 1, 2014; provided however, that additional time shall be granted by the City for excusable days or extra work.

5. Termination. The City reserves the right to terminate this Agreement at any time upon ten (10) days written notice to the Consultant. Any such notice shall be given to the address specified above. In the event that this Agreement is terminated by the City other than for fault on the part of the Consultant, a final payment shall be made to the Consultant for all services performed. No payment shall be made for any work completed after ten (10) days following receipt by the Consultant of the notice to terminate. In the event that services of the Consultant are terminated by the City for fault on part of the Consultant, the amount to be paid shall be determined by the City with consideration given to the actual cost incurred by the Consultant in performing the work to the date of termination, the amount of work originally required which would satisfactorily complete it to date of termination, whether that work is in a form or type which is usable to the City at the time of termination, the cost of the City of employing another firm to complete the work required, and the time which may be required to do so.

6. Non-Discrimination. The Consultant agrees not to discriminate against any customer, employee or applicant for employment, subcontractor, supplier or materialman, because of race, color, creed, religion, national origin, marital status, sex, sexual orientation, age or handicap, except for a bona fide occupational qualification. The

Consultant understands that if it violates this provision, this Agreement may be terminated by the City and that the Consultant may be barred from performing any services for the City now or in the future.

7. Indemnification.

A. The Consultant agrees to hold harmless, indemnify and defend the City, its officers, agents, and employees, from and against any and all claims, losses, or liability, for injuries, sickness or death of persons, including employees of the Consultant, or damage to property, arising out of any willful misconduct or negligent act, error, or omission of the Consultant, its officers, agents, subconsultants or employees, in connection with the services required by this Agreement; provided, however, that:

1. The Consultant's obligations to indemnify, defend and hold harmless shall not extend to injuries, sickness, death or damage caused by or resulting from the sole willful misconduct or sole negligence of the City, its officers, agents or employees; and

2. The Consultant's obligations to indemnify, defend and hold harmless for injuries, sickness, death or damage caused by or resulting from the concurrent negligence or willful misconduct of the Consultant and the City, or of the Consultant and a third party other than an officer, agent, subconsultant or employee of the Consultant, shall apply only to the extent of the negligence or willful misconduct of the Consultant.

B. It is further specifically and expressly understood that the indemnification provided herein constitutes the consultant's waiver of immunity under industrial insurance, title 51 RCW, solely for the purposes of this indemnification. The parties further acknowledge that they have mutually negotiated this waiver. The consultant's waiver of immunity under the provisions of this section does not include, or extend to, any claims by the consultant's employees directly against the consultant.

C. The provisions of this section shall survive the expiration or termination of this Agreement.

8. Insurance.

A. The Consultant shall procure and maintain for the duration of the Agreement, insurance against claims for injuries to persons or damage to property which may arise from or in connection with the Consultant's own work including the work of the Consultant's agents, representatives, employees, subconsultants or subcontractors.

B. Before beginning work on the project described in this Agreement, the Consultant shall provide evidence, in the form of a Certificate of Insurance, of the following insurance coverage and limits (at a minimum):

1. Business auto coverage for any auto no less than a \$1,000,000 each accident limit, and

2. Commercial General Liability insurance no less than \$1,000,000 per occurrence with a \$2,000,000 aggregate. Coverage shall include, but is not limited to, contractual liability, products and completed operations, property damage, and employers liability, and
3. Professional Liability insurance with no less than \$1,000,000 per occurrence. All policies and coverages shall be by an 'A' rated company licensed to conduct business in the State of Washington. If such coverage is written on a claims made form, then a minimum of a three (3) year extended reporting period shall be included with the claims made policy, and proof of this extended reporting period provided to the City of Gig Harbor.

C. The Consultant is responsible for the payment of any deductible or self-insured retention that is required by any of the Consultant's insurance. If the City is required to contribute to the deductible under any of the Consultant's insurance policies, the Contractor shall reimburse the City the full amount of the deductible within 10 working days of the City's deductible payment.

D. The City of Gig Harbor shall be named as an additional insured on the Consultant's commercial general liability policy. This additional insured endorsement shall be included with evidence of insurance in the form of a Certificate of Insurance for coverage necessary in Section B. The City reserves the right to receive a certified and complete copy of all of the Consultant's insurance policies upon request.

E. Under this Agreement, the Consultant's insurance shall be considered primary in the event of a loss, damage or suit. The City's own comprehensive general liability policy will be considered excess coverage with respect to defense and indemnity of the City only and no other party. Additionally, the Consultant's commercial general liability policy must provide cross-liability coverage as could be achieved under a standard ISO separation of insured's clause.

F. The Consultant shall request from his insurer a modification of the ACORD certificate to include language that prior written notification will be given to the City of Gig Harbor at least 30 days in advance of any cancellation, suspension or material change in the Consultant's coverage.

9. Ownership and Use of Work Product. Any and all documents, drawings, reports, and other work product produced by the Consultant under this Agreement shall become the property of the City upon payment of the Consultant's fees and charges therefore. The City shall have the complete right to use and re-use such work product in any manner deemed appropriate by the City, provided, that use on any project other than that for which the work product is prepared shall be at the City's risk unless such use is agreed to by the Consultant.

10. City's Right of Inspection. Even though the Consultant is an independent contractor with the authority to control and direct the performance and details of the work

authorized under this Agreement, the work must meet the approval of the City and shall be subject to the City's general right of inspection to secure the satisfactory completion thereof. The Consultant agrees to comply with all federal, state, and municipal laws, rules, and regulations that are now effective or become applicable within the terms of this Agreement to the Consultant's business, equipment, and personnel engaged in operations covered by this Agreement or accruing out of the performance of such operations.

11. Records. The Consultant shall keep all records related to this Agreement for a period of three years following completion of the work for which the Consultant is retained. The Consultant shall permit any authorized representative of the City, and any person authorized by the City for audit purposes, to inspect such records at all reasonable times during regular business hours of the Consultant. Upon request, the Consultant will provide the City with reproducible copies of any such records. The copies will be provided without cost if required to substantiate any billing of the Consultant, but the Consultant may charge the City for copies requested for any other purpose.

12. Work Performed at the Consultant's Risk. The Consultant shall take all precautions necessary and shall be responsible for the safety of its employees, agents, and subconsultants in the performance of the work hereunder and shall utilize all protection necessary for that purpose. All work shall be done at the Consultant's own risk, and the Consultant shall be responsible for any loss of or damage to materials, tools, or other articles used or held by the Consultant for use in connection with the work.

13. Non-Waiver of Breach. The failure of the City to insist upon strict performance of any of the covenants and agreements contained herein, or to exercise any option herein conferred in one or more instances shall not be construed to be a waiver or relinquishment of said covenants, agreements, or options, and the same shall be and remain in full force and effect.

14. Resolution of Disputes and Governing Law.

A. Should any dispute, misunderstanding, or conflict arise as to the terms and conditions contained in this Agreement, the matter shall first be referred to the City Engineer or Director of Operations and the City shall determine the term or provision's true intent or meaning. The City Engineer or Director of Operations shall also decide all questions which may arise between the parties relative to the actual services provided or to the sufficiency of the performance hereunder.

B. If any dispute arises between the City and the Consultant under any of the provisions of this Agreement which cannot be resolved by the City Engineer or Director of Operations determination in a reasonable time, or if the Consultant does not agree with the City's decision on the disputed matter, jurisdiction of any resulting litigation shall be filed in Pierce County Superior Court, Pierce County, Washington. This Agreement shall be governed by and construed in accordance with the laws of the State of Washington. The prevailing party in any such litigation shall be entitled to recover its costs, including reasonable attorney's fees, in addition to any other award.

15. **Written Notice.** All notices required to be given by either party to the other under this Agreement shall be in writing and shall be given in person or by mail to the addresses set forth below. Notice by mail shall be deemed given as of the date the same is deposited in the United States mail, postage prepaid, addressed as provided in this paragraph.

CONSULTANT:
Grette Associates LLC
Attn: Scott Maharry
Senior Biologist
2102 North 30th Street, Ste. A
Tacoma, WA 98403
(253) 573-9300

City of Gig Harbor
ATTN: Steve Misiurak
City Engineer
3510 Grandview Street
Gig Harbor, WA 98335
(253) 851-6170

16. **Subcontracting or Assignment.** The Consultant may not assign or subcontract any portion of the services to be provided under this Agreement without the express written consent of the City. If applicable, any subconsultants approved by the City at the outset of this Agreement are named on **Exhibit C** attached hereto and incorporated herein by this reference as if set forth in full.

17. **Entire Agreement.** This Agreement represents the entire integrated agreement between the City and the Consultant, superseding all prior negotiations, representations or agreements, written or oral. This Agreement may be modified, amended, or added to, only by written instrument properly signed by both parties hereto.

IN WITNESS WHEREOF, the parties have executed this Agreement this _____ day of _____, 20____.

CONSULTANT

CITY OF GIG HARBOR

By: _____
Its: _____

By: _____
Mayor Charles L. Hunter

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

**CONSULTANT SERVICES CONTRACT
BETWEEN THE CITY OF GIG HARBOR AND
GRETTE ASSOCIATES LLC**

THIS AGREEMENT is made by and between the City of Gig Harbor, a Washington municipal corporation (the "City"), and Grette Associates LLC, a limited liability company organized under the laws of the State of Washington (the "Consultant").

RECITALS

WHEREAS, the City is presently engaged in WWTP Phase 2 – Habitat and Stream Buffer Mitigation Plan and desires that the Consultant perform services necessary to provide the following consultation services; and

WHEREAS, the Consultant agrees to perform the services more specifically described in the Scope of Work including any addenda thereto as of the effective date of this Agreement, all of which are attached hereto as **Exhibit A – Scope of Work**, and are incorporated by this reference as if fully set forth herein;

NOW, THEREFORE, in consideration of the mutual promises set forth herein, it is agreed by and between the parties as follows:

TERMS

1. **Retention of Consultant - Scope of Work.** The City hereby retains the Consultant to provide professional services as defined in this Agreement and as necessary to accomplish the scope of work attached hereto as **Exhibit A** and incorporated herein by this reference as if set forth in full. The Consultant shall furnish all services, labor and related equipment necessary to conduct and complete the work, except as specifically noted otherwise in this Agreement.

2. **Payment.**

A. The City shall pay the Consultant an amount based on time and materials, not to exceed Eight Thousand Six Hundred Eighty-Two Dollars and Zero Cents (\$8,682.00) for the services described in Section 1 herein. This is the maximum amount to be paid under this Agreement for the work described in **Exhibit A**, and shall not be exceeded without the prior written authorization of the City in the form of a negotiated and executed supplemental agreement. The Consultant's staff and billing rates shall be as described in **Exhibit A – Schedule of Rates and Estimated Hours**. The Consultant shall not bill for Consultant's staff not identified or listed in **Exhibit A** or bill at rates in excess of the hourly rates shown in **Exhibit A**, unless the parties agree to a modification of this Contract, pursuant to Section 17 herein.

B. The Consultant shall submit monthly invoices to the City after such services have been performed, and a final bill upon completion of all the services described in this Agreement. The City shall pay the full amount of an invoice within forty-five (45) days of receipt. If the City objects to all or any portion of any invoice, it shall so notify the

Consultant of the same within fifteen (15) days from the date of receipt and shall pay that portion of the invoice not in dispute, and the parties shall immediately make every effort to settle the disputed portion.

3. **Relationship of Parties.** The parties intend that an independent contractor-client relationship will be created by this Agreement. As the Consultant is customarily engaged in an independently established trade which encompasses the specific service provided to the City hereunder, no agent, employee, representative or subconsultant of the Consultant shall be or shall be deemed to be the employee, agent, representative or subconsultant of the City. In the performance of the work, the Consultant is an independent contractor with the ability to control and direct the performance and details of the work, the City being interested only in the results obtained under this Agreement. None of the benefits provided by the City to its employees, including, but not limited to, compensation, insurance, and unemployment insurance are available from the City to the employees, agents, representatives, or subconsultants of the Consultant. The Consultant will be solely and entirely responsible for its acts and for the acts of its agents, employees, representatives and subconsultants during the performance of this Agreement. The City may, during the term of this Agreement, engage other independent contractors to perform the same or similar work that the Consultant performs hereunder.

4. **Duration of Work.** The City and the Consultant agree that work will begin on the tasks described in **Exhibit A** immediately upon execution of this Agreement. The parties agree that the work described in **Exhibit A** shall be completed by March 1, 2014; provided however, that additional time shall be granted by the City for excusable days or extra work.

5. **Termination.** The City reserves the right to terminate this Agreement at any time upon ten (10) days written notice to the Consultant. Any such notice shall be given to the address specified above. In the event that this Agreement is terminated by the City other than for fault on the part of the Consultant, a final payment shall be made to the Consultant for all services performed. No payment shall be made for any work completed after ten (10) days following receipt by the Consultant of the notice to terminate. In the event that services of the Consultant are terminated by the City for fault on part of the Consultant, the amount to be paid shall be determined by the City with consideration given to the actual cost incurred by the Consultant in performing the work to the date of termination, the amount of work originally required which would satisfactorily complete it to date of termination, whether that work is in a form or type which is usable to the City at the time of termination, the cost of the City of employing another firm to complete the work required, and the time which may be required to do so.

6. **Non-Discrimination.** The Consultant agrees not to discriminate against any customer, employee or applicant for employment, subcontractor, supplier or materialman, because of race, color, creed, religion, national origin, marital status, sex, sexual orientation, age or handicap, except for a bona fide occupational qualification. The Consultant understands that if it violates this provision, this Agreement may be terminated by the City and that the Consultant may be barred from performing any services for the City now or in the future.

7. Indemnification.

A. The Consultant agrees to hold harmless, indemnify and defend the City, its officers, agents, and employees, from and against any and all claims, losses, or liability, for injuries, sickness or death of persons, including employees of the Consultant, or damage to property, arising out of any willful misconduct or negligent act, error, or omission of the Consultant, its officers, agents, subconsultants or employees, in connection with the services required by this Agreement; provided, however, that:

1. The Consultant's obligations to indemnify, defend and hold harmless shall not extend to injuries, sickness, death or damage caused by or resulting from the sole willful misconduct or sole negligence of the City, its officers, agents or employees; and

2. The Consultant's obligations to indemnify, defend and hold harmless for injuries, sickness, death or damage caused by or resulting from the concurrent negligence or willful misconduct of the Consultant and the City, or of the Consultant and a third party other than an officer, agent, subconsultant or employee of the Consultant, shall apply only to the extent of the negligence or willful misconduct of the Consultant.

B. It is further specifically and expressly understood that the indemnification provided herein constitutes the consultant's waiver of immunity under industrial insurance, title 51 RCW, solely for the purposes of this indemnification. The parties further acknowledge that they have mutually negotiated this waiver. The consultant's waiver of immunity under the provisions of this section does not include, or extend to, any claims by the consultant's employees directly against the consultant.

C. The provisions of this section shall survive the expiration or termination of this Agreement.

8. Insurance.

A. The Consultant shall procure and maintain for the duration of the Agreement, insurance against claims for injuries to persons or damage to property which may arise from or in connection with the Consultant's own work including the work of the Consultant's agents, representatives, employees, subconsultants or subcontractors.

B. Before beginning work on the project described in this Agreement, the Consultant shall provide evidence, in the form of a Certificate of Insurance, of the following insurance coverage and limits (at a minimum):

1. Business auto coverage for any auto no less than a \$1,000,000 each accident limit, and
2. Commercial General Liability insurance no less than \$1,000,000 per occurrence with a \$2,000,000 aggregate. Coverage shall include, but is not limited to, contractual liability, products and completed operations, property damage, and employers liability, and
3. Professional Liability insurance with no less than \$1,000,000 per occurrence. All policies and coverages shall be by an 'A' rated

company licensed to conduct business in the State of Washington. If such coverage is written on a claims made form, then a minimum of a three (3) year extended reporting period shall be included with the claims made policy, and proof of this extended reporting period provided to the City of Gig Harbor.

C. The Consultant is responsible for the payment of any deductible or self-insured retention that is required by any of the Consultant's insurance. If the City is required to contribute to the deductible under any of the Consultant's insurance policies, the Contractor shall reimburse the City the full amount of the deductible within 10 working days of the City's deductible payment.

D. The City of Gig Harbor shall be named as an additional insured on the Consultant's commercial general liability policy. This additional insured endorsement shall be included with evidence of insurance in the form of a Certificate of Insurance for coverage necessary in Section B. The City reserves the right to receive a certified and complete copy of all of the Consultant's insurance policies upon request.

E. Under this Agreement, the Consultant's insurance shall be considered primary in the event of a loss, damage or suit. The City's own comprehensive general liability policy will be considered excess coverage with respect to defense and indemnity of the City only and no other party. Additionally, the Consultant's commercial general liability policy must provide cross-liability coverage as could be achieved under a standard ISO separation of insured's clause.

F. The Consultant shall request from his insurer a modification of the ACORD certificate to include language that prior written notification will be given to the City of Gig Harbor at least 30 days in advance of any cancellation, suspension or material change in the Consultant's coverage.

9. Ownership and Use of Work Product. Any and all documents, drawings, reports, and other work product produced by the Consultant under this Agreement shall become the property of the City upon payment of the Consultant's fees and charges therefore. The City shall have the complete right to use and re-use such work product in any manner deemed appropriate by the City, provided, that use on any project other than that for which the work product is prepared shall be at the City's risk unless such use is agreed to by the Consultant.

10. City's Right of Inspection. Even though the Consultant is an independent contractor with the authority to control and direct the performance and details of the work authorized under this Agreement, the work must meet the approval of the City and shall be subject to the City's general right of inspection to secure the satisfactory completion thereof. The Consultant agrees to comply with all federal, state, and municipal laws, rules, and regulations that are now effective or become applicable within the terms of this Agreement to the Consultant's business, equipment, and personnel engaged in operations covered by this Agreement or accruing out of the performance of such operations.

11. **Records.** The Consultant shall keep all records related to this Agreement for a period of three years following completion of the work for which the Consultant is retained. The Consultant shall permit any authorized representative of the City, and any person authorized by the City for audit purposes, to inspect such records at all reasonable times during regular business hours of the Consultant. Upon request, the Consultant will provide the City with reproducible copies of any such records. The copies will be provided without cost if required to substantiate any billing of the Consultant, but the Consultant may charge the City for copies requested for any other purpose.

12. **Work Performed at the Consultant's Risk.** The Consultant shall take all precautions necessary and shall be responsible for the safety of its employees, agents, and subconsultants in the performance of the work hereunder and shall utilize all protection necessary for that purpose. All work shall be done at the Consultant's own risk, and the Consultant shall be responsible for any loss of or damage to materials, tools, or other articles used or held by the Consultant for use in connection with the work.

13. **Non-Waiver of Breach.** The failure of the City to insist upon strict performance of any of the covenants and agreements contained herein, or to exercise any option herein conferred in one or more instances shall not be construed to be a waiver or relinquishment of said covenants, agreements, or options, and the same shall be and remain in full force and effect.

14. **Resolution of Disputes and Governing Law.**

A. Should any dispute, misunderstanding, or conflict arise as to the terms and conditions contained in this Agreement, the matter shall first be referred to the City Engineer or Director of Operations and the City shall determine the term or provision's true intent or meaning. The City Engineer or Director of Operations shall also decide all questions which may arise between the parties relative to the actual services provided or to the sufficiency of the performance hereunder.

B. If any dispute arises between the City and the Consultant under any of the provisions of this Agreement which cannot be resolved by the City Engineer or Director of Operations determination in a reasonable time, or if the Consultant does not agree with the City's decision on the disputed matter, jurisdiction of any resulting litigation shall be filed in Pierce County Superior Court, Pierce County, Washington. This Agreement shall be governed by and construed in accordance with the laws of the State of Washington. The prevailing party in any such litigation shall be entitled to recover its costs, including reasonable attorney's fees, in addition to any other award.

15. **Written Notice.** All notices required to be given by either party to the other under this Agreement shall be in writing and shall be given in person or by mail to the addresses set forth below. Notice by mail shall be deemed given as of the date the same is deposited in the United States mail, postage prepaid, addressed as provided in this paragraph.

CONSULTANT:
Grette Associates LLC

City of Gig Harbor
ATTN: Steve Misiurak

Attn: Scott Maharry
Senior Biologist
2102 North 30th Street, Ste. A
Tacoma, WA 98403
(253) 573-9300

City Engineer
3510 Grandview Street
Gig Harbor, WA 98335
(253) 851-6170

16. Subcontracting or Assignment. The Consultant may not assign or subcontract any portion of the services to be provided under this Agreement without the express written consent of the City. If applicable, any subconsultants approved by the City at the outset of this Agreement are named on **Exhibit C** attached hereto and incorporated herein by this reference as if set forth in full.

17. Entire Agreement. This Agreement represents the entire integrated agreement between the City and the Consultant, superseding all prior negotiations, representations or agreements, written or oral. This Agreement may be modified, amended, or added to, only by written instrument properly signed by both parties hereto.

IN WITNESS WHEREOF, the parties have executed this Agreement this _____ day of _____, 20_____.

CONSULTANT

CITY OF GIG HARBOR

By: _____
Its: _____

By: _____
Mayor Charles L. Hunter

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

RECEIVED

SEP 16 2013

CITY OF GIG HARBOR



STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY

Northwest Regional Office • 3190 160th Ave SE • Bellevue, WA 98008-5452 • 425-649-7000
711 for Washington Relay Service • Persons with a speech disability can call 877-833-6341

September 12, 2013

Chuck Hunter, Mayor
City of Gig Harbor
3510 Grandview St
Gig Harbor, WA 98335

Re: Outstanding Wastewater Treatment Plant Award for the Gig Harbor Wastewater Treatment Plant under National Pollutant Discharge Elimination System (NPDES) Permit #WA0023957

Dear Mayor Hunter:

Congratulations on receiving the Outstanding Wastewater Treatment Plant Award for 2012. The Department of Ecology's Northwest Regional Office commends the City of Gig Harbor for the superior performance of its wastewater treatment plant. The outstanding record of the Gig Harbor Wastewater Treatment Plant places it among the top municipal wastewater treatment plants in Washington.

We recognize that achieving this award is not an easy task. It takes hard work and dedication from everyone in the organization. From the operations and maintenance staff at the plant to the organization's engineering, administrative support and management staff, all play a vital role in ensuring the plant complies with the terms and conditions of your NPDES permit. Ecology appreciates the Gig Harbor Wastewater Treatment Plant team's commitment.

Successfully operating and maintaining a wastewater treatment plant in top-running order 24-hours a day, 365-days a year also takes strong support from the community it serves. This award not only acknowledges the hard work of the plant staff, it also recognizes the commitment the community makes to effective wastewater treatment. Ecology and the State of Washington are grateful for your community's contribution to safeguarding the valuable environmental, social, and economic benefits of the Colvos Passage, Puget Sound. We look forward to continuing excellence in the years to come.

Please present the enclosed plaque to the operating staff of the treatment plant.

Thank you for working with us to protect Washington State's water quality.

Sincerely,

Kevin C. Fitzpatrick
Water Quality Section Manager

cc: Darrell Winans, WWTP Supervisor
Steve Misiurak, City Engineer
Norine Landon, Senior Operator
Jeff Langhelm, Public Works Director
Amy Jankowiak, Ecology Compliance Specialist
Mike Dawda, Ecology Permit Manager
Central Files: City of Gig Harbor Wastewater Treatment Plant; Permit No. WA0023957; WQ 7.1





**Business of the City Council
City of Gig Harbor, WA**

Subject: Second Reading of Ordinance – Public Works Standards Update

Proposed Council Action: Adopt Ordinance No. 1273 for the update of the Public Works Standards.

Dept. Origin: Public Works

Prepared by: Jeff Langhelm

For Agenda of: October 28, 2013

Exhibits: Ordinance, Final Draft Public Works Standards

Initial &
Date

Concurred by Mayor:

CH 10/24/13

Approved by City Administrator:

R 10/23/13

Approved as to form by City Atty:

Comment

Approved by Finance Director:

JP 10/23/13

Approved by Department Head:

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
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INFORMATION/BACKGROUND

The City of Gig Harbor originally adopted the 1993 version of the Public Works Standards under the direction of the Director of Public Works, Ben Yazici. The adoption occurred through council action in 1994 (Res. No. 403) and was eventually re-adopted by ordinance (Ord. No. 712) in January 1996. Public Works Staff has since seen the need to update sections of the 1993 Standards to implement current City policies and construction and engineering practices.

Some minor amendments to the 1993 Standards requiring immediate attention occurred as the years advanced. These amendments have resulted in Standards that are fragmented as they have not been incorporated in a single comprehensive published document. The result is a document that is cumbersome to read and implement. This fragmentation, along with continued developments in engineering, construction, and City policies, compelled the creation of the proposed 2014 Public Works Standards.

The 2014 Standards provide for current engineering principles and practices, such as traffic control devices, wastewater pumping, record drawing standards, and back flow prevention. The 2014 Standards also allow or require the incorporation of improved construction materials and techniques. This includes use of recycled materials, energy conserving equipment such as LED elements, pavement marking materials, and computer-based infrastructure mapping. Lastly, the 2014 Standards memorialize and clarify policies set by elected officials and Public Works Staff, including process to obtain water and sewer service, establishment of a visible identity of the

City (unique cross walks, street lights, etc.), relocation of existing utilities, and defining private ownership of travel ways.

The City submitted the 2014 Standards for SEPA review and received a SEPA Determination of Non-Significance on August 28, 2013. The City subsequently provided a copy of the draft Public Works Standards to the Washington State Department of Commerce for review as a development regulation amendment in accordance with RCW 36.70A.106.

The 2014 Standards were then posted to the City's website and Staff requested public comment on the document. Notice of the comment period was posted to the City's website, emailed to owners of the 1993 Standards, advertised in the Daily Journal of Commerce, advertised in the Tacoma News Tribune, and advertised in the Peninsula Gateway.

Any amendment to the City's Public Works Standards must be adopted by ordinance. Therefore the attached ordinance includes relevant amendments to the Gig Harbor Municipal Code allowing for adoption of the 2014 Standards effective January 1, 2014. This date was selected to give developers, engineers, and Staff time to prepare for the transition to new standards.

Due to the size of the document, the 2014 Standards are available for review either on line (<http://www.cityofgigharbor.net/page.php?id=1771>) or in print at the Civic Center. One hard copy of the draft is available at the Council Office next to the City Clerk and one hard copy is on file with the City Clerk.

FISCAL CONSIDERATION

The proposed Public Works Standards will likely not cost the City more to implement. However, due to ongoing improvements to construction materials and engineering principles and practices, many materials and practices will cost more to construct. Those additional costs will be paid by developers, utilities, and the City as a cost of construction.

BOARD OR COMMITTEE RECOMMENDATION

This topic was presented at the April meeting of the Operations and Public Projects Committee. The revisions requested by the Committee were incorporated into the attached Final Draft Public Works Standards

RECOMMENDATION/MOTION

Adopt Ordinance No. 1273 for the update of the Public Works Standards.

ORDINANCE NO. 1273

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO PUBLIC WORKS STANDARDS; REPEALING THE CURRENT PUBLIC WORKS STANDARDS AND ADOPTING NEW PUBLIC WORKS STANDARDS FOR NEW DEVELOPMENT IN THE CITY; AMENDING CHAPTERS 12.06 AND 12.16 OF THE GIG HARBOR MUNICIPAL CODE; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City adopted the current Public Works Standards (Standards) in 1994 by Resolution No. 403 and re-adopted the same document in 1996 by Ordinance No.712; and

WHEREAS, Public Works Staff has seen the need to update sections of the current Standards to implement current City policies, engineering principles and practices, and construction techniques; and

WHEREAS, the City submitted the draft 2014 Standards for SEPA review and received a SEPA Determination of Non-Significance on August 28, 2013; and

WHEREAS, the City subsequently provided a copy of the draft 2014 Standards to the Washington State Department of Commerce for review as a development regulation amendment in accordance with RCW 36.70A.106, whereby the 60 day notice period ends on October 27, 2013; and

WHEREAS, the draft 2014 Standards was posted to the City's website and public comment on the document was requested with notice of the comment period posted to the City's website, emailed to owners of the 1993 Standards, advertised in the Daily

Journal of Commerce, advertised in the Tacoma News Tribune, and advertised in the Peninsula Gateway; and

WHEREAS, the City Council held a public hearing on October 14, 2013, and considered this Ordinance during its regular City Council meetings on October 14, 2013 and October 28, 2013; NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Chapter 12.06 of the Gig Harbor Municipal Code is hereby amended to read as follows:

12.06.010 Purpose.

The purpose of this code is to:

- A. Establish a permit process for submittal, review, and issuance of a permit for construction of civil improvements not already required by Chapter 12.02 GHMC and Chapter 14.40 GHMC; and
- B. Provide for inspection and maintenance of civil construction activities to ensure an effective and functional water system, wastewater system, transportation system, and stormwater drainage system; and
- ~~C. Establish provisions for the recording of civil construction activities.~~

12.06.020 Definitions.

For the purposes of this chapter, the definitions listed under this section shall be construed as specified in this section:

“Civil construction activity” means manmade action to install or create civil improvements.

“Civil engineer” means a professional engineer licensed to practice in the state of Washington in civil engineering.

“Civil improvement” means a manmade object or entity that benefits humankind or mitigates the impact of humankind, including, but not limited to, motorized and

nonmotorized ways of travel, street lighting, stormwater facilities, underground utilities, and overhead utilities, both public and private.

“Development” means any manmade change to improved or unimproved real estate including, but not limited to, buildings or other structures, utilities, placement of manufactured home/mobile home, mining, dredging, clearing, filling, grading, paving, excavation, drilling operations, or the subdivision of property.

“Public Works Standards” is the document adopted in Chapter 12.16 GHMC.

12.06.060 Variances.

The director may grant a variance from the provisions of this code in accordance with the variance process outlined in the Public Works Standards; provided, that all criteria are met as adopted in GHMC 12.16.010

12.06.070 Permit requirements.

The director shall establish requirements for the submittal of civil permits, subject to the following criteria:

A. Each applicant shall first file a written permit application on a form furnished by the city for that purpose.

B. All ~~site-development activities~~ and civil construction activity shall comply with the ~~standards, specifications~~ Public Works Standards and requirements contained in GHMC Titles 12, 13, and 14.

C. Before accepting a permit application, the permit authority shall collect a permit fee. Such fee shall be determined according to the standard fee schedule approved by the city council by resolution.

D. The director shall establish a checklist demonstrating the information that shall be provided by the applicant for review of a civil permit.

E. Time Limitation on Permit Application. An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing and expired, unless such application has been pursued in good faith or a permit has been issued; except that the director is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing with justifiable cause demonstrated.

F. Time Limitation on Approved Civil Permit. A civil permit that has been approved more than 180 days before construction begins (i.e., a preconstruction

meeting scheduled and inspection fees paid) shall be subject to an additional review prior to commencement of construction based on the hourly rate as established for third submittal.

G. Time Limitation on Approved Civil Permit under Construction. A civil permit that has been approved and construction related to the permit has begun (i.e., a preconstruction meeting has been held and inspection fees paid) shall expire 180 days after construction has begun unless such construction has been pursued in good faith; except that the director is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing with justifiable cause demonstrated.

~~H. Record Drawings. The applicant shall provide to the city both a final record drawing and a final record survey of the proposed development, each in both mylar format and digital format. These drawings shall be have the seal of a civil engineer and be provided after the city accepts the construction improvements shown on the civil plans but prior to any certificate of occupancy for any buildings or structures located on the site plan. The digital format of the drawings shall be in AutoCAD compatible file and include all improvements in the right of way and all stormwater, water, and sewer utilities. The horizontal datum shall be NAD 1983 HARN State Plane South FIPS 4602 feet, or as otherwise approved by the director. The vertical datum shall be NGVD 29, or as otherwise approved by the director.~~

Section 2. Chapter 12.16 of the Gig Harbor Municipal Code is hereby amended to read as follows:

12.16.010 Adopted.

Those certain guidelines and standards entitled "Public Works Standards" for the city of Gig Harbor, published in 1994 2014 and adopted by Ordinance No. _____ ~~Resolution No. 403~~, are hereby adopted as the official public works standards for use on all development projects within the city of Gig Harbor and shall be used for all development projects located within the city of Gig Harbor's service areas, annexation areas, or planning areas to the extent that the city has the authority to require such guidelines and standards.

~~12.16.015 Chapter 3 repealed.~~⁴

~~Chapter 3, "Storm Drainage," of the Gig Harbor public works standards as adopted in GHMC 12.16.010 is hereby repealed.~~

Section 3. Severability. If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, clause or phrase of this Ordinance.

Section 4. Effective Date. This ordinance shall take effect and be in full force on January 1, 2014 after passage and publication of an approved summary consisting of the title.

PASSED by the Council and approved by the Mayor of the City of Gig Harbor this 28th day of October, 2013.

CITY OF GIG HARBOR

CHARLES L. HUNTER, MAYOR

ATTEST/AUTHENTICATED:

By: _____
MOLLY TOWSLEE, CITY CLERK

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY:

By: _____
ANGELA S. BELBECK

FILED WITH THE CITY CLERK:
PASSED BY THE CITY COUNCIL:
PUBLISHED:
EFFECTIVE DATE: 01/01/2014
ORDINANCE NO. 1273



**Business of the City Council
City of Gig Harbor, WA**

Subject: Second Reading of Ordinance No. 1274 - Land Use Permit Extensions.

Proposed Council Action: Adopt ordinance

Dept. Origin: Planning

Prepared by: Jennifer Kester, Planning Director *JK*

For Agenda of: October 28, 2013

Exhibit: Draft Ordinance, Ordinance 1225

	Initial & Date
Concurred by Mayor:	<i>CKH 10/21/13</i>
Approved by City Administrator:	<i>R 10/21/13</i>
Approved as to form by City Atty:	<i>email 10/7/13</i>
Approved by Finance Director:	<i>N/A</i>
Approved by Department Head:	<i>JK 10/21/13</i>

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
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On August 10, 2009, the City Council passed Ordinance 1167 which allowed for the extension of land use permit expirations for two years. Land use permits that would have ordinarily expired in 2009 and 2010 were extended until November 2011. On October 24, 2011, the City Council passed Ordinance 1225 which allowed for the extension of land use permit expirations for two years to November 30, 2013. Six land use permits that were approved between 2006 and 2009 have been granted extensions of their permit expiration to this date.

Earlier in September, the planning staff and Council members on the Planning and Building Committee were approached by a property owner who received extensions under both ordinances for a permit that would have expired in 2010. The owner requested the City Council consider another extension for up to two years. In October, the planning staff received verbal and written requests for extensions from holders of three other permits.

At the September 23rd City Council meeting, the Council directed staff to prepare an ordinance that would provide for an additional two-year extension for only those permits that were previously granted extensions under Ord. 1225.

Also at the September 23rd meeting, the Council was concerned about the potential negative stormwater impacts that could occur if the City allowed projects vested to a previous stormwater manual to be constructed. Staff does not believe that significant impacts will occur such that we need to require compliance with the new manual. Both the old and new stormwater manuals limit post-developed release rates of water from detention facilities to be no more than pre-developed

release rates. The old manual limits release rates based on statistical rain event reoccurrence and existing conditions (which may include impervious areas) while the new manual limits release rates based on historical rain events and forested conditions. The end result will be higher release rates from facilities designed under the old manual, especially when the existing conditions include impervious areas. However, facilities designed under the old manual do provide significant reductions to flow rates and severe flooding due to releases from such facilities are unlikely.

FISCAL CONSIDERATION

None

BOARD OR COMMITTEE RECOMMENDATION

None

RECOMMENDATION/MOTION

Adopt ordinance.

ORDINANCE NO. 1274

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO DEVELOPMENT PERMIT EXTENSIONS; AUTHORIZING THE PLANNING DIRECTOR TO GRANT A TEMPORARY EXTENSION OF THE EXPIRATION OF CERTAIN DEVELOPMENT RELATED APPROVALS AND PERMITS PREVIOUSLY GRANTED EXTENSIONS IN RESPONSE TO THE LOCAL, REGIONAL AND NATIONAL ECONOMIC RECESSION; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the severe downturn in the local, regional, and national housing and commercial markets, reduced demand for new housing, tightening credit market, and difficulty obtaining the financing for development projects have resulted in a situation where developers are unable to finalize development projects in a timely manner; and

WHEREAS, in order to prevent the expiration of development approvals granted during the economic downturn, extensions of the expiration dates of certain development related approvals are needed; and

WHEREAS, the expiration of a development approval can have significant financial impacts to a developer and also adversely affects the financial institutions and other investors which have provided financing in support of a development proposal; and

WHEREAS, construction related activity is a significant tax generator and provides much needed revenue to local governments to finance public safety and other needed public services; and

WHEREAS, the Gig Harbor Municipal code allows for the extension of the expiration date of development related approvals and permits, but such existing extensions have been shown to be insufficient to accommodate the length and scope of the economic recession; and

WHEREAS, the Gig Harbor City Council finds that it is in the best interest of citizens of Gig Harbor and the local economy to temporarily grant extensions of the expiration dates for certain development related approvals and permits that were previously granted extensions; and

WHEREAS, the in 2009 the City passed Ordinance 1167 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2011; and

WHEREAS, due to the length of the economic downturn the Gig Harbor City Council found that an additional two years was warranted and in 2011 the City passed Ordinance No. 1225 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2013; and

WHEREAS, six projects were granted extensions under Ordinance No. 1225 and none of those six have been able to submit construction permits due to the slow recovery of the economy; and

WHEREAS, the City Council finds that an additional two years is warranted for those project that were previous granted extension under Ordinance No. 1225 for the reasons set forth in this ordinance; and

WHEREAS, the City's SEPA Responsible Official determined that this Ordinance is categorically exempt from SEPA, pursuant to WAC 197-11-800(19); and

WHEREAS, pursuant to RCW 36.70A.106, the City forwarded a copy of this Ordinance to the Washington State Department of Commerce on October 2, 2013 was granted expedited review on October 21, 2013; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on October 14, 2013; and

WHEREAS, on _____, the City Council adopted this Ordinance at second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Findings. The Gig Harbor City Council makes the following findings:

A. That the severe housing and commercial market downturn coupled with the tightening of credit markets significantly impacted the construction industry and posed a threat to the local economy and the general public health, safety and welfare due to reductions in construction-related taxes and revenues and loss of construction related jobs; and

B. That long term affect of these conditions requires actions to be taken to allow for the continued extension of certain existing development related approvals that were previously granted extension; and

C. That such extensions will benefit the local economy by helping to protect the construction industry from the significant financial losses associated

with expired development approvals and permits, including the loss of real estate entitlements, and will better enable the local construction industry to recover as the economy improves.

Section 2. Temporary Extensions.

A. Authority. Based on the above findings, the City Council hereby authorizes the Planning Director to extend the expiration date until November 30, 2015 for permits previously granted extensions under Ordinance 1225.

B. Request for Extension of Development Related Approvals and Permits. A holder of the above-identified development related permits or approvals may submit a written request to the Gig Harbor Planning Director for an extension of the holder's approval or permit no later than five business days prior to expiration of the subject development related approval or permit.

C. Final Decision. Decisions of the Planning Director made pursuant to the provisions of this Ordinance shall be final and not subject to appeal to the Hearing Examiner.

Section 3. No Codification. The provisions of this Ordinance are temporary in nature and shall not be codified.

Section 4. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance. To the extent the provisions of this Ordinance are found to be inconsistent with other provisions of the Gig Harbor Municipal Code, this Ordinance is deemed to control.

Section 5. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title

PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this _____ day of _____, 2013.

CITY OF GIG HARBOR

Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:

Molly M. Towslee, City Clerk

APPROVED AS TO FORM:
Office of the City Attorney

FILED WITH THE CITY CLERK:
PASSED BY THE CITY COUNCIL:
PUBLISHED:
EFFECTIVE DATE:
ORDINANCE NO:

ORDINANCE NO. 1225

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO DEVELOPMENT PERMIT EXTENSIONS; AUTHORIZING THE PLANNING DIRECTOR TO GRANT A TEMPORARY EXTENSION OF THE EXPIRATION OF CERTAIN DEVELOPMENT RELATED APPROVALS AND PERMITS IN RESPONSE TO THE LOCAL, REGIONAL AND NATIONAL ECONOMIC RECESSION; PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the severe downturn in the local, regional, and national housing and commercial markets, reduced demand for new housing, tightening credit market, and difficulty obtaining the financing for development projects have resulted in a situation where developers are unable to finalize development projects in a timely manner; and

WHEREAS, in order to prevent the expiration of development approvals during the economic downturn, extensions of the expiration dates of certain development related approvals are needed; and

WHEREAS, the expiration of a development approval can have significant financial impacts to a developer and also adversely affects the financial institutions and other investors which have provided financing in support of a development proposal; and

WHEREAS, construction related activity is a significant tax generator and provides much needed revenue to local governments to finance public safety and other needed public services; and

WHEREAS, the Gig Harbor Municipal code allows for the extension of the expiration date of development related approvals and permits, but such existing extensions will likely be insufficient to accommodate the length and scope of the economic recession; and

WHEREAS, maintaining the viability of development approvals will also help to ensure that the development industry is in a position to respond more quickly once favorable economic conditions return; and

WHEREAS, the Gig Harbor City Council finds that it is in the best interest of citizens of Gig Harbor and the local economy to temporarily grant extensions of the expiration dates for certain development related approvals and permits; and

WHEREAS, the in 2009 the City passed Ordinance 1167 which granted extensions of the expiration dates for certain development related approvals and permits until November 30, 2011 and due to the continued economic downturn the Gig Harbor City Council finds that an additional two years is warranted for the reasons set forth in this ordinance; and

WHEREAS, the City's SEPA Responsible Official determined that this Ordinance is categorically exempt from SEPA, pursuant to WAC 197-11-800(19); and

WHEREAS, pursuant to RCW 36.70A.106, the City forwarded a copy of this Ordinance to the Washington State Department of Commerce on September 28, 2011; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on October 10, 2011; and

WHEREAS, on October 24, 2011, the City Council adopted this Ordinance at second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON,
ORDAINS AS FOLLOWS:

Section 1. Findings. The Gig Harbor City Council makes the following findings:

A. That the severe housing and commercial market downturn coupled with the tightening of credit markets has significantly impacted the construction industry and poses a threat to the local economy and the general public health, safety and welfare due to reductions in construction-related taxes and revenues and loss of construction related jobs; and

B. That these conditions require actions to be taken to allow for the extension of certain existing development related approvals that would likely expire due to the economic downturn; and

C. That such action will benefit the local economy by helping to protect the construction industry from the significant financial losses associated with expired development approvals and permits, including the loss of real estate entitlements, and will better enable the local construction industry to recover as the economy improves.

Section 2. Temporary Extensions.

A. Authority. Based on the above findings, the City Council hereby authorizes the Planning Director to extend the expiration date of the below-identified development related approvals and permits to November 30, 2013.

1. Binding site plans approved under chapter 16.11 GHMC.
2. Conditional use permits approved under chapter 17.64 GHMC.
3. Variances approved under chapter 17.66 GHMC.
4. Performance-based height exceptions approved under chapter 17.67 GHMC.
5. Nonconforming use and structure review approved under chapter 17.68 GHMC.
6. Planned unit developments approved under chapter 17.90 GHMC.
7. Site plans approved under chapter 17.96 GHMC.
8. Design review approved under chapter 17.98 GHMC.
9. Reasonable use exceptions approved under chapter 18.08 GHMC.
10. Alternative landscape plan approved under Chapter 17.78 GHMC.

B. Request for Extension of Development Related Approvals and Permits. A holder of the above-identified development related permits or approvals may submit a written request to the Gig Harbor Planning Director for an extension of the holder's approval or permit no later than five business days prior to expiration of the subject development related approval or permit. Holders of the above-identified development related permit approvals which received an extension under Ordinance 1167 may request a second extension using the procedures contained in this ordinance. The time period during which a holder of a development related approval or permit may apply for a temporary extension shall sunset on December 31, 2011; provided, however, that any temporary extension granted pursuant to this Ordinance prior to the sunset date shall remain in effect for the duration of the extension.

C. Final Decision. Decisions of the Planning Director made pursuant to the provisions of this Ordinance shall be final and not subject to appeal to the Hearing Examiner.


Section 3. No Codification. The provisions of this Ordinance are temporary in nature and shall not be codified.

Section 4. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance. To the extent the provisions of this Ordinance are found to be inconsistent with other provisions of the Gig Harbor Municipal Code, this Ordinance is deemed to control.

Section 5. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title

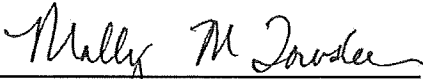
PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this 24th day of October, 2011.

CITY OF GIG HARBOR




Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:



Molly M. Towslee, City Clerk

APPROVED AS TO FORM:
Office of the City Attorney



Angela S. Belbeck

FILED WITH THE CITY CLERK: 10/05/11
PASSED BY THE CITY COUNCIL: 10/24/11
PUBLISHED: 11/02/11
EFFECTIVE DATE: 11/07/11
ORDINANCE NO: 1225



**Business of the City Council
City of Gig Harbor, WA**

Subject: Second Reading - Downtown Waterfront Building Size and Height Amendments.

Proposed Council Action: Deliberate on the proposed amendments. The Council may take any of the following actions:

- Adopt ordinance as written
- Adopt ordinance with portions removed
- Deny amendments
- Direct staff to bring back all or a portion of the ordinance for third reading on November 12, 2013 for continued deliberation.

Dept. Origin: Planning

Prepared by: Jennifer Kester, Planning Director *JK*

For Agenda of: October 28, 2013

Exhibit: Draft Ordinance, Planning Commission Recommendation Packet

Concurred by Mayor:

Approved by City Administrator:

Approved as to form by City Atty:

Approved by Finance Director:

Approved by Department Head:

Initial & Date
CLH 10/21/13
R 10/21/13
email 10/21/13
N/A
JK 10/21/13

Expenditure Required	\$0	Amount Budgeted	\$0	Appropriation Required	\$0
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INFORMATION/BACKGROUND

This summer, the City Council considered a series of Planning Commission proposed amendments regarding building size and height in the downtown and waterfront areas. After a public hearing and three readings of the ordinance, the City Council passed the amendments related to the Downtown Business district (Ord. 1268, Adopted 9/9/13). The Council decided to reconsider the amendments affecting waterfront zones in order to allow for additional public comment. Staff was directed to hold an open house on October 14th prior to the City Council meeting and prepare a draft ordinance for consideration at a public hearing and first reading during that Council meeting.

An open house occurred prior to the October 14th Council meeting where approximately 80 people were in attendance. A public hearing followed at the City Council meeting during the first reading of the ordinance; approximately 30 people testified and numerous people submitted written comments. Open house and public hearing presentations can be seen at www.GigHarborPlanning.com

At this second reading, the Council should consider the public comments and deliberate on the amendments specific to the waterfront zones described below. The Council may take any of the actions described above. A link to the written public comment received on this amendment can be found on the Council Agenda for this meeting at <http://www.cityofgigharbor.net/events.php>.

Proposed Waterfront Building Size and Height Amendments: The following amendments would apply to the Waterfront Commercial (WC) zoning district that abuts the DB district (Skansie Brothers Park to the Green Turtle restaurant)

- A. **Additional Interior Gross Floor Area:** For existing buildings, additional gross floor area could be added above the maximum allowed by the zoning district provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications are allowed provided they do not exceed the maximum building height allowed in the underlying zone.
- B. **Remodeling and Rebuilding Nonconforming Buildings:** Nonconforming buildings can be remodeled or torn down and rebuilt to the same or smaller configuration. Non-historic registry eligible buildings must meet the Design Manual requirements. All work on historic registry eligible or registered nonconforming buildings must meet specific Design Manual requirements for historic structures.
- C. **Two-Story Building Allowance:** Increase the maximum building height in the City's downtown area in order to allow flat-roof, two-story buildings in the City's downtown. All buildings would be allowed to be 27 feet high as measured from the building footprint at the uphill and downhill facades.

Proposed Waterfront Residential Amendments: The following amendment would apply to residential buildings in all waterfront zones (WR, WM and WC)

- D. For residential buildings in waterfront zones, the 18-foot uphill height limit measurement point would move from the building setback line to the property line abutting the street ROW. In addition the front yard setback would reduce to 6 feet for the porch, 12 feet for the house and 18 feet for the garage.

FISCAL CONSIDERATION

None

BOARD OR COMMITTEE RECOMMENDATION

The Planning Commission began review of these amendments in June of 2012. The Planning Commission participated in the Harbor Vision town hall meetings; conducted a walking tour of downtown; and, held 16 work-study sessions, an open house and three public hearings. The Planning Commission feels these code amendments fit within the existing character of downtown, the existing comprehensive plan policies and existing regulatory framework. Furthermore, the proposed amendments provide additional flexibility to allow for the revitalization of downtown while maintaining its character.

Please see enclosed Planning Commission Recommendation Packet for formal recommendation notices.

RECOMMENDATION/MOTION

Deliberate on the proposed amendments. The Council may take any of the following actions:

- Adopt ordinance as written
- Adopt ordinance with portions removed
- Deny amendments
- Direct staff to bring back all or a portion of the ordinance for third reading on November 12, 2013 for continued deliberation.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO ZONING; ALLOWING INTERIOR ONLY GROSS FLOOR AREA ADDITIONS TO EXISTING BUILDINGS ABOVE GROSS FLOOR AREA MAXIMUMS AND ALLOWING NONCONFORMING BUILDINGS TO BE REMODELED OR REBUILT TO THE SAME OR SMALLER ENVELOPE IN THE WATERFRONT COMMERCIAL (WC) DISTRICT ABUTTING DOWNTOWN BUSINESS DISTRICT; REDUCING THE FRONT YARD SETBACKS AND MOVING THE HEIGHT MEASUREMENT POINT TO THE RIGHT-OF-WAY FOR RESIDENTIAL BUILDINGS IN THE WATERFRONT ZONES; ALLOWING BUILDINGS IN THE WATERFRONT COMMERCIAL (WC) DISTRICT ABUTTING DOWNTOWN BUSINESS DISTRICT TO BE 27-FEET HIGH AS MEASURED FROM NATURAL AND FINISHED GRADE AT THE BUILDING FOOTPRINT WITH STEPPED-DOWN ROOFS ON SLOPED LOTS; AMENDING SECTIONS 17.50.040, 17.68.040, 17.99.320 AND 17.99.510 OF THE GIG HARBOR MUNICIPAL CODE; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, in March 2012, the City Council directed the Planning Commission to review and identify Codes that inhibit the preservation of character-defining historic buildings in the downtown as part of the downtown preservation and revitalization planning effort; and

WHEREAS, beginning in 2012, the Planning Commission began reviewing potential amendments, conducted a walk tour of downtown Gig Harbor and participated in two town hall meetings focused on the vision for downtown; and

WHEREAS, on December 10th, 2012, the City Council adopted Resolution No. 920, The Harbor Vision Statement for the downtown area; and,

WHEREAS, over the course of eleven months, the Planning Commission held 16 work-study sessions and one open house on a series of potential amendments for the downtown including amendments in the DB and waterfront zones; and,

WHEREAS, on December 6, 2012, the Planning Commission held a public hearing on two potential amendments related to downtown building size in the Waterfront Commercial (WC) District; and

WHEREAS, after considering public comment on the proposed downtown building size amendments, the Planning Commission made a formal recommendation on January 17, 2013 to amend downtown building size regulations to allow interior gross floor area additions and allow buildings to be torn down and rebuilt to the existing building envelopes; and

WHEREAS, on March 21, 2013, the Planning Commission held a public hearing on a proposal to increase the building height in the WC district. After considering public testimony, the commission recommended on May 2, 2013 to increase in maximum building height; and

WHEREAS, on April 11, 2013, the Planning Commission held a public hearing on a proposal to decrease the front setbacks and change the height measurement point for residential uses in the waterfront zones. After considering public testimony, the commission recommended approval of such amendments on May 2, 2013; and

WHEREAS, On June 3, 2013, the City Council held a joint meeting with the Planning Commission to review the recommended amendments; and

WHEREAS, at the direction of Council at joint meeting, the Planning Commission recommended additional language be added to require that building permits for remodels or rebuilds of any nonconforming building be submitted within 12 month of removal/damage in order to be consistent with existing requirements for "acts of nature" based rebuilds; and

WHEREAS, on September 9, 2013, the City Council passed Ordinance 1268 approving building size and height amendments for the Downtown Business (DB) District and directed staff to present a separate ordinance for waterfront zones at an open house, public hearing and 1st reading on October 14, 2013; and

WHEREAS, the Council finds that the waterfront amendments would aid in preserving the downtown character and scale; and

WHEREAS, the amendments are consistent with the Harbor Vision and the majority of the comments heard at the open house and public hearing for these amendments; and

WHEREAS, the Council finds the building size and building height amendments should be limited to along the waterfront to the Waterfront Commercial (WC) district abutting the DB as that is the generally accepted "downtown waterfront" area and have the highest concentration of existing nonresidential multi-story buildings compared to other waterfront areas; and

WHEREAS, the Council finds that no additional parking should be required for interior additions and remodels/rebuilds allowed by these amendments as requiring additional parking may not be possible given the land constraints downtown and would therefore limit the usefulness of the amendments; and

WHEREAS, the existing regulations for building height allow between 16 and 27 foot high buildings depending on topography and roof type which does not allow the construction of a flat two-story building that meets modern construction techniques and the requirements for ADA access and HVAC systems; and

WHEREAS, there are several existing buildings in the downtown waterfront core which are two or more stories and exceed the existing height limits; and

WHEREAS, two-story buildings that meet the new height limits and the requirements of the Design Manual will provide an appropriate human-scaled architecture for pedestrians on the sidewalk and provide the opportunity for mixed use buildings; and

WHEREAS, after discussions with architects on the Design Review Board and the City's Building Official/Fire Marshal, it was determined that 27 feet was the appropriate height limitation in order to allow two-story flat-roofed buildings using modern construction techniques, providing ADA access and screening HVAC systems on a roof; and

WHEREAS, the current height measurement location for residential buildings on the waterside of Harborview and North Harborview Drive has led to new homes being significantly lower than historic homes as viewed from the street. The current front yard setback provisions do not allow for the retention of the historic residential character of that streetscape; and

WHEREAS, nonresidential buildings along the Harborview and North Harborview frontages must be located within 10 feet of Harborview and North Harborview Drive and the maximum height can be measured at the property line along the right-of-way; and

WHEREAS, the new Shoreline Master Program is expected to require a setback from the ordinary high water mark, the smallest of which is 35 feet, thereby reducing the buildable area of a lot along the water. The proposed decrease in front yard setbacks will help mitigate that impact to the buildable area of the lot; and

WHEREAS, decreasing the front yard setbacks and height measurement point for residential uses in waterfront zones will make the residential requirements more consistent with the nonresidential buildings in the same zones; and

WHEREAS, the proposed text amendments are consistent with the following goals and policies in the Comprehensive Plan:

GOAL 3.6: ARTICULATE AN ARCHITECTURAL STYLE WHICH REFLECTS GIG HARBOR'S BUILT AND NATURAL ENVIRONMENT AND WHICH APPEALS TO THE HUMAN SPIRIT; and

3.6.1. Maintain a small town scale for structures.

New structures should not overpower existing structures or visually dominate Gig Harbor's small town city-scape, except as approved landmark structures; and

3.6.2. Identify an appropriate form for structures.

New structures should be characterized by interesting forms and roof lines. Boxy, single-mass buildings should be discouraged except as may be appropriate in a downtown streetscape; and

GOAL 3.7: ENCOURAGE BUILDING DESIGNS WHICH DEFINE AND RESPECT THE HUMAN SCALE. *The scale of the building in relation to the human form should be obvious, particularly at the sidewalk level; and*

3.7.2. Encourage mixed-use structures.

Mixing uses within a structure enhances the ability to give interesting form and character to a building. For example, allowing residential units above retail shops encourages designs more common to a village or small town setting while providing another housing opportunity for local merchants or retirees with limited transportation; and

GOAL 3.15 IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE; and

GOAL 3.18 TO PRESERVE THE CHARACTER OF THOSE SITES OR DISTRICTS WHICH REFLECT THE STYLE OF GIG HARBOR'S HISTORICAL DEVELOPMENT; and

3.18.2. Develop guidelines which promote compatible development within designated areas.

Guidelines should specify building forms, styles, and motifs appropriate for Gig Harbor's historic areas; and

3.17.1. Encourage retention and adaptive reuse of older buildings with the following types of incentives: *(a) Zoning incentives, e.g., setback and height standards which allow for restoration/renovation or expansion of existing structures; and*

6.2.2. Property revitalization *Assist with special planning and development efforts to reuse older buildings, redevelop vacant properties, and revitalize older commercial and business districts within the city. Help structure local marketing efforts, physical improvements programs, parking and building improvements and special management organizations.*

WHEREAS, the proposed development regulations amendments were forwarded to the Washington State Department of Commerce on November 20, 2012 and April 26, 2013, pursuant to RCW 36.70A.106; and

WHEREAS, the City's SEPA Responsible Official issued a Determination of Nonsignificance (DNS) for the amendments allowing interior floor area additions and remodels/rebuilds on January 19, 2012; and

WHEREAS, the City's SEPA Responsible Official issued a Determination of Nonsignificance (DNS) for the amendments allowing 27-foot high buildings WC zone abutting DB and the amendments reducing the front setbacks and height measurement point for residential uses on May 29, 2013; and

WHEREAS, the Gig Harbor City Council held an open house on the proposed waterfront amendments on October 14, 2013; and

WHEREAS, the Gig Harbor City Council considered the Ordinance at first reading and public hearing on October 14, 2013; and

WHEREAS, on _____, 2013, the City Council held a second reading during a regular City Council meeting; Now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, ORDAINS AS FOLLOWS:

Section 1. Subsection 17.50.040(I) in the Waterfront Commercial (WC) chapter of the Gig Harbor Municipal Code is hereby amended, to read as follows:

17.50.040 Development standards.

In a waterfront commercial district, the minimum development requirements are as follows:

	Single-Family Dwelling	Attached Up to 4 Units	Nonresidential
A. Minimum lot area (sq. ft.) ¹	6,000	6,000/unit	15,000
B. Minimum lot width	50'	100'	100'
C. Minimum front yard ²			
D. Minimum side yard ²			
E. Minimum rear yard ²			
F. Minimum yard abutting tidelands	0'	0'	0'
G. Maximum site impervious coverage	50%	55%	70%
H. Density		4 dwelling units per acre	
I. Maximum footprint/ gross floor area ^{4,5}	3,000 square feet max. gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure
J. Separation between structures ³	20'	20'	20'

¹An undersized lot or parcel shall qualify as a building site if such lot is a lot of record at the time this chapter became effective.

²The setbacks of GHMC 17.99.310 and 17.99.320 are applicable in the WC district.

³Separation between structures is not required upon lots or parcels within the Finholm Market portion of the WC district which contain multiple structures and/or which abut the DB (downtown business) district.

⁴Historic net sheds as defined in GHMC 17.04.615 shall be excluded from the maximum gross

floor area requirements.

⁵ For structures existing as of the effective date this ordinance and located in the portion of the WC district which abuts the DB district, additional gross floor area may be added to a structure and the total gross floor area may exceed the maximum allowed provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the building height allowed in GHMC 17.99.510. No additional parking spaces are required to accommodate the increase in gross floor area.

* * *

Section 2. Subsection 17.68.040 (E) in the Nonconformities chapter of the Gig Harbor Municipal Code is hereby amended, to read as follows:

17.68.040 Nonconforming structures.

* * *

E. Downtown Nonconforming Structures. Intentional removal or alteration of structures with a nonconforming structure status in the DB zoning district and the WC zoning district abutting the DB zoning district shall be subject to the following provisions:

1. Any such nonconforming structure or nonconforming portion of a structure that is intentionally removed or altered may be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was removed or altered. Building permits for the reconstruction shall be submitted within one year of the time of intentional removal or alteration and shall remain active or reconstruction will not be allowed. The reconstruction shall comply with all applicable building codes in force at the time of replacement; and

2. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible; and

3. The reconstruction of structures with a nonconforming structure status which are on a local, state or national historic registry or are eligible for such registries shall meet the requirements of GHMC 17.99.580 regardless of when the structure was built.

Section 3. Subsection 17.99.320(A) in the Design Manual chapter of the Gig Harbor Municipal Code is hereby amended, to read as follows:

A. Conform to residential setback requirements.

1. FRONT SETBACK MINIMUM House – 20 feet; in Waterfront Zones – 12 feet
Garage – 26 feet; in Waterfront Zones – 18
feet
Porches – 12 feet; in Waterfront Zones – 6 feet

2. SIDE SETBACK/VIEW CORRIDOR MINIMUM**

a. For site with one building - On a 50-foot-wide lot, 20 feet of combined side yard setback/view corridor is required and may be allotted as desired except that a minimum of five feet on any one side is required. For every additional foot of lot width beyond 50 feet, an additional one-quarter foot of side yard setback/view corridor is required. On sites with less than 50 feet of width, one-quarter foot of side yard setback/view corridor shall be eliminated for every foot of lot width less than 50 feet; provided that a minimum of 5 feet of setback/view corridor shall be provided on all side yards.

b. For sites with multiple buildings – Side yard setbacks/view corridors shall be provided in an amount equivalent to 20 feet for the first 50 feet of lot width. For every additional foot of lot width beyond 50 feet, an additional one-quarter foot of side yard setback/view corridor shall be provided. On sites with less than 50 feet of width, one-quarter foot of side yard setback/view corridor shall be eliminated for every foot of lot width less than 50 feet. The side yard setbacks/view corridors may be allotted in one of the following ways:

i. The total of the required side yard setback/view corridor shall be provided adjacent and parallel to the side property lines along the entire length of the property provided that a minimum of five feet of setback/view corridor shall be provided on all sides; or

ii. If the lot is 100 feet or more in width, a minimum side yard setback/view corridor of five feet shall be provided adjacent to abutting properties and setback/view corridor(s) a minimum of 20-foot wide shall be provided between buildings on the subject site. Lots narrower than 100 feet wide are not eligible for this provision.

c. View Corridors – In waterfront zoning districts, view corridors shall be provided perpendicular to a designated parkway or parallel to the side property lines along the entire length of the property. In all other zoning districts, view corridors shall be provided parallel to the side property lines along the entire length of the property. All required view corridors shall be open from the ground to the sky except that appurtenances allowed by the definitions of “yard” in Section 17.04.880 GHMC and “yard, side” in Section 17.04.910 GHMC may be located within the corridor.

3. REAR SETBACK MINIMUM** – As defined for each underlying zone in the Gig Harbor Municipal Code, or 25 feet, whichever is less.

4. OVERWATER STRUCTURE SETBACK:

Setbacks for overwater structures shall be governed by the Gig Harbor Shoreline Master Program and shall be exempt from this section.

** See additional setback provisions in subsection C of this section.

* * *

Section 4. Subsections 17.99.510(A) and (B), Building massing and height – Historic District, in the Design Manual chapter of the Gig Harbor Municipal Code are hereby amended, to read as follows:

A. Incorporate characteristic roof lines and massing into residential structures.

Historic structures in Gig Harbor are characterized by similar roof lines and massing. All residential structures within the historic district must meet the following criteria:

1. MINIMUM ROOF PITCH.

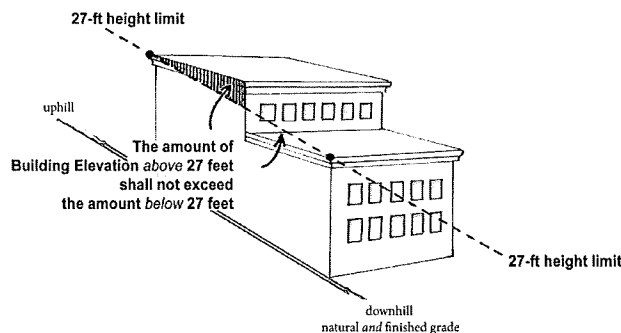
Roof pitches shall be minimum 6/12 and maximum 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portion on a saltbox-style structure, and (d) steeples, bell towers, and similar accentuated structures.

2. MAXIMUM HEIGHT – DB ZONE SOUTH OF ROSEDALE STREET and PORTION OF THE WC ZONE ABUTTING THE DB ZONE.

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in Figure A below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

FIGURE A



2- 3. MAXIMUM HEIGHT – ALL OTHER ZONES.

Each residential lot is allowed a building height of up to 18 feet from any point within the buildable area and within 50 feet of the building's footprint; provided, that no portion of the structure exceeds 27 feet above natural and finished grade. In applicable waterfront zones (WR, WM and WC), the point at which the 18-foot maximum is measured may be at the highest point within the lot along the street right-of-way. Additionally, one BASIC STRUCTURE measuring 25 feet wide by 40 feet deep by 27 feet high may be incorporated into the building design based upon the following criteria:

- a. The height of the basic structure shall be measured from the lowest elevation point at the setback lines. Height shall be measured from natural grade.
- b. The ridge of the basic structure shall be perpendicular to the shoreline or "point" to a significant view.
- c. No structures other than chimneys shall extend beyond the area defined by the gable or hip, i.e., no structure shall extend above the common rafter extending from the top wall plate to the ridge unless it is within the underlying 18-foot height envelope.
- d. The minimum roof pitch is 8/12. Equal pitches are used on the remaining portion of the house.
- e. A full-width front porch shall be included on the front side of the basic structure unit and windows on the entire structure shall be true-divided light windows if a grid pattern is desired.
- f. All other setback and height requirements are complied with.

[Note: Retain graphic at this location]

3.4. INTERSECTING GABLES OR DORMERS.

- a. To avoid expansive roof planes, fascia boards may not exceed 35 feet in length without an intersecting gable, dormer or similar architectural element incorporated into the roof plane above the fascia board on pitched roofs.
- b. The total width of all dormers, gables, and similar architectural elements shall not exceed 50 percent of the width of the roof plane on which those elements are located.
- c. This requirement does not apply to BASIC STRUCTURES defined under subsection (A)(2) of this section.

B. Conform to height standards for nonresidential structures.

Historic commercial structures were typically flat-roofed buildings with projecting cornices, sometimes with an extended parapet on the front. Pitched roof commercial buildings were also common. To allow similarly designed buildings, all nonresidential structures within the historic district shall conform to the following height and roof pitch standards:

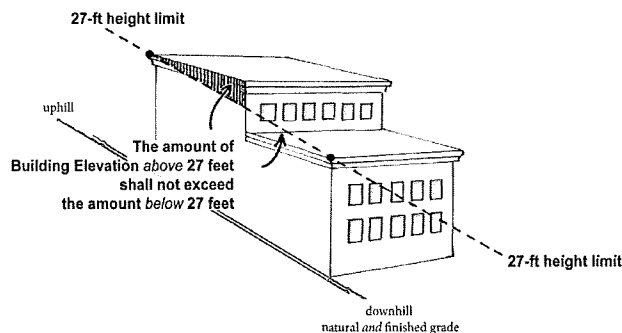
1. DOWNTOWN BUILDING HEIGHTS

In the portion of the Downtown Business (DB) district south of Rosedale Street and abutting portion of the Waterfront Commercial (WC) district, the building height limitations of this subsection 1 apply as do the requirements of subsection 5 below. In all other zones, the requirements of subsection 2 through 5 apply.

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in Figure B below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

FIGURE B



4. 2. MAXIMUM UPHILL HEIGHT

No portion of a building shall exceed 16 feet for a flat roofed building, or 18 feet for a pitched roof building, as measured from the highest point within the buildable area and within 50 feet of the building footprint.

2. 3. MAXIMUM DOWNHILL HEIGHT

No building shall exceed a height of 24 feet as measured from finished grade at the lowest point of the building footprint, except that additional height is allowed for roof planes, gables and dormer windows, not to exceed the uphill height limits.

3. 4. MAXIMUM HEIGHT ABOVE GRADE

Buildings may not exceed a height of 27 feet above natural and finished grade at any given point within the building footprint.

4. 5. PITCHED ROOFS

Pitched roofs shall have a minimum roof pitch of 6/12 and a maximum pitch of 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portions on a saltbox-style structure, which may all have lesser pitched roofs, and steeples and bell towers, which may have greater pitched roofs. The ridge of a pitched roof shall run perpendicular to (pointing toward) the view of the bay as seen from the street nearest the front setback line of the subject site, unless the ridge is within the flat roof height limits.

* * *

Section 6. Severability. If any section, sentence, clause or phrase of this Ordinance should be held to be unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this Ordinance.

Section 7. Effective Date. This Ordinance shall take effect and be in full force five (5) days after passage and publication of an approved summary consisting of the title.

PASSED by the Council and approved by the Mayor of the City of Gig Harbor, this ____ day of _____, 2013.

CITY OF GIG HARBOR

Mayor Charles L. Hunter

ATTEST/AUTHENTICATED:

Molly M. Towslee, City Clerk

APPROVED AS TO FORM:
Office of the City Attorney

FILED WITH THE CITY CLERK:
PASSED BY THE CITY COUNCIL:
PUBLISHED:
EFFECTIVE DATE:
ORDINANCE NO:



DEVELOPMENT SERVICES

TO: Mayor Hunter and Members of the Council
FROM: Harris Atkins, Chair, Planning Commission *HRA 5/2/13*
RE: Summary of Proposed Changes to Downtown Regulations

In early 2012, the City Council directed the Planning Commission to *Review and Identify Codes that inhibit the preservation of character-defining historic buildings in the downtown.* This effort was the first step in the downtown preservation planning effort instituted by the Mayor and Council.

The following potential amendments specific to this task were identified:

1. Grandfather existing building sizes (sq footage) in the DB Zone. Allow existing non-historic buildings to be torn down and re-built within the existing building envelope. (DRB approval required.)
2. Allow increased floor area within an existing building's envelope (mezzanines, etc).
3. Provide building size allowances to eligible or listed historic buildings in the View Basin if the front façade is preserved.
4. Consider height increase allowances for buildings in the View Basin (up to 2 stories).
5. Consider incentives for first floor retail/restaurant.

The Planning Commission began review of these amendments in June of 2012. Over the course of the last year, the PC has attended the Harbor Vision town hall meetings; conducted a walking tour of downtown; and, held 16 work-study sessions, an open house and three public hearings. The result of that review is four code amendments encompassed in three recommendations. The proposals are grouped into two subjects: Building Size and Building Height

The recommended code amendments on building size, dated January 17, 2013, would address numbers 1 and 2 above. The recommended code amendments on building height, two documents dated May 2, 2013, would address number 4 above and the issue of "houses in a hole" along the water. The Planning Commission determined that items numbered 3 and 5 were not appropriate for review at this time due to their complexity.

In the course of the Commission's review, it became apparent that one of the next steps in this process should be a review of the current building size limitations and private parking requirements around the harbor. It is envisioned that this would be done as regulations are developed to implement the Harbor Vision. It should also be noted that during the course of the Commission's discussions, there were other factors and limitations identified unrelated to zoning, such as improvements in public parking opportunities, that may need to be addressed to fully realize the Harbor Vision.



DEVELOPMENT SERVICES

NOTICE OF RECOMMENDATION

CITY OF GIG HARBOR PLANNING COMMISSION PL-ZONE-12-0009

TO: Mayor Hunter and Members of the Council
FROM: Harris Atkins, Chair, Planning Commission
RE: PL-ZONE-12-0009 – Downtown Building Size Amendments

Application:

This application was initiated by the City of Gig Harbor as part of the City's focus on downtown visioning. The City Council specifically directed the Planning Commission to review and identify codes that inhibit the preservation of character-defining historic buildings in the downtown. The Planning Commission identified two amendments related to building size which would aid in preserving historic buildings downtown.

Planning Commission Review:

The Planning Commission held eight work study sessions between June and November 2012, attended two town hall meetings on downtown visioning (June 27th and October 18th, 2012) and conducted one walking tour of downtown in August 2012.

A public hearing was held on December 6th, 2012 after which the Planning Commission held a work study session and recommended **APPROVAL** of the amendments contained at the end of this notice.

Findings of Fact:

The Planning Commission makes the following findings of fact in relation to their recommendation of approval:

1. The City's Comprehensive Plan includes the following policies which support the amendments:

GOAL 3.15 IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE

GOAL 3.18 TO PRESERVE THE CHARACTER OF THOSE SITES OR DISTRICTS WHICH REFLECT THE STYLE OF GIG HARBOR'S HISTORICAL DEVELOPMENT

3.17.1. Encourage retention and adaptive reuse of older buildings with the following types of incentives: (a) Zoning incentives, e.g., setback and height standards which allow for restoration/renovation or expansion of existing structures.

6.2.2. Property revitalization Assist with special planning and development efforts to reuse older buildings, redevelop vacant properties, and revitalize older commercial and business districts within the city. Help structure local marketing efforts, physical improvements programs, parking and building improvements and special management organizations.

2. The Planning Commission finds that the proposed amendments would aid in preserving the downtown character.
3. The Planning Commission finds that the proposed amendments are consistent with the comments received at the two town hall meetings on downtown visioning and public hearing.
4. The Planning Commission finds these amendments should be limited to the Downtown Business (DB) district and the Waterfront Commercial (WC) district abutting the DB as those are the generally accepted "downtown" area. Later in 2013 after implementing policies have been developed for The Harbor vision statement, the City should consider if these allowances should expand to other zones.
5. The Commission finds that no additional parking should be for additions and remodels allowed by these amendments as requiring additional parking may not be possible given the land constraints downtown and would therefore limit the usefulness of the amendments.

Harris Atkins, Chair
Planning Commission



Date 1/17/2013

Additional Interior Gross Floor Area Code Amendments:

Downtown Business (DB):

17.31.075 Maximum gross floor area.

A. Except as provided for in subsection B, in the DB district, the maximum gross floor area per building is 6,000 square feet. Multiple buildings on the same site shall be separated by a nonpenetrated fire wall as defined in the International Fire Code except that a single six-foot opening in the fire wall separating structures is permissible; provided, that each structure has an outside customer entrance accessible to the street. Each structure shall be designed to stand independent of other structures on the site (i.e., the addition or removal of any one building on a site will not require structural attachments or modifications to any other building on the site).

B. For structures existing as of the effective date this ordinance, additional gross floor area may be added to a structure and the total gross floor area may exceed the maximum allowed in subsection A provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the building height allowed in GHMC 17.99.510. No additional parking spaces are required to accommodate the increase in gross floor area.

**Waterfront Commercial (WC):
17.50.040 Development standards.**

In a waterfront commercial district, the minimum development requirements are as follows:

	Single-Family Dwelling	Attached Up to 4 Units	Nonresidential
A. Minimum lot area (sq. ft.) ¹	6,000	6,000/unit	15,000
B. Minimum lot width	50'	100'	100'
C. Minimum front yard ²			
D. Minimum side yard ²			
E. Minimum rear yard ²			
F. Minimum yard abutting tidelands	0'	0'	0'
G. Maximum site impervious coverage	50%	55%	70%
H. Density		4 dwelling units per acre	
I. Maximum footprint/ gross floor area ^{4,5}	3,000 square feet max. gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure	3,000 square feet max. footprint/ 6,000 square feet gross floor area per structure
J. Separation between structures ³	20'	20'	20'

¹An undersized lot or parcel shall qualify as a building site if such lot is a lot of record at the time this chapter became effective.

²The setbacks of GHMC 17.99.310 and 17.99.320 are applicable in the WC district.

³Separation between structures is not required upon lots or parcels within the Finholm Market portion of the WC district which contain multiple structures and/or which abut the DB (downtown business) district.

⁴Historic net sheds as defined in GHMC 17.04.615 shall be excluded from the maximum gross floor area requirements.

⁵For structures existing as of the effective date this ordinance and located in the WC district which abuts the DB district, additional gross floor area may be added to a structure and the total gross floor area may exceed the maximum allowed provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the building height allowed in GHMC 17.99.510. No additional parking spaces are required to accommodate the increase in gross floor area.

Remodeling and Rebuilding Nonconforming Buildings Code Amendments:

17.68.040 Nonconforming structures.

When a lawful structure existed at the effective date of the adoption or an amendment of the applicable regulations and could not be built under the terms of the current regulations set forth in GHMC Title 17, or amendments thereof, by reason of the restrictions on area, lot size or dimension, coverage, height, yards and the location on the lot or other requirements concerning the structure, such structure may be continued as a nonconforming structure so long as it remains otherwise lawful and shall be subject to the following provisions:

A. No such nonconforming structure may be altered or remodeled in any way that increases its nonconformity respective to bulk or dimensional standards in effect, but any structure or portion thereof may be altered or remodeled to decrease its nonconformity;

B. A nonconforming structure that is damaged by fire, act of nature or other causes beyond the control of the owners may be reconstructed as long as it is not discontinued for more than 12 consecutive months. Any such structure that is unintentionally destroyed shall be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was damaged or destroyed. The reconstruction shall comply with all applicable building codes in force at the time of replacement. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible. "Discontinued" is defined in GHMC 17.68.038;

C. ~~Except as provided for in subsection E of this section, a~~Any such nonconforming structure or nonconforming portion of a structure that is intentionally damaged or intentionally altered may be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was damaged or altered, provided the alterations and/or damage is valued at less than 50 percent of the replacement value of the structure as determined by the square foot construction cost table in the city's fee schedule. Reconstruction shall occur within one year of the time of intentional damage or alteration or not at all. The reconstruction shall comply with all applicable building codes in force at the time of replacement. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible. Interior-only remodels which do not increase a structure's nonconformity shall not count towards the replacement cost as it relates to this section; and

D. ~~Except as provided for in subsection E of this section, w~~When a structure has a nonconforming structure status, the intentional removal, intentional damage, or intentional alteration of the structure shall eliminate the nonconforming status. Upon the elimination of the nonconforming status, the structure shall be brought into conformity with the existing code or shall be removed. "Intentional removal, intentional damage, or intentional alteration" for the purposes of this subsection is defined as damage and/or alterations valued at more than 50 percent of the replacement value of the structure at the time of damage and/or alterations, over the lifetime of the structure, as determined by the square foot construction cost table in the city's fee schedule.

~~E. Downtown Nonconforming Structures. Intentional removal or alteration of structures with a nonconforming structure status in the DB zoning district and the WC zoning district abutting the DB zoning district shall be subject to the following provisions:~~

~~1. Any such nonconforming structure or nonconforming portion of a structure that is intentionally removed or altered may be reconstructed to the same or smaller configuration existing immediately prior to the time the structure was removed or altered, and~~

~~2. As determined during the nonconforming use and structure review process (see GHMC 17.68.025), the reconstruction shall comply with all other applicable codes to the maximum extent possible, and~~

3. The reconstruction of structures with a nonconforming structure status which are on a local, state or national historic registry or are eligible for such registries shall meet the requirements of GHMC 17.99.580 regardless of when the structure was built.



DEVELOPMENT SERVICES

**NOTICE OF RECOMMENDATION
CITY OF GIG HARBOR PLANNING COMMISSION**

TO: Mayor Hunter and Members of the Council
FROM: Harris Atkins, Chair, Planning Commission
RE: Downtown Building Height Amendments

Application:

This application was initiated by the City of Gig Harbor as part of the City's focus on downtown visioning and revitalization. The City Council specifically directed the Planning Commission to review and identify codes that inhibit the preservation and redevelopment of character-defining historic buildings in the downtown. The City identified the need to allow new two-story buildings within the downtown core.

Planning Commission Review:

The Planning Commission held seven work study sessions between November 2012 and April 2013, attended two town hall meetings on downtown visioning (June 27th and October 18th, 2012) and conducted one walking tour of downtown in August 2012.

Upon review of existing codes and built conditions, the Planning Commission proposed allowing all buildings to be 27 feet above natural and finished grade as measured at the building footprint. In order to accommodate sloped lots, the Planning Commission proposed allowing roofs to be stepped down where some portions of the roof can exceed 27 feet with certain limitations as described in the amendments and shown on Figure A.

An open house and public hearing on the proposed amendments were held on March 21, 2013. Upon consideration of the comments received, the Planning Commission held a work study session on May 2, 2013 and recommended **APPROVAL** of the amendments contained at the end of this notice.

Findings of Fact:

The Planning Commission makes the following findings of fact in relation to their recommendation of approval:

1. The City's Comprehensive Plan includes the following policies which support the amendments:

GOAL 3.6: ARTICULATE AN ARCHITECTURAL STYLE WHICH REFLECTS GIG HARBOR'S BUILT AND NATURAL ENVIRONMENT AND WHICH APPEALS TO THE HUMAN SPIRIT.

3.6.1. Maintain a small town scale for structures.

New structures should not overpower existing structures or visually dominate Gig Harbor's small town city-scape, except as approved landmark structures.

3.6.2. Identify an appropriate form for structures.

New structures should be characterized by interesting forms and roof lines. Boxy, single-mass buildings should be discouraged except as may be appropriate in a downtown streetscape.

GOAL 3.7: ENCOURAGE BUILDING DESIGNS WHICH DEFINE AND RESPECT THE HUMAN SCALE.

The scale of the building in relation to the human form should be obvious, particularly at the sidewalk level.

3.7.2. Encourage mixed-use structures.

Mixing uses within a structure enhances the ability to give interesting form and character to a building. For example, allowing residential units above retail shops encourages designs more common to a village or small town setting while providing another housing opportunity for local merchants or retirees with limited transportation.

GOAL 3.15: IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE

3.18.2. Develop guidelines which promote compatible development within designated areas.

Guidelines should specify building forms, styles, and motifs appropriate for Gig Harbor's historic areas.

2. The existing regulations allow between 16 and 27 foot buildings depending on topography and roof type which does not allow the construction of a flat two-story building that meets modern construction techniques and the requirements for ADA access and HVAC systems.
3. The Planning Commission finds that there are a considerable number of existing buildings in the downtown core which are two or more stories and exceed the existing height limits.
4. The Planning Commission finds these amendments should be limited to the Downtown Business (DB) district and the Waterfront Commercial (WC) district abutting the DB since those contain the highest concentration of existing multi-story buildings. After implementing policies have been developed for The Harbor Vision statement, the City may consider if these allowances should expand to other zones.

5. The Planning Commission finds that given the number of character-defining buildings that are multiple stories in height the proposed amendments would aid in preserving the downtown character and scale.
6. Two-story buildings that meet height limits and the requirements of the Design Manual will provide an appropriate human-scaled architecture for pedestrians on the sidewalk and provide the opportunity for mixed use buildings.
7. After discussions with architects on the Design Review Board and the City's Building Official/Fire Marshal, it was determined that 27 feet was the appropriate height limitations in order to allow two-story flat-roofed buildings using modern construction techniques, providing ADA access and screening HVAC systems on a roof.
8. The Planning Commission finds that the proposed amendments are consistent with the Harbor Vision and the majority of the comments heard at the open house and public hearing for these amendments.

Harris Atkins, Chair
Planning Commission



Date 5/2/2013

Downtown Building Height Amendments:

From GHMC 17.99.510 Building massing and height – Historic district

* * *

A. Incorporate characteristic roof lines and massing into residential structures.

Historic structures in Gig Harbor are characterized by similar roof lines and massing. All residential structures within the historic district must meet the following criteria:

1. MINIMUM ROOF PITCH.

Roof pitches shall be minimum 6/12 and maximum 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portion on a saltbox-style structure, and (d) steeples, bell towers, and similar accentuated structures.

2. MAXIMUM HEIGHT – DB and ABUTTING WC ZONES.

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in figure A below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the

design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

2. 3. MAXIMUM HEIGHT – ALL OTHER ZONES.

Each residential lot is allowed a building height of up to 18 feet from any point within the buildable area and within 50 feet of the building's footprint; provided, that no portion of the structure exceeds 27 feet above natural and finished grade. Additionally, one BASIC STRUCTURE measuring 25 feet wide by 40 feet deep by 27 feet high may be incorporated into the building design based upon the following criteria:

- a. The height of the basic structure shall be measured from the lowest elevation point at the setback lines. Height shall be measured from natural grade.
- b. The ridge of the basic structure shall be perpendicular to the shoreline or "point" to a significant view.
- c. No structures other than chimneys shall extend beyond the area defined by the gable or hip, i.e., no structure shall extend above the common rafter extending from the top wall plate to the ridge unless it is within the underlying 18-foot height envelope.
- d. The minimum roof pitch is 8/12. Equal pitches are used on the remaining portion of the house.
- e. A full-width front porch shall be included on the front side of the basic structure unit and windows on the entire structure shall be true-divided light windows if a grid pattern is desired.
- f. All other setback and height requirements are complied with.

* * *

B. Conform to height standards for nonresidential structures.

Historic commercial structures were typically flat-roofed buildings with projecting cornices, sometimes with an extended parapet on the front. Pitched roof commercial buildings were also common. To allow similarly designed buildings, all nonresidential structures within the historic district shall conform to the following height and roof pitch standards:

1. DOWNTOWN BUILDING HEIGHTS

In the Downtown Business (DB) district and abutting Waterfront Commercial (WC) district, the building height limitations of this subsection 1 apply as do the requirements of 5 below. In all other zones, the requirements of 1 through 5 apply.

A building shall not exceed 27 feet above natural and finished grade as measured from the building footprint except as allowed for stepped-down buildings as follows:

On sloped sites, the elevations of buildings may be stepped-down and those stepped down sections may exceed the 27-foot maximum provided that the uphill and downhill

facades do not exceed 27 feet above natural and finished grade as measured from the building footprint and that the amount of elevation above 27 feet does not exceed the amount of elevation below 27 feet as shown in figure A below. Safety rails surrounding roof top patios or gardens that are stepped back from the most forward front face of perimeter cornice are not included in the elevation provided the safety rail meets the design requirements of balustrades in GHMC 17.99.540(B) and provide a minimum of 60% transparency.

~~1.~~ 2. MAXIMUM UPHILL HEIGHT

No portion of a building shall exceed 16 feet for a flat roofed building, or 18 feet for a pitched roof building, as measured from the highest point within the buildable area and within 50 feet of the building footprint.

~~2.~~ 3. MAXIMUM DOWNHILL HEIGHT

No building shall exceed a height of 24 feet as measured from finished grade at the lowest point of the building footprint, except that additional height is allowed for roof planes, gables and dormer windows, not to exceed the uphill height limits.

~~3.~~ 4. MAXIMUM HEIGHT ABOVE GRADE

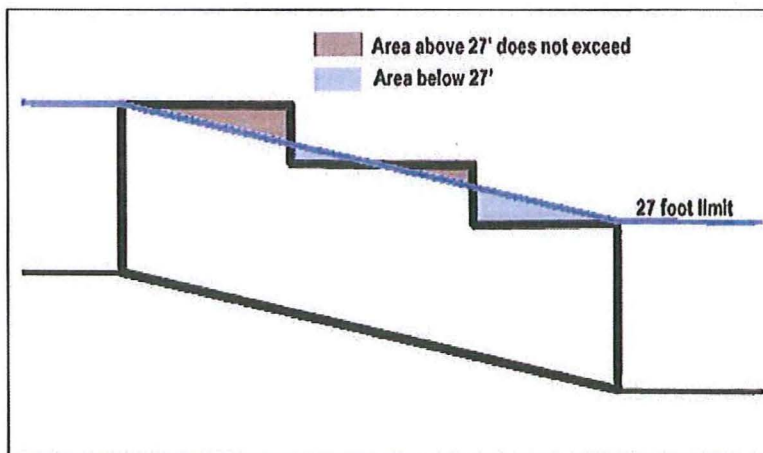
Buildings may not exceed a height of 27 feet above natural and finished grade at any given point within the building footprint.

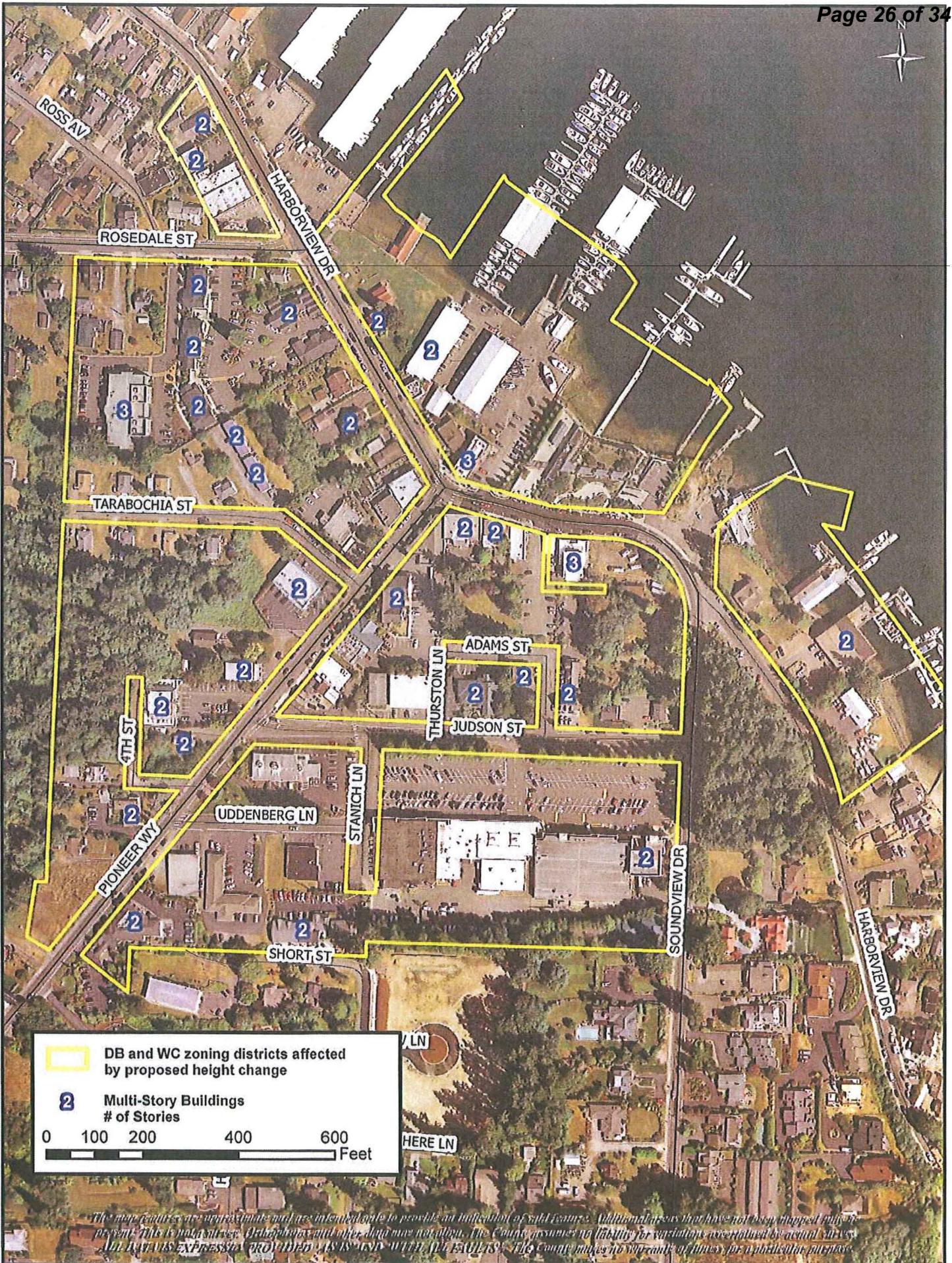
~~4.~~ 5. PITCHED ROOFS

Pitched roofs shall have a minimum roof pitch of 6/12 and a maximum pitch of 12/12 on all portions of the roof except for (a) shed dormers, (b) porches, (c) the lower pitched roof portions on a saltbox-style structure, which may all have lesser pitched roofs, and steeples and bell towers, which may have greater pitched roofs. The ridge of a pitched roof shall run perpendicular to (pointing toward) the view of the bay as seen from the street nearest the front setback line of the subject site, unless the ridge is within the flat roof height limits.

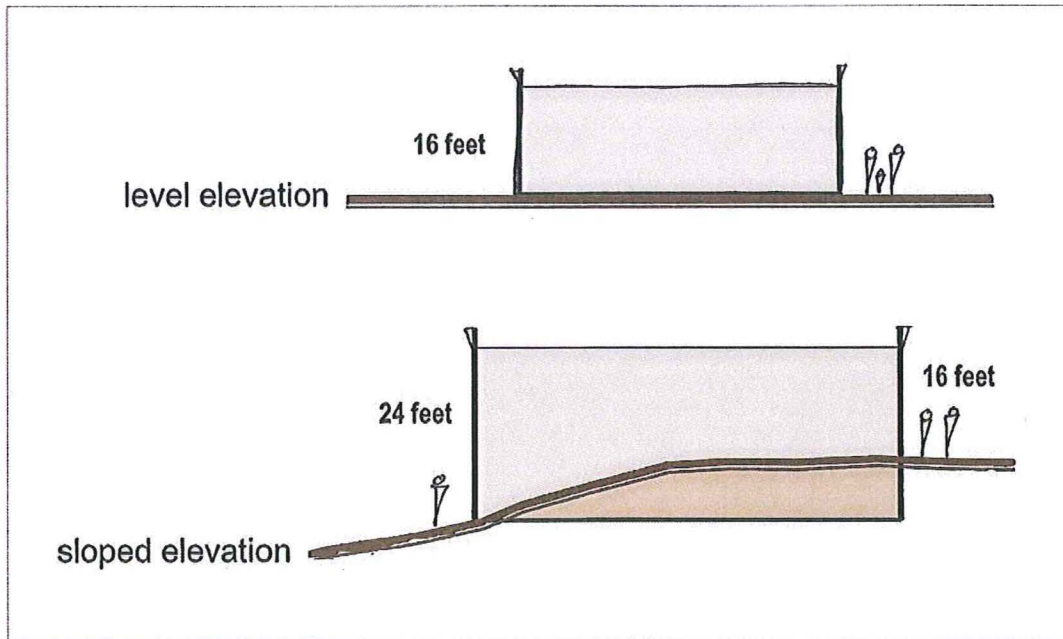
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FIGURE A

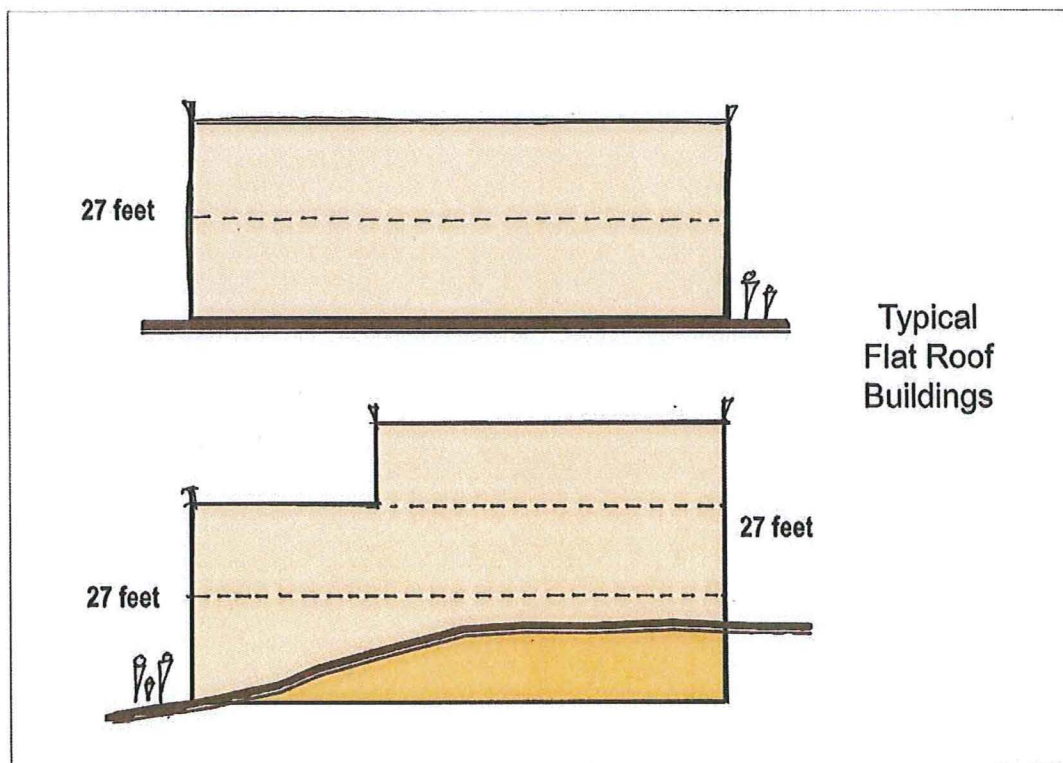


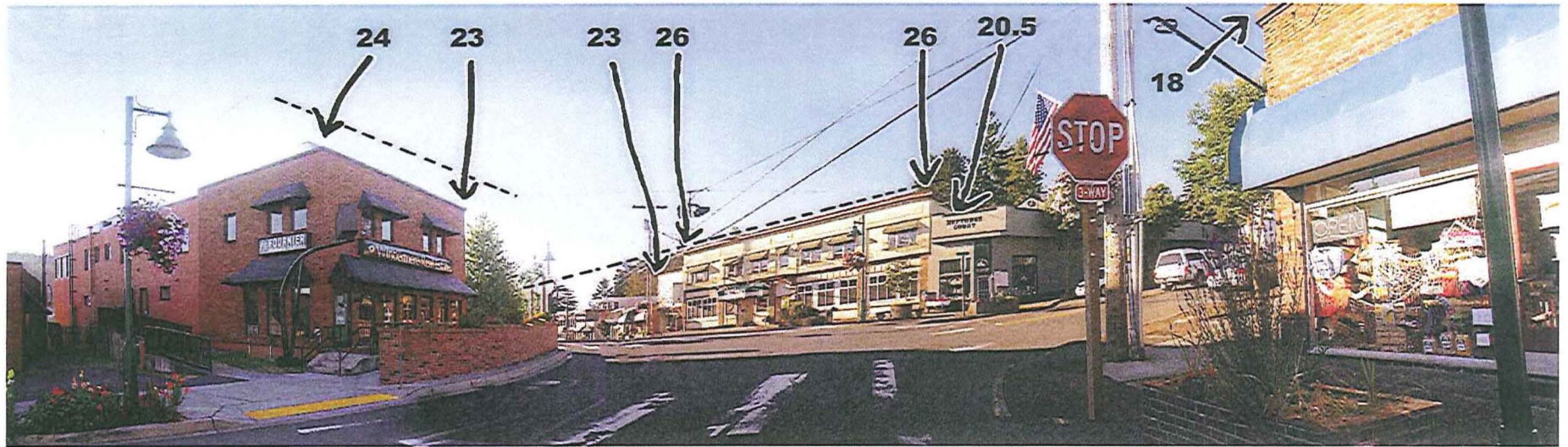


CURRENT HEIGHT LIMITS



PROPOSED HEIGHT LIMITS



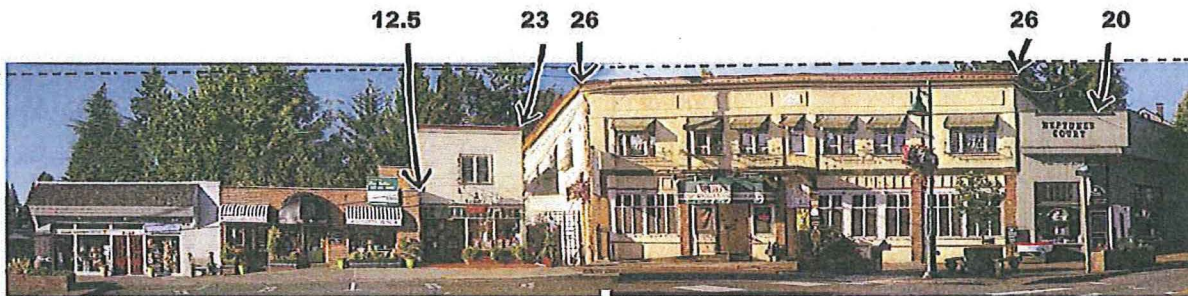


**Existing Heights (approx)
and the proposed
27-ft Height Limit for
Downtown Business (DB)
and adjacent
Waterfront Commercial (WC)**

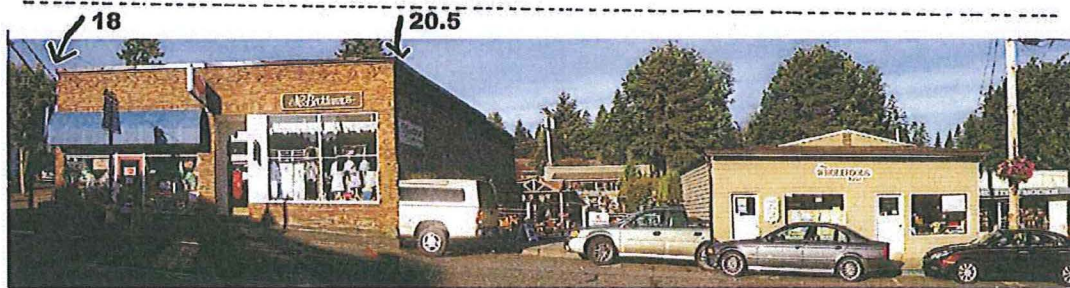


Stutz Site - Willis Bldg - Insurance Bldg on Harborview Dr

**BLACK LINE REPRESENTS PROPOSED
27-FT HEIGHT LIMIT**



Peninsula Hotel Steetscape on Harborview Dr



McBecklands - WildBirds - Whole Foods - Mostly Books on Harborview Dr



QFC Shopping Center on Judson Str



DEVELOPMENT SERVICES

**NOTICE OF RECOMMENDATION
CITY OF GIG HARBOR PLANNING COMMISSION**

TO: Mayor Hunter and Members of the Council
FROM: Harris Atkins, Chair, Planning Commission
RE: Residential Building Height and Front Setbacks Requirements in Waterfront Zones

Application:

This application was initiated by the City of Gig Harbor after the City's Historic Preservation Office and the Planning Department identified an issue with where height is being measured for residential buildings along the waterside of Harborview and North Harborview Drive in the Historic District. New homes built under current regulations are significantly lower than historic homes as viewed from the street and the front yard setbacks are not consistent with the historic streetscape.

Planning Commission Review:

The Planning Commission held two work study sessions on February 21, 2013 and March 7, 2013.

Upon review of existing codes and built conditions, the Planning Commission proposed two amendments for residential buildings in the waterfront zones:

1. Height Measurement Location: Change where the 18-foot uphill height limit is measured from the building setback line to the property line abutting the street ROW.
2. Front Setback: Change the front setback to more closely reflect existing street setbacks of historic homes as follows:

House – 12 feet
Garage – 18 feet
Porches – 6 feet

A public hearing was held on April 11, 2013. Upon consideration of the comments received, the Planning Commission held a work study session on May 2, 2013 and recommended **APPROVAL** of the amendments contained at the end of this notice.

Findings of Fact:

The Planning Commission makes the following findings of fact in relation to their recommendation of approval:

PC Recommendation – Residential Height Measurement Location and Front Yard Setbacks

Page 1 of 3

1. The City's Comprehensive Plan includes the following policies which support the amendments:

GOAL 3.15: IDENTIFY, PRESERVE AND DEVELOP AN APPROPRIATE WATERFRONT ARCHITECTURE

GOAL 3.18: TO PRESERVE THE CHARACTER OF THOSE SITES OR DISTRICTS WHICH REFLECT THE STYLE OF GIG HARBOR'S HISTORICAL DEVELOPMENT.

3.18.2. Develop guidelines which promote compatible development within designated areas.

Guidelines should specify building forms, styles, and motifs appropriate for Gig Harbor's historic areas.

2. The current height measurement location for residential buildings on the waterside of Harborview and North Harborview Drive has led to new homes being significantly lower than historic homes as viewed from the street.
3. The current front yard setback provisions do not allow for the retention of the historic residential character of that streetscape.
4. Nonresidential buildings along the same street frontage must be located within 10 feet of Harborview and North Harborview Drive and the maximum height can be measured at the property line along the right-of-way.
5. Proposed amendments will allow new homes to be closer to the sidewalk and bring entries to the street level to better match the historic streetscape.
6. Existing view corridor and side setback requirements will not change under the proposal.
7. The proposed amendments will make the residential requirements more consistent with the nonresidential buildings along the same streetscape.
8. The new Shoreline Master Program is expected to require a setback from the ordinary high water mark, the smallest of which is 35 feet, thereby reducing the buildable area of a lot along the water. The proposed decrease in front yard setbacks will help mitigate that impact to the buildable area of the lot.
9. The Planning Commission finds that the proposed amendments are consistent with the Harbor Vision statement and with the comments heard at the public hearing for these amendments.

Harris Atkins, Chair
Planning Commission



Date 5/2/2013

Residential Height Measurement Location in Waterfront Zones

GHMC 17.99.510(A). Incorporate characteristic roof lines and massing into residential structures.

Historic structures in Gig Harbor are characterized by similar roof lines and massing. All residential structures within the historic district must meet the following criteria:

* * *

2. 3. MAXIMUM HEIGHT – ALL OTHER ZONES.

Each residential lot is allowed a building height of up to 18 feet from any point within the buildable area and within 50 feet of the building's footprint; provided, that no portion of the structure exceeds 27 feet above natural and finished grade. In applicable waterfront zones (WR, WM and WC), the point at which the 18-foot maximum is measured may be at the highest point within the lot along the street right-of-way. Additionally, one BASIC STRUCTURE measuring 25 feet wide by 40 feet deep by 27 feet high may be incorporated into the building design based upon the following criteria:

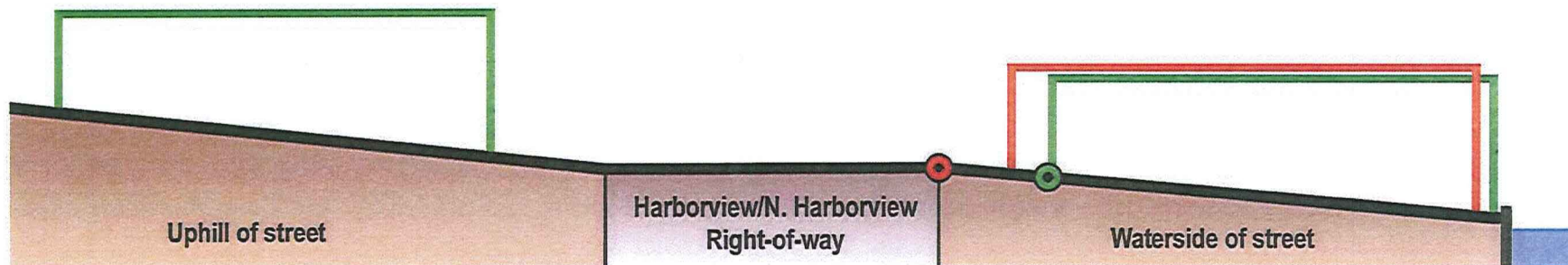
- a. The height of the basic structure shall be measured from the lowest elevation point at the setback lines. Height shall be measured from natural grade.
- b. The ridge of the basic structure shall be perpendicular to the shoreline or "point" to a significant view.
- c. No structures other than chimneys shall extend beyond the area defined by the gable or hip, i.e., no structure shall extend above the common rafter extending from the top wall plate to the ridge unless it is within the underlying 18-foot height envelope.
- d. The minimum roof pitch is 8/12. Equal pitches are used on the remaining portion of the house.
- e. A full-width front porch shall be included on the front side of the basic structure unit and windows on the entire structure shall be true-divided light windows if a grid pattern is desired.
- f. All other setback and height requirements are complied with.

* * *

GHMC 17.99.320 Historic district residential setbacks.

A. Conform to residential setback requirements.

1. FRONT SETBACK MINIMUM House – 20 feet; in Waterfront Zones – 12 feet
Garage – 26 feet; in Waterfront Zones – 18 feet
Porches – 12 feet; in Waterfront Zones – 6 feet



Site Section

scale: 1" = 30'



Existing Allowed Residential Building Envelope



Proposed Residential Building Envelope in Waterfront Zones (WR, WM and WC)



Existing height measurement location (18-foot maximum height)



Proposed height measurement location (18-foot maximum height)

Front Yard Setbacks

Existing:

Porch - 12 feet

House - 20 feet

Garage - 26 feet

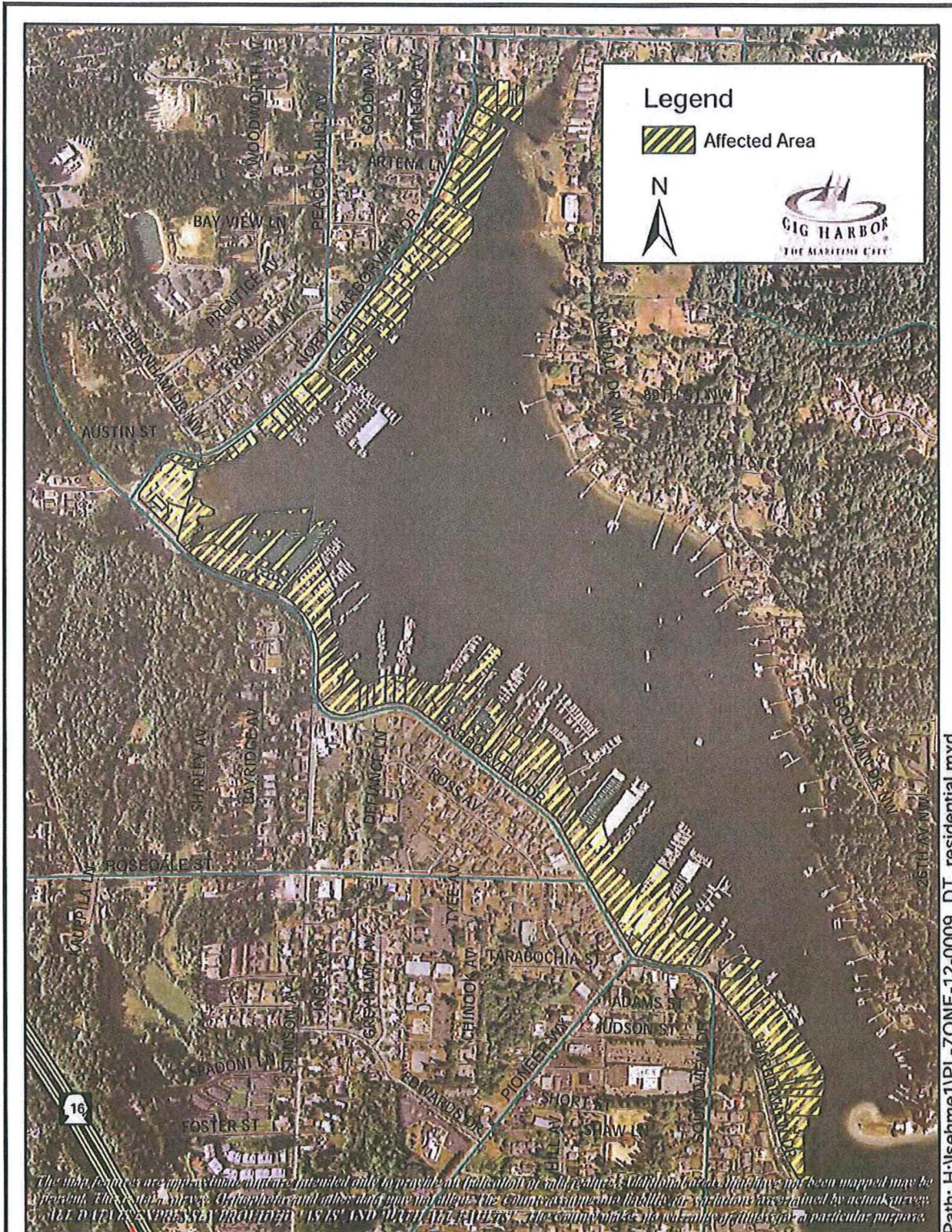
Proposed:

Porch - 6 feet

House - 12 feet

Garage - 18 feet

Residential Buildings in Waterfront Zones Proposed Height & Setback Amendments



Residential Buildings in Waterfront Zones Proposed Height & Setback Amendments

- Written public comments received since July 8th and through noon on Tuesday, October 8th. Written comments received after noon will be transmitted separately.

Kester, Jennifer

From: Stanton, Lita
Sent: Wednesday, August 28, 2013 10:53 AM
To: Kester, Jennifer
Subject: FW: Building Sizes

Follow Up Flag: Follow up
Flag Status: Completed

Jenn:

As a CLG (Certified Local Government), the City has access to state experts in archeology, anthropology, and architecture. Nicholas is the state's historic architect.

He has attended the Storefront Studio Project and is very familiar with our downtown.

I asked Nicholas to review <http://www.cityofgigharbor.net/page.php?id=1691> and the proposed 27-ft height allowance for WC and DB.

Below is his input.

Please circulate to City Council if you think it appropriate.

(Nicholas is aware that I intended to share his input.)

Dawn.

From: Vann, Nicholas (DAHP) [mailto:nicholas.vann@dahp.wa.gov]
Sent: Tuesday, August 27, 2013 1:53 PM
To: Stanton, Lita
Subject: RE: Building Sizes

Lita Dawn,

Thanks for the call. I share some of the same concerns that you do about the existing zoning code in regards to building height allowance. Given the current building height allowance of 16', there is no possible way to match the scale of many of the existing two story buildings in the downtown historic district. A two story building is very difficult to design well given that limitation. Some general comments on proper infill construction within historic contexts are as follows:

- Historic preservation is not meant to stagnate historic districts in a period of time. Rather, its intentions are to provide continued urban life and pedestrian activity to a historic district. This often is possible through rehabilitation of historic structures *as well as* sensitively designed infill construction. By allowing the increase in zoning height, the city would be matching many of the existing building heights as well as promoting infill development that can economically benefit the city, while giving the historic district additional support. This is a very sustainable approach and is very economically viable.
- The *Secretary of the Interior's Standards* 9 and 10 respectively read:
 - "[9] New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."
 - "[10] New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."
- It is important to also consider that zoning regulations are not intended to be design. They establish the maximum or minimum framework in which building construction must fit, but it has no aesthetic design qualities associated with it. This is where design review comes in, and where reviews by the Gig Harbor Historic

Preservation Commission come in to play. The theoretical proposals you have showed me with infill construction match the historic district quite well. It carries through the pedestrian-scale ground floor design elements evident elsewhere in the district (covered / canopied storefronts, welcoming entrance sequence, appropriately sized window openings with large amounts of transparency to the interior of spaces. The overall form is simple, and also has architectural features such as a transomed windows and a roof cornice. There are also side elevation setbacks.) Material choices are also vital and can make a huge difference in determining whether or not infill construction is successful. These are all design decisions that get reviewed by the City, thus ensuring that any infill construction will be thoughtfully and carefully reviewed by professionals with experience in design and/or historic preservation. The purpose of design review is to ensure that proposed development is sensitive to its historic / existing context.

- In regards to viewsheds and infilling open lots where these viewsheds might currently be supreme, Gig Harbor's history has been littered with different iterations of its building stock. The city has always had a very active waterfront, and the views of this working waterfront have been constantly evolving. At some point in time, the waterfront was full of large wharf buildings that didn't offer much in terms of today's viewsheds. Today's experience is also varied in regards to these viewshed opportunities. As a whole, there are plenty of existing viewsheds that would be uncompromised overall (only if you think about how one *moves* through the urban corridor, not how one *stands* in it).

I would stick to my first three points. The viewsheds topic can probably be a touchy one, and I'm not sure I have eloquently captured my point. Let me know what you think or if you have any questions or comments.

Thanks,
Nick

Nicholas Vann | State Historical Architect
360.586.3079 (office) | 360.628.2170 (cell) | nicholas.vann@dahp.wa.gov

Department of Archaeology & Historic Preservation
1063 South Capitol Way, Suite 106 | PO Box 48343 | Olympia WA 98504-8343 | www.dahp.wa.gov

 please consider the environment before printing this email

My weekly hours are 7am - 5pm, Mon-Thurs
Like [DAHP on Facebook!](#)

From: Stanton, Lita
Sent: Thursday, August 08, 2013 10:55 AM
To: 'Vann, Nicholas (DAHP)'
Subject: Gig Harbor and Building Sizes

Great to talk with you yesterday.
I'm following up on your gracious offer to take a look at our *building height ordinance* that's under review. I've posted images online that illustrate the *where, what, and why's*.
Would you be available to review those web pages together over the phone?
Let me know when it's convenient.

Thanks,
Lita Dawn
(253) 853-7609

Kester, Jennifer

From: Dave Morris [davem@kw.com]
Sent: Friday, July 12, 2013 11:56 AM
To: Payne, Tim; 'Jill Guernsey'; Steve Ekberg; Malich, Ken; paulkadzik@comcast.net; Young, Derek; Perrow, Michael
Cc: Kester, Jennifer; 'Casey Arbenz'; 'David Boe'; 'Brett Marlo DeSantis'
Subject: FW: Downtown Building Size and Height Amendments proposals

Greetings councilmembers:

Please review our recommendations attached regarding proposed building size and height amendments proposed for downtown. We understand you will be considering this topic later this month. Thank you, Dave Morris

From: Dave Morris [<mailto:davem@kw.com>]
Sent: Friday, July 12, 2013 11:34 AM
To: 'Kester, Jennifer'
Cc: 'Hunter, Chuck'; 'Jill Guernsey'; 'David Boe'; 'Brett Marlo DeSantis'
Subject: Downtown Building Size and Height Amendments proposals

Greetings Jennifer:

First of all, we thank you for the efforts of you and your staff for proactively considering changes that can help the downtown business corridor & climate survive & prosper in the future. Reasonable increases in both building size and height opportunities will translate to improvements in both the economics AND the architectural aesthetics of downtown gig Harbor.

My brother and I own property in downtown –so we are affected property owners. My wife and I reside at 2809 Harborview, so we are also residents. We all support the maximum reasonable increases in building size and height potential – and we support the height amendment as proposed by David Boe. Without adopting his amendment, the unintended consequences of the existing proposal would make buildings along sidewalk levels in particular – not only architecturally deficient, but potentially unsafe and subject to water damage to the extent that some structures would have their rear wall constructed “below sidewalk grade” which simply doesn’t make good sense.

To conclude -- we suggest that any increases in size and height be “adequate” and practical. In other words, make the increases substantial enough to allow architects, builders, business property owners, homeowners, etc. – to really take advantage of the intent of the changes, without having to be embroiled in legal entanglements, variances, appeals, etc., because the new regs, for example, were a few inches too conservative to meet practical height to accomodate fire codes, HVAC installations, insulation, roofing thickness etc. etc.

Best Regards,

Dave & Merrilyn Morris & Tom Morris

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Friday, July 12, 2013 2:25 PM
To: Hunter, Chuck; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Ekberg, Steve; Perrow, Michael; Young, Derek
Cc: Kester, Jennifer; Stanton, Lita; jarcher@boearc.com; Rice, Paul
Subject: RE: Downtown Building Size and Height Amendments Public Hearing Notice
Attachments: IBC Building Height Definition.pdf; Harborview Residential Heights.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Mayor and Council Members, in response to the discussion at the Public Hearing on Monday Evening I respectfully submit the following for your additional consideration:

1. Residential Building Height: Last October I met with Tom Dolan, Jennifer Kester and Lita Dawn Stanton on this specific issue. At that time I was directed not to upset the apple cart on how building height is defined in the Zoning Code but look at using the existing way Gig Harbor calculated Building Height – and thus why I proposed the amendment last Monday to measure from the existing sidewalk (as it just moved the point not redefined how height is measured).

Since the concern is now to assure consistency within your code(s) on how Building Height is measured and the concern of future public work projects impacting allowable building height (as presented by Jennifer) – then I strongly recommend that the City of Gig Harbor measure Building Height consistent among all of your codes – your adopted Zoning, Building and Fire Codes. As you recently adopted the 2012 International Building and Fire Codes, Building Height with sloped roofs is measured to the Average Height of the roof (logically since ½ the roof is 'above' the height and ½ the roof is 'below'). Please see the attached excerpt from the International Building Code. This will bring your Zoning Code in conformance with your other adopted codes.

2. Historical Character along Harborview: Also attached are two examples of the exact same new residence – one per your current proposed code and one where the Building Height is measured per the International Building Code using the same point of reference on the property (from the highest point along the property line). You can toggle back and forth on the pdf to see the difference in what impact this will have to the streetscape and the pedestrians along the sidewalk.
 - A. This drawing shows the residence designed from the current highest point down (i.e. it is designed from the roof peak down in order to fit within the maximum height). This results in the Main Level 18" BELOW the existing sidewalk on Harborview Drive. The house will still be in a 'hole' relative to the street. If you approve the current code as proposed, this will be the structure that is built.
 - B. This drawing shows how residence will look if it is designed from the ground-up with three 6" steps up from the existing sidewalk at the midpoint of the site to the front porch – and when the Building Height is measure from the same point on the property using the International Building Code, the overall Building Height is less than 16-feet. All of your historic residential structures were designed from the ground-up – not from an arbitrary point in the sky down.

So it is really pretty simple, if you toggle back and forth and like Option A better and think that fits with the other historic residences along Harborview, then you are safe with approving the Planning Commission's recommendation. If you like Option B because the result is much more in keeping with the historic character of The Harbor – then I strongly recommend that you modify your height requirement to be consistent with you own adopted Building Code definition as this will also allow for the City of Gig Harbor to be consistent among your codes (and allow for new structures to be designed in a historically accurate way as well).

As an architect who has designed on over a dozen sites along the waterfront side of Harborview Drive and North Harborview Drive, I don't want to design a new building out-of-character to its surrounding (especially on a property in Historic Millville and directly adjacent to a historic residence – a photo of which is included in your own Design Manual) - but your current proposal will unfortunately result in a final product that will continue that awkward trend of houses built into holes and be contrary to all the effort spent on Visioning in Gig Harbor. Please consider this simple amendment to allow for quality projects to once again be built along the waterfront in Gig Harbor. Thanks for your consideration. David

David Boe – Principal
dboe@boearc.com

From: David Boe [mailto:dboe@boearc.com]
Sent: Friday, July 05, 2013 5:36 PM
To: Hunter, Chuck (Hunterc@cityofgigharbor.net); guernseyj@cityofgigharbor.net; 'paulkadzik@comcast.net'; MalichK@cityofgigharbor.net; 'tpayne@ema-inc.com'; EkbergS@cityofgigharbor.net; 'perrowm@cityofgigharbor.net'; 'YoungD@cityofgigharbor.net'
Cc: 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net); 'Stanton, Lita'; jarcher@boearc.com
Subject: RE: Downtown Building Size and Height Amendments Public Hearing Notice

Mayor and City Council Members, I again send you an e-mail regarding the Proposed Height Amendments for which you are having a Public Hearing on Monday (I hope to be able to attend to present as well). And again, I greatly appreciate the City of Gig Harbor revisiting the existing code relative to the Visioning process that you completed.

But again, I strongly urge you to consider measuring the uphill height to the back of the existing sidewalk instead of the along the front property line as currently proposed.

Why? Because if it stays as currently proposed, you will still get new residential buildings that will be built into a 'hole' relative to the sidewalk along the waterside of Harborview Drive (a condition that is not attractive nor represents the historical character of the Harbor.

Attached is a Drawing that highlights this – using a real site, with real site elevations, with a real project that is going to be submitted upon approval of the revised code (and will thus will be designed to the new revised code in whatever form it ultimately takes).

The true reality of this site, is that when measuring the building height as proposed currently by the City, the actual height relative to the existing sidewalk is not 18-feet but 16-feet 4 + 11/16ths-inches because the existing ground at the front property line is significantly below the existing sidewalk). Thus, the new residence design will end up having a main porch level also significantly BELOW the elevation of the existing sidewalk. All New Urbanism design manuals recommend that the front porch should be at least 18" ABOVE the corresponding pedestrian sidewalk level – and here we will end-up with a porch that is closer to 18" BELOW the existing sidewalk. This is the residence elevation

that is shown on the left side of the drawing (note 6-foot tall figure relative to the house!). With no change to the proposed code, this will be very close to what this project will look like.

Now IF the building height is measured to the back of the existing sidewalk, then at least the main porch level can be at or slightly above the existing sidewalk height. This allows the new residence to be designed much closer to the historic character and patterns of the Gig Harbor Waterfront. Also, because the sidewalk exists, any pedestrian walking along the sidewalk will know how high a new building can be – it is 18-feet from where they are standing. This is the residence elevation shown on the right side of the drawing that our client would much rather have us design and for them to occupy.

I propose that a simple amendment can be made to at least allow for new construction to be closer to the historical patterns and character of The Harbor. This would be to add the following:

"For new residences that have their main roofline parallel to the view towards the water, the maximum height is measured from the highest point located at the back of the existing public sidewalk within the property frontage."

I hope I am able to attend the Public Hearing on Monday to share these points with you personally. Thank you for taking the time to consider this amendment and I hope proposed an amendment which will allow for a new residence to be built along the waterfront in a manner much closer to the unique character of Gig Harbor. David

David Boe – Principal
dboe@boearc.com

From: Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

Sent: Wednesday, June 26, 2013 9:14 AM

To: 'Ali Afrassiabi'; 'Anderson, Jani'; 'Anderson, Myron'; 'Archer, Jessica'; 'Bacchus, Ladd'; 'Berntsen, Edward'; 'Bevin, Avery'; 'Boe, David'; 'Bomkamp, Brent'; 'Bourscheidt, Barbara'; 'Bucy, Russ and Lynne'; 'Carlson, Chuck'; 'Cassell, Constance'; 'Champaco, Brent'; 'Chuck & Charli Meacham'; 'Chuck & June Meacham'; 'Clark, Dennis'; 'Clark, Marjie and Dennis'; 'Coutts, Valerie'; 'Crites, Michael'; 'Czuleger, Tami'; 'Davis, Brett'; 'Declements, Annie'; 'DesMarais, Mary'; 'Dishman, Bruce and Linda'; 'Dompier, Norma'; 'Draggool, Bob'; 'Draggool, Bob'; 'Drohan, Tom'; 'Evans, Bill and Karen'; 'Ford, Richard'; 'Frisbee, Bob'; 'Gagliano, Jeanne'; 'Gagliano, Joseph'; 'Gaigher, Shannon'; 'Gair, Bruce'; 'Gary, Tom'; 'Gerald, Bill'; 'Glein, Gary'; 'Glock-Johnson, Charlee'; 'Graffe, Jo'; 'Grinberg, Roy'; 'Harder, Barbara'; 'Herneux, Curtis'; 'Hill, Leonard'; 'Hill, Leonard'; 'Hoppen, Guy'; 'Hoppen, Mark'; 'Hunter, Dianne'; 'Jason Faulkner'; 'Johnson, Martha'; 'Johnson, Noah'; 'Junge, Scott'; 'Kabbhalim, Paris'; 'Kent-Smith, Tomi'; 'Kreitzer, Karl and Lois'; 'Lantz, Pat and John'; 'Lee, Janet'; 'Leroy, Margot'; 'Loiland, Sue'; 'Lovell, Abby'; 'McClements, Patty'; 'Meyer, Gary'; 'Miller, Wayne'; 'Mitton, Joanie'; 'Moist, John'; 'Morris, Dave'; 'Morrison, Julian'; 'Mott Janine'; 'Mueller, Randy'; 'Murray, Joyce'; 'nedderman, Ted and Nancy'; 'Norman, Peter'; 'Norton, Larry'; 'Oka Akiko'; 'Page, Trena'; 'Perrow, Wade'; 'Peterson, Joyce'; 'Peterson, Pam'; 'Pollitt, George'; 'Pugh, Nick'; 'Quincy, Jake'; 'Ragan, Greg and Karen'; 'Reed, Cindy'; 'Richardson, Lousie'; 'Rose, Andrew'; 'Ross, Debra'; 'Rushforth, Dennis'; 'Scanlan, Conor'; 'Seaquist, Larry'; 'Shaffer, Keirsten'; 'Shaffer, Lilly'; 'Simon Barbara'; 'Smith, lee'; 'Steifel, Justin'; 'Stenlyein, Alice'; 'Stevenson, Lynn'; 'Stouz, Nancy'; 'Thurston, Kathy'; 'Turley, Bryce'; 'Vance, Jan'; 'Vance, John'; 'Vergera, Haleigh'; 'Willenbrock, Jacob'; 'Willenbrock, Kelsea'; 'Wills Christine'; 'Winfrey, Patti'; 'Acker, Colene'; 'Acker, Jeff'; 'Ancich - Quigg, Kathleen'; 'Anderson, Claudia'; 'Bauder, John Vice President'; 'Beyerly, Bruce'; 'Bickford, Kaye'; 'Brent Tayet'; 'Brett Marlo-Desantis'; 'Bucher, Charles'; 'Clark, Dennis'; 'Curry, Laury'; 'Devereux, Betty'; 'Driggers, Barbara'; 'Frazier, Suzanne'; 'Gerlof, Charlotte'; 'Grimmer, Kurt'; 'Hartley, Steve'; 'Hopkins, D.'; 'Janes, Marc'; 'Jeane Gazabat'; 'Knapp, Robert'; 'Lepape, Marilyn'; 'Lucas, Bett'; 'Martinez, Fil'; 'Michaelson, Tony'; 'Millichap, Marcus'; 'Money, Bruce'; 'Norman, Peter'; 'Ortgiesen, Jon'; 'Perrow, Michael'; 'Pine, David'; 'Rodney Tayet'; 'Rogers, Bruce'; 'Schlicher, Nathan'; 'Smith, Lee'; 'Sorensen, Doug'; 'Stanley, Peter'; 'Sutich, Tom'; 'Taghavi, Jafar'; 'Woock, Jenia'; 'Wood, Rob'

Subject: Downtown Building Size and Height Amendments Public Hearing Notice

Please find attached the Notice of Public Hearing for the Downtown Building Size and Height Amendment proposed for City Council public hearing on Monday July 8th, 2013 at 5:30 pm. Please contact Jennifer Kester, Planning Director at 253-853-7631 or kesterj@cityofgigharbor.net if you have any questions. Thank you Cindy Andrews

Cindy Andrews
Community Development Assistant
City of Gig Harbor Planning Department
(253) 851-6170
andrewsc@cityofgigharbor.net

HOW BUILDING HEIGHT IS MEASURED

DEFINITIONS

[F] HANDLING. The deliberate transport by any means to a point of storage or use.

❖ The term "handling" pertains to the transporting or movement of hazardous materials within a building. Handling presents a level of hazard that is of a lesser degree than that of use or dispensing operations but greater than storage. Material is handled only when it is transported from one point to another; it is the act of conveyance. The definition provides the means to determine proper controls necessary to provide safety in the transport mode. Specific handling requirements for various hazardous materials are contained in the IFC.

HANDRAIL. A horizontal or sloping rail intended for grasping by the hand for guidance or support.

❖ Handrails are provided along walking surfaces that lead from one elevation to another, such as ramps, and stairways. Handrails may be any shape in cross section provided that they can be gripped by hand for support and guidance and for checking possible falls on the adjacent walking surface. In addition to being necessary in normal day-to-day use, handrails are especially needed in times of emergency when the pace of egress travel is hurried and the probability for occupant instability while traveling along the sloped or stepped walking surface is greater. Handrails, by themselves, are not intended to be used in place of guards to limit falls at drop-offs. Where guards and handrails are used together, the handrail is a separate element typically attached to the inside surface of the guard. The top guard cannot be used as a required handrail, except within dwelling units where the height is restricted to that of a handrail (see Section 1012). See the commentary for "Guard." For loading on handrails, see Section 1607.8.

HARDBOARD. A fibrous-felted, homogeneous panel made from lignocellulosic fibers consolidated under heat and pressure in a hot press to a density not less than 31 pcf (497 kg/m³).

❖ Hardboard is used for various interior applications, as well as siding applications. Other ingredients may be added during processing to provide or improve properties, such as strength, water resistance and general utility.

[F] HAZARDOUS MATERIALS. Those chemicals or substances that are *physical hazards* or *health hazards* as classified in Section 307 and the *International Fire Code*, whether the materials are in usable or waste condition.

❖ The term "hazardous materials" refers to those materials that present either a physical or health hazard. A specific listing of hazardous materials is indicated in Sections 307.3, 307.4, 307.5 and 307.6. An occupancy containing greater than the MAQ per control area of these materials as indicated in Table 307.1(1) or 307.1(2) is classified in one of the four high-hazard occupancy classifications.

[F] HAZARDOUS PRODUCTION MATERIAL (HPM).

A solid, liquid or gas associated with semiconductor manufacturing that has a degree-of-hazard rating in health, flammability or instability of Class 3 or 4 as ranked by NFPA 704 and which is used directly in research, laboratory or production processes which have as their end product materials that are not hazardous.

❖ This definition identifies those specific materials that can be contained within an HPM facility. The restriction in the definition for only hazardous materials with a Class 3 or 4 rating is not intended to exclude materials that are less hazardous, but to clarify that materials of the indicated higher ranking are still permitted in an HPM facility without classifying the building as Group H. NFPA 704 is referenced in order to establish the degree of hazard ratings for all materials as related to health, flammability and instability risks.

HEAD JOINT. Vertical mortar joint placed between masonry units within the wythe at the time the masonry units are laid.

❖ Vertically oriented joints between masonry units are head joints [see Figure 202.2(2)].

[F] HEALTH HAZARD. A classification of a chemical for which there is statistically significant evidence that acute or chronic health effects are capable of occurring in exposed persons. The term "health hazard" includes chemicals that are *toxic or highly toxic*, and *corrosive*.

❖ Materials that present risks to people from handling or exposure are considered health hazards. Examples of these types of materials are indicated in Section 307.6. Buildings and structures containing materials that present a health hazard in excess of the MAQ would be classified as Group H-4. Materials that present a health hazard may also present a physical hazard (see the definition of "Physical hazard") and must comply with the requirements of the code applicable to both hazards.

HEAT DETECTOR. See "Detector, heat."

❖ Heat detector is defined under "Detector, heat" and is addressed in the commentary for that term.

HEIGHT, BUILDING. The vertical distance from grade plane to the average height of the highest roof surface.

❖ This definition establishes the two points of measurement that determine the height of a building. This measurement is used to determine compliance with the building height limitations of Section 503.1 and Table 503, which limits building height both in terms of the number of stories and the number of feet between the two points of measurement.

The lower point of measurement is the grade plane (see the definition of "Grade plane"). The upper point of measurement is the roof surface of the building, with consideration given to sloped roofs (such as a hip or gable roof). In the case of sloped roofs, the average height would be used as the upper point of measurement, rather than the eave line or the ridge

DEFINITIONS

line. The average height of the roof is the mid-height between the roof eave and the roof ridge, regardless of the shape of the roof.

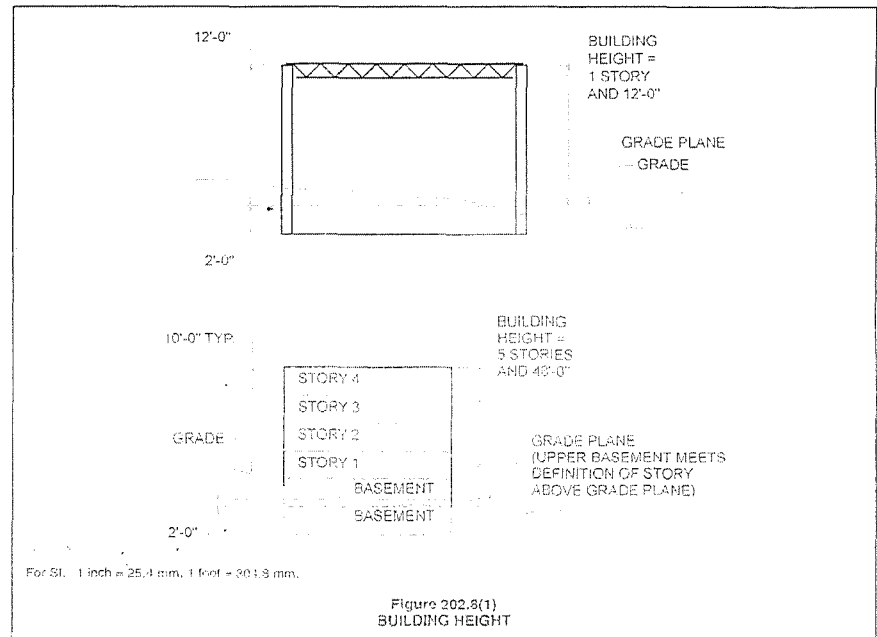
This definition also indicates that building height is measured to the highest roof surface. In the case of a building with multiple roof levels, the highest of the various roof levels must be used to determine the building height. If the highest of the various roof levels is a sloped roof, then the average height of that sloped roof must be used. The average height of multiple roof levels is not to be used to determine the building height. Where structures are divided into multiple buildings by fire walls, building height is determinable for each building separately.

The distance that a building extends above ground also determines the relative hazards of that building. Simply stated, a taller building presents relatively greater safety hazards than a shorter building for several reasons, including fire service access and time for occupant egress. The code specifically defines how building height is measured to enable various code requirements, such as type of construction and fire suppression, to be consistent with those relative hazards [see Figure 202.8(1) for the computation of building height in terms of feet and stories].

The term "height" is also used frequently in the code for other limitations related to, and sometimes not related to, "building height." For example, Section 1509 limits the height of a penthouse above the top of the roof. Since a "Penthouse" is defined as a structure that is built above the roof of a building, it is above the point to which "Building height" is measured. Therefore a penthouse would not affect the measurement of building height and can be located above the maximum allowed roof height provided it complies with the limitations of Section 1509. Other provisions such as Sections 1013 and 1406 specify requirements based on height, but such height is usually measured from a location other than grade plane and is not intended to be building height.

HELICAL PILE. Manufactured steel deep foundation element consisting of a central shaft and one or more helical bearing plates. A helical pile is installed by rotating it into the ground. Each helical bearing plate is formed into a screw thread with a uniform defined pitch.

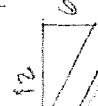
❖ This definition clarifies a term that refers to a specific type of deep foundation element (see the design requirements in Section 1810.3.1.5).



4520'

MAXIMUM HEIGHT ALLOWED BY CURRENTLY PROPOSED CODES

4370'



17'-8" nom.



HIGHEST ELEVATION OF PROPERTY VNS & PROTRACTOR

12" UP FROM

9'-6"

* PER CURRENT PROPOSED CODE

HARBORVIEW ELEVATION [SOUTH ELEVATION]

SCALE: 1/4" = 1'-0"

15:029

A.

0.530

47.48667'

MAXIMUM HEIGHT ALLOWED BY CURRENTLY PROPOSED CODE

MID-HEIGHT PAR IBC

HIGHEST ELEVATION OF PROPOSED WALKWAY

20.0'

3 STEPS UP FROM SIDEWALK 30.32'

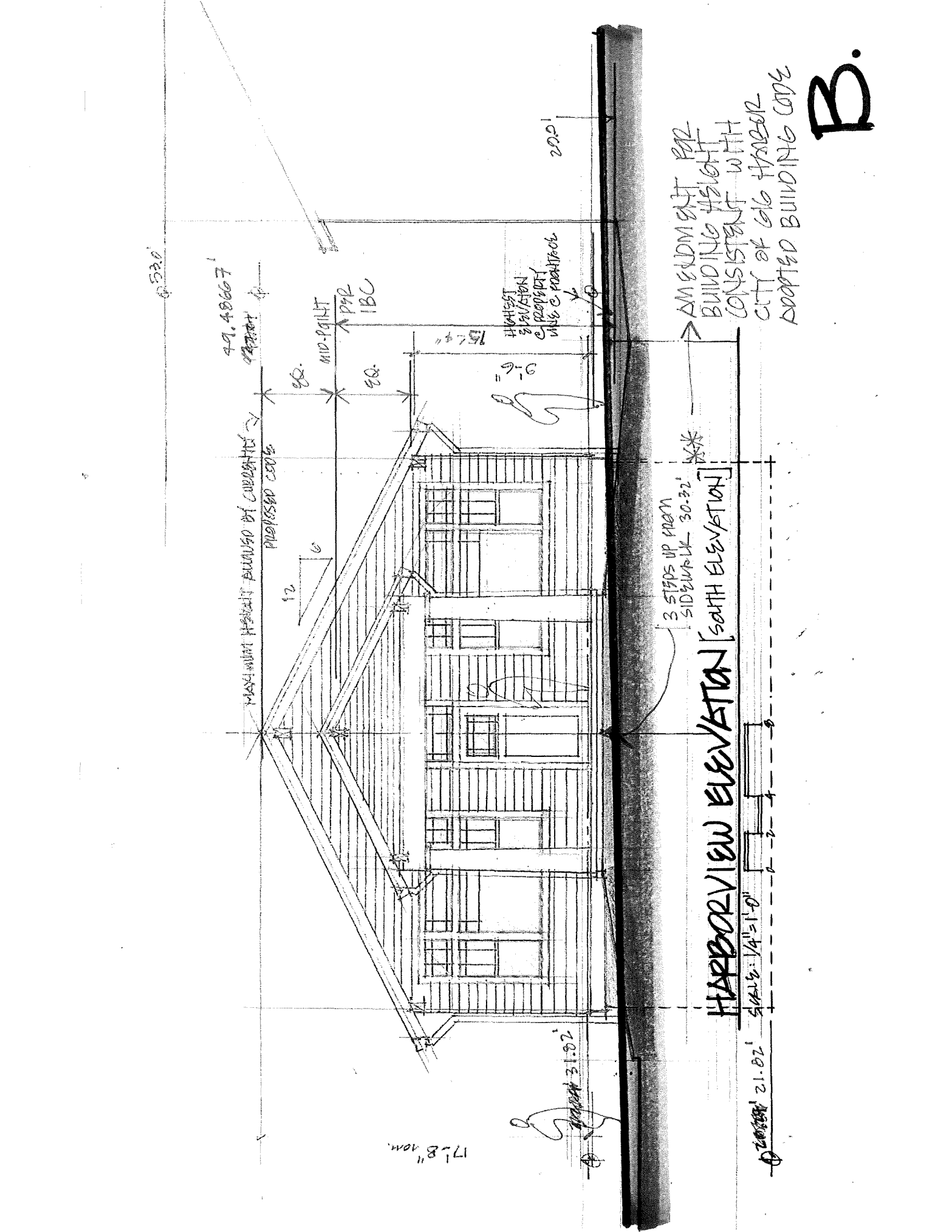
HARBORVIEW ELEVATION [SOUTH ELEVATION]

SCALE: 1/4" = 1'-0"

20.000' 21.02'

AMENDMENT PAR BUILDING HEIGHT CONSISTENT WITH CITY OF ELG HARBOR ADOPTED BUILDING CODE

B.



Kester, Jennifer

From: Hunter, Chuck
Sent: Tuesday, July 23, 2013 11:12 AM
To: Kester, Jennifer
Subject: FW: Zoning Heights

FYI

From: barbgig35 [mailto:barbgig35@comcast.net]
Sent: Monday, July 22, 2013 2:40 PM
To: Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Young, Derek; Ekberg, Steve; Payne, Tim; Perrow, Michael; Hunter, Chuck
Subject: Zoning Heights

What would a water view be without a view of the water? Please consider the value of our beautiful Gig Harbor Village as a place where walkers, bikers and drivers can all see the water, not just those able to afford waterfront property.

When you vote, please do the right thing for the greatest amount of common good, not just a privileged few.

Thank You

Barb Bourscheidt

guernseyj@cityofgigharbor.net; paulkadzik@comcast.net; MalichK@cityofgigharbor.net; YoungD@cityofgigharbor.net; EkbergS@cityofgigharbor.net; hunterc@cityofgigharbor.net
tpayne@ema-inc.com; perrowm@cityofgigharbor.net;

Kester, Jennifer

From: Hunter, Chuck
Sent: Monday, July 29, 2013 11:49 AM
To: Kester, Jennifer
Subject: FW: (no subject)

From: CFisc78212@aol.com [mailto:CFisc78212@aol.com]
Sent: Monday, July 22, 2013 10:37 AM
To: Hunter, Chuck
Subject: (no subject)

I am adding my voice to voting down an increase in the building height along the beautiful harbor of Gig Harbor. I elected to move here 2 years ago because of the harbor and the wonderful views afforded to ALL the residents and the tourists. My choice was Edmonds or Gig Harbor -- the unobstructed view was one of the major reasons I chose Gig Harbor. In the last 2 years I have noticed more real estate and commercial offices taking the place of local retail stores --why would tourists come to see them?

Thank you for listening.

Claudia D. Fischer
6766 Spinnaker Lane
Gig Harbor, WA 98335
253-509-0766 - Primary
360-271-5015 - Cell

Kester, Jennifer

From: Hunter, Chuck
Sent: Wednesday, July 31, 2013 10:59 AM
To: Kester, Jennifer
Subject: FW: New Building Heights

From: webbbryan@comcast.net [mailto:webbbryan@comcast.net]
Sent: Wednesday, July 31, 2013 12:28 AM
To: Hunter, Chuck; Payne, Tim; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Young, Derek
Subject: New Building Heights

Council Members,

It has come to my attention that new zoning rules are being considered for the historic waterfront in Gig Harbor.

While I am not totally clear on the reasons why these new rules are being considered, it really doesn't appear to me that there is ANY reason to consider these changes. Looking at the photos and drawings of what is being proposed made me want to cry.

The beautiful waterfront in Gig Harbor is a big reason why I chose to move here in the first place. The beautiful waterfront is a big reason why people come here to spend their vacations. If the council decides to change the rules to make it possible to build 27' high buildings that would block the beautiful views of our beloved harbor, then it is the beginning of the end of our great city. Our historic waterfront is what sets the City of Gig Harbor apart from all other cities in the region. Every time I tell someone that I live in Gig Harbor, they comment on how beautiful the city is....ESPECIALLY the downtown area that includes the waterfront.

Set zoning rules for taller buildings elsewhere in the city if you must, but LEAVE THE HARBOR ALONE! In fact, you should all be PROTECTING the harbor from changes like this. There is a reason why they call it "historic"! I'm willing to bet that if you all took the time to ask the city residents and the people who like to vacation here what their opinion would be on this matter, they would agree with me.

It's funny, I was just recently commenting to someone on how well-run my city is. I mentioned the great idea to make the changes in traffic patterns at Donkey Creek Park. But this? This is very disappointing to say the least. I encourage you all to think long and hard before making a decision on this one...your city is watching.

Bryan Webb
253-509-0380 h
253-888-5915 c
webbbryan@comcast.net

Kester, Jennifer

From: Hunter, Chuck
Sent: Wednesday, August 14, 2013 7:52 AM
To: Kester, Jennifer
Subject: FW: Harbor View

FYI

From: Mera Neufeldt [mneufeldt@comcast.net]
Sent: Tuesday, August 13, 2013 7:59 PM
To: Hunter, Chuck
Subject: Harbor View

Dear Sir,

I am writing on behalf of those who wish to keep the wonderful views and warm ambience of the harbor. I am one of many people who regularly walk and enjoy the harbor . I see how many people enjoy the scene the way it is. Please do not vote for the 27 foot height change that has been proposed to the city council.

Respectfully,

Mera L. Neufeldt
9722 Harborview Place,
Gig Harbor

Kester, Jennifer

From: Brekke, Laurelyn
Sent: Friday, August 16, 2013 5:30 PM
To: Ekberg, Steve; Guernsey, Jill; Kadzik, Paul; 'Kadzik, Paul'; Malich, Ken; Payne, Tim; Perrow, Michael; Young, Derek
Cc: Hunter, Chuck; Towslee, Molly
Subject: FW: Care 2 Petition

Good Afternoon:

The e-mail below came in addressed to Council.

Laurelyn Brekke
Executive Assistant
City of Gig Harbor
Desk: 253.853.7638
www.cityofgigharbor.net

From: Jayne Dempsey [<mailto:jaynedempsey@yahoo.com>]
Sent: Friday, August 16, 2013 4:54 PM
To: Brekke, Laurelyn
Subject: Care 2 Petition

Dear Council Members,

As a lifelong resident of Gig Harbor, there are changes I've witnessed that are good for the growth of the City, and those that do not serve that purpose!!

Re: new zoning rules for Harborview Drive, I strongly OPPOSE!!!

Jayne Stanich Dempsey

Kester, Jennifer

From: Mark Hoppen [hoppenm@gmail.com]
Sent: Thursday, August 29, 2013 7:27 AM
To: Payne, Tim; Ekberg, Steve; Guernsey, Jill; Malich, Ken; Young, Derek
Cc: Hunter, Chuck; Stanton, Lita; Kester, Jennifer; paulkadzik@comcast.net; Richards, Dennis
Subject: Zoning DB and WC

The illustrations that Lita Dawn is drawing up should include perspectives from El Pueblito, from the top of Tarabochia Lane, and from the under-developed and undeveloped lots up Pioneer Way. In other words, the real problem with this zoning proposal may be a mass-and-scale and height issue in the transition between zones in the upper reaches of the DB Zone. The issue of view corridors, other than main arterial hill corridors already protected in the Comprehensive Plan, are a separate policy issue, if the concept is to be expanded in some fashion. Frankly, I think the term "view corridors" is not what Jeni Woock really means. If she was versed enough, then I think she would have described a mass-and-scale and height issue in both WC and DB as her concern. View issues, then, are by-products, not the issue in-and-of itself.

In my view, the WC is no problem for numerous, obvious reasons. The upper DB, though, is a serious enough problem that without thought and mitigation to the policy, it ought to be a fatal flaw.

Mark Hoppen
8133 Shirley Avenue
Gig Harbor, WA
253 279-2415 (cell)

Kester, Jennifer

From: Chris Coates [CCoates@tranow.com]
Sent: Monday, September 09, 2013 9:31 AM
To: Kester, Jennifer
Subject: FW: I am fine with the new zoning (address: 4912 Deer Creek in Gig Harbor)

From: Chris Coates
Sent: Monday, September 09, 2013 9:31 AM
To: 'andrewsc@cityofgigharbor.net'
Subject: I am fine with the new zoning (address: 4912 Deer Creek in Gig Harbor)

I have a residence in Gig Harbor city limits and am fine with allowing more commercial development in downtown. We have so many opportunities for growth to allow tourism and economic development. People need to support change (like the new narrows bridge) instead of living in the past.

Chris

Confidentiality Note: This message, including any attachments, is for the sole use of the addressee and may contain protected health information and/or other confidential and privileged information. Access to the message by anyone other than the intended recipient is unauthorized. If you are not the intended recipient, any disclosure, copying, distribution, forwarding or any action taken or not taken in reliance on it, is prohibited and may be unlawful. If you are not the intended recipient, please contact the sender and destroy all copies of the original message.

Kester, Jennifer

From: erik hansen [hans55@sbcglobal.net]
Sent: Thursday, October 03, 2013 6:52 AM
To: Kester, Jennifer
Subject: Waterfront development - no changes please

Please do not change or allow any changes to the waterfront. We do not need to ruin this gem.

Thanks E. Hansen

Kester, Jennifer

From: Michael Crites [mjcrites@gmail.com]
Sent: Thursday, October 03, 2013 1:45 PM
To: Kester, Jennifer
Subject: New downtown zoning

I'm in complete support of the new down town zoning regulations. To have a healthy, functional, down town you need to have buildings that are fronted to the street, mixed use zoning, and densities that are high enough to support a live-work-play environment. The proposed zoning changes are a good first step in that direction. I hope that in the future that buildings taller than 27' will be allowed in areas other than on Harborview Drive.

Michael Crites
9514 Goodman Ave
Gig Harbor Wa 98332

Kester, Jennifer

From: Jim Nelson [jen@jnels.org]
Sent: Friday, October 04, 2013 10:25 AM
To: Kester, Jennifer
Subject: Waterfront Buildings & Waterfront Home Regulations

An experience - and a suggestion:

In many German cities, when building heights are a matter of public concern, there is a requirement prior to building/code approval that maximum-height-poles be installed at all roofline corners of the property. This provides an immediate check on the visual impact of all building plans prior to zoning or construction.

My suggestion is that, prior to voting on new proposed Harborview zoning regulations, maximum-height-poles be installed as examples to illustrate the issues in question. Through this approach, all parties would be better informed about potential impact of the proposed changes.

Regards....//Jim Nelson//

8103 Bayridge Ave
Gig Harbor, WA 98332
Ph: 253-851-3983

Kester, Jennifer

From: Hunter, Chuck
Sent: Tuesday, October 08, 2013 11:25 AM
To: Kester, Jennifer
Subject: FW: zoning changes

FYI

From: Carmela Micheli [<mailto:carmela@harboret.com>]
Sent: Saturday, October 05, 2013 8:38 AM
To: Hunter, Chuck
Subject: zoning changes

I am writing to urge you to not amend the current zoning rules on building heights and setbacks. The views of our harbor are limited enough now. As we have seen before, when the Russell Building was finished, that all the pictures, drawings and words go out the window when in the end more of our view is gone. The views (as well as access) should belong to the community not to individuals and businesses with enough money to control them.

Carmela Micheli
carmela@harboret.com

Kester, Jennifer

From: Hunter, Chuck
Sent: Tuesday, October 08, 2013 11:24 AM
To: Kester, Jennifer
Subject: FW: PLEASE DON'T LET THEM BLOCK OUR GIG HARBOR WATERVIEW

FYI

-----Original Message-----

From: Irene Kelton [<mailto:kelton.irene532@gmail.com>]
Sent: Monday, October 07, 2013 1:44 PM
To: Hunter, Chuck
Subject: PLEASE DON'T LET THEM BLOCK OUR GIG HARBOR WATERVIEW

YOU WILL BE REMOVING THE CHARM OF THIS DESTINATION TOWN....

NEXT THING , BIG BOX STORES WILL MOVE IN HERE

I'M TELLING EVERYONE I KNOW ABOUT THIS SNEAKY PLAN BY THE CITY COUNCIL

NOBODY IN GIG HARBOR WANT THIS

Kester, Jennifer

From: Hunter, Chuck
Sent: Tuesday, October 08, 2013 11:19 AM
To: Kester, Jennifer
Subject: FW: Revised zoning - Gig Harbor Waterfront

FYI

From: Charles Thompson [<mailto:thompsonch1@gmail.com>]
Sent: Tuesday, October 08, 2013 9:03 AM
To: Hunter, Chuck
Cc: jeni@citizens4ghwaterfront.mygbiz.com
Subject: Revised zoning - Gig Harbor Waterfront

To the Counsel... Consider this email as an opportunity to re-establish the fact that you represent the voice of the people (Gig Harbor residents) as opposed to supporting any special interest groups (developers) wanting to change the face of the waterfront side of downtown Gig Harbor.

With over 1200 signatures along and the outcry of concerned Gig Harbor residents on this issue, it is clear that that the Counsel need to understand that: WE DON'T WANT YOU TO SUPPORT ANY REVISED ZONING FOR OUR GIG HARBOR WATERFRONT! I would restate this again but I hope the forgoing message is clear.


It's not a matter of who is right or wrong on this issue. It's a matter of perception by Gig Harbor residents as to a potential impact on this issue. LEAVE WELL ENOUGH ALONE.

C. Thompson
Gig Harbor, wa

- Written public comments received prior to July 8, 2013 close of public comment period
- Meeting minutes documenting testimony taken at Planning Commission hearings on December 6, 2012, March 21, 2013 and April 11, 2013 and the City Council hearing on July 8, 2013

7/8/13 Council mtg

Mayor Hunter opened the public hearing at 5:43 p.m. No one came forward and the hearing closed. This will return at the next meeting for second reading on the consent agenda.

 3. Public Hearing and First Reading of Ordinance – Downtown Building Size and Height Amendments. Planning Director Jennifer Kester presented an extensive background of four proposed amendments to the downtown building size and height, and waterfront residential codes.

Planning Commission Chair Harris Atkins explained that these amendments are the first step in the process to promote the Harbor Vision adopted by the city. He mentioned that the Planning Commission took this task seriously and spent quite a bit of time coming to these proposed amendments. Chair Atkins thanked staff for their support during the process, especially for helping them to understand the ramifications of any action. He said that they are working towards converting the vision statement to policy recognizing that there are potential elements that may be in conflict. He said that these amendments are an attempt to strike the balance between a successful downtown and maintaining the character of Gig Harbor.

Director Kester addressed Council questions. Mayor Hunter opened the public hearing at 6:15 p.m.

Marilyn Lepape – 10408 Kopachuck Dr. NW. Ms. Lepape said she grew up in Gig Harbor and she would hate to see the wonderful character of the town change. She said to leave the waterfront as is to allow people to walk along and see the water, and also commented that these changes could cause a corridor feeling. She said she likes the variations in the sizes of the buildings and that she thinks we are trying to urbanize Gig Harbor. She said that changing the height requirements on the water side will diminish one of the greatest assets of the harbor, citing the vision plan “to keep a vibrant place with a walkable waterfront with picturesque views in a natural environment.” She said she would hate to see Gig Harbor become something it isn’t.

Ralph Christ – 865 11th Ave. Fox Island. Mr. Christ said that he and his wife own under-developed property in Gig Harbor, and have seen their taxes go up over 100% in the past two years. He asked for clarification on whether building to the existing footprint decreases the property value. Ms. Kester responded that there is no proposed change to the footprint; you could build up to the existing 6,000 square foot limit and up to 27 feet in height with this proposal. She also responded that State guidance decides what homes are historical; usually those over 50 years old, and that it’s up to the homeowners to register the property.

David Pine – 3317 Rosedale Street. Mr. Pine showed Council a photo of the El Pueblito Restaurant which he said is 18 feet high. If they are allowed to increase that another 9 feet, it will block the views from the homes located behind. He said he hopes there will

be exemptions to this rule as property values would be impacted. He said he is against the 27 foot height increase.

Nick Pugh – 3311 Ross Avenue. Mr. Pugh thanked the Council and Mayor for doing an excellent job in the downtown area. He said he and his architect worked through all the criteria to build in the historic district and that they had an expectation that they would be looking at 6/12 roof pitches on the other buildings in that area. He said he understands the proposal for a 27 foot height increase, but is somewhat bitter, and wanted to know if he could increase his height to 27 feet with a flat roof/square building like he had before he stepped up and followed the city guidelines. He would like to see guidelines remain in force and suggested you look at each property individually to prevent impact to the view corridor and to preserve the historic nature of the downtown.

Jeni Woock – 3412 Lewis Street. Ms. Woock thanked Council and the Planning Commission for their hard work on this proposal. She said Gig Harbor is known for its beautiful harbor, walks to the water, and wildlife, adding that the vision statement makes mention of the views. She emphasized that the harbor and its view doesn't belong to any of us, but to all of us, and we are the caretakers for future generations, so it is our responsibility to be good caretakers of the harbor, including the view. She asked how anyone has the right to build two-story buildings on the water-side in front of the view that we have been given to protect. Stressing that tourists visit to enjoy the view of the water, she said that when it's gone, it's gone. Once the precedence has been set, other waterfront commercial buildings will want to do the same. She said she has been told that no one is asking for these changes, so why make them. These rules will affect the picturesque views that are supposed to be important. Precedent has possibility of changing how downtown looks forever. She asked Council to be a hero to our kids by modeling that the beautiful view is more important than two-story buildings, by grandfathering in existing two-story buildings to rebuild in a catastrophe, and by encouraging new businesses to build two-story buildings elsewhere.

Jack Bujacich – 3607 Ross Avenue. Mr. Bujacich explained that he wanted to mostly speak to the residential area from Skansie Park to Hoppen's. He stressed that even a new 10 foot house would block the view if you are walking down the street. He said that the established residential homes consist of older tall buildings; that's what makes Gig Harbor. He named off many "double-story" houses, some over 27 feet, adding that they aren't blocking any more views. He said that there are city parks all along the street, and there is only one vacant lot left to build that he and his brother own; and it's used for a parking lot. What's there is there, and if you want to retain the historic character of Gig Harbor then keep that type of construction on the waterfront...it looks good that way.

Greg Hoeksema – 9105 Peacock Hill Avenue. Mr. Hoeksema asked for clarification on rebuilding to the current footprint. Ms. Kester explained that if you are under the

maximum 6000 square foot limit, you could tear down and rebuild. If you are over the 6000 limit, this proposal would allow you to rebuild to the existing footprint.

Mr. Hoeksema said he decided to move to Gig Harbor after walking down the street in 1985. He explained that he became an activist when changes to the design manual were being considered around ten years ago when the Waterfront Inn was built. He disagreed with what was said about taller buildings not impacting the view due to the steep topography on either the waterside or uphill side of Harborview. He voiced concern that you are proposing something that seems reasonable now, but through the variance process, you could end up with a huge building on a tiny lot like the Waterfront Inn. They were allowed a higher roofline, and then the neighbors on each side were given variances. There now is a significant impact to the view corridor as you are walking along Harborview Drive. He voiced concern that as you raise the heights of the buildings in that area you will impact the view, adding that he is opposed to the lot after lot of two-story buildings that would occur over time.

David Boe – 705 Pacific Avenue, Tacoma. Mr. Boe addressed the historical nature of the residential area, specifically the height of the existing houses. He said that the older homes were designed from the ground up; they have porches that are up two or three steps up from grade and then there's the house. In the past ten years, the measurement is happening from the top down in order to fit the lot, and now houses are being placed two or three feet below the sidewalk. He presented two drawings illustrating a simple craftsman style home that fits the historic character of the neighborhood, but with the first floor below the sidewalk. He explained that this is because Harborview was filled in and banked so that in some areas the water-side is higher than the upland side. He said in order to make the houses look correct you need to measure the height from the highest point on the sidewalk.

Councilmember Kadzik asked for clarification on how he would address a very steep grade. Mr. Boe responded that you would fill in the gap with dirt excavated from the construction. This way the porch would have more of a relationship with the sidewalk which would create a more walkable, historical character of a streetscape.

Councilmember Ekberg asked if the two new houses next to the Bujacich Netshed were built according to this recommendation, then wouldn't that create a much higher elevation. Mr. Boe responded that on that steep of a site, trying to get two levels you would still be working down.

Wade Perrow – 9105 Harborview Drive. Mr. Perrow thanked Council for moving the Vision Statement forward and stressed that it's challenging to try and legislate good taste. He voiced concern that we have a desire to maintain the historic nature through the design manual, but are limited as far as measuring the building height. He cited two

properties: 9113 Harborview Drive which is 7-1/2 feet below the street, and 8715 which is approximately 17 feet below. He explained that these buildings are low because the road has been built up creating an artificial landscape that you are now trying to match. This forces buildings down in a hole so that you are looking at roofs, sewer vents, and skylights. He agreed that the height should be measured from the sidewalk, but added that this is a challenge that needs to be considered in more depth. He then voiced his concern with the commercial area by saying the Vision Statement talks about the downtown going from Vernhardson to the Old Ferry Landing, but only the core downtown is being considered in this proposal. The Finholm District has a preponderance of flat-roofed buildings, and leaving this area out of the discussion is avoiding a big part of the vision, he said. He then asked Council to consider asking the Planning Commission to include the Finholm District.

Councilmember Kadzik asked for a contractor's point of view on how practical it would be to fill the void if you measure height from the sidewalk or the property line as has been proposed. Mr. Perrow responded that it's practical to fill the void, adding that you would still have stair step buildings in order for it to blend. He said that from the sidewalk you would have more of the historic flavor and look. He also said that you would have to rely upon the property owner to do the right thing. As Mr. Bujacich said, two-story buildings are part of the fabric of the area and we need to figure out a way to continue to do that on the water side.

Councilmember Young asked to clarify why the Finholm District was excluded from these recommendations.

Ms. Kester explained that the results of the town-hall survey show that the majority of people identify "the downtown" as the core area. The Planning Commission was asked to look at small changes that would provide flexibility and maintain the scale under the current parameters of the comp plan, adding that they began working on this before the Harbor Vision was adopted. Because the DB Zone had the most intense uses, they decided to focus the process there, acknowledging that it once these changes are adopted it will be necessary to look at the entire stretch along the harbor up to the Finholm District.

Gary Meyers, GKS Building Design - 2009 53rd St. NW. Mr. Meyers asked who to approach to discuss plans for their property located between the Tides Tavern and The Green Turtle Restaurant. He explained that it might be quite some time before the Haub's move forward with the master plan for that area, but they would like to move ahead with their own plans for their property that fits with the Master Plan that has already been reviewed. He was directed to come to the Planning Department with any new plans that they would like to discuss.

Colleen Aker – 3320 Lewis Street. Ms. Aker moved here from Wisconsin a year ago because it's so beautiful, and she said the city has done a good job of preservation of such a gorgeous, wonderful area. She said that people consider the area downtown historic, and if someone purchases commercial property here, they should know there are rules to follow in an historic district and so there shouldn't be any need to make changes for it to be more business friendly. She said one ramification of changing the building height is it could change the character of the area. She added that other people have mentioned that they were told that the Russell Building would allow you to see the water, have open areas, and access all around it. She said that this building doesn't fit in with the character and historic nature of the town. She asked Council to keep this in mind, saying that she hopes we can preserve the beauty that makes Gig Harbor the historic, wonderful community it is.

Mark Hoppen - 8133 Shirley Ave. Mr. Hoppen pointed out that the Russell Building is only 13 feet high and set back from the street, stressing that it could have been 18 feet high and right at the sidewalk. He also explained that there had never been a promise that the building would not block some of the view. He continued by saying that the problem with this proposal is not about the water side. When you look at design review, site layout, connection to the public right of way, and architecture, these proposals seem to handle these concerns in the DB zones, he said. But what may not be handled is the El Pueblito building, because the fourth part of design review is transition between zones. Areas up Pioneer, Tarabochia Lane, and behind El Pueblito need to be thought out better, he stressed. Something helpful that would help everyone understand, he suggested, is a 3-D visual layout that could show the maximal results of this proposal. You then could readily know the flaws.

Jim Franich – 3702 Harborview Drive. Mr. Franich said thoughtful comments have been made that he hopes Council will keep in mind moving forward. He then said that the 27 foot height limit maybe appropriate in certain locations in the DB zone, but it would be more appropriate to break up the zone into sub-areas such as the more intense Judson area, then less intense use up Pioneer; and then the transition zones such as at El Pueblito. He said that the eclectic mix of taller and shorter buildings we currently have is fine, but if everyone builds to 27 feet it wouldn't preserve that uniqueness. He clarified that this proposal isn't limiting the overall building height to 27 feet because on severely sloped parcels you have a potential for buildings substantially taller, which he thinks is a problem. Mr. Franich stressed that not requiring parking while expanding square footage goes against common sense, as buildings need to accommodate their impact. He then addressed the retention of historical street scape and the proposed parkway setbacks which states "the exact number should be reflective of the existing historic homes." He said that he went and measured setbacks in the existing homes in that corridor. He cited the Ivanovich house as an example, saying this house is set back

roughly 18 feet from the sidewalk including the 5'9" porch, and the Ancich house next door is set back another 7 feet back from that. He said he has a problem with moving setbacks closer to the road because it doesn't meet the stated intent to retain the historic character of the neighborhood; and six feet to the road is not the natural characteristic. Addressing North Harborview drive, Mr. Franich said that he can't remember how much fill was brought in, but stressed that no matter what, you would still have houses in a hole without road buildup. People buy lots and should know the conditions and regulations, and so trying to redesign under some new urbanist definition isn't the way to progress, he stated, and finalized by saying past Councils and Administrations have worked to further the goal of maintaining the basin; Council are the gatekeepers of the regulations and should work to maintain the uniqueness we have been fortunate to have for so long.

Jeff Aker – 3320 Lewis Street. Mr. Aker said he agrees with the last two speakers that if you allow 27 foot high building in that zone up to the residential area would be a big mistake, you would be adding 11 feet of height in front of the existing houses. He said if they wanted to live in Uptown, they would have moved there, but we like the character of this downtown area and would hate to see it change.

Mary Andrews – 8915 Franklin Avenue. Ms. Andrews asked if the city would follow up with the Finholm District.

Ms. Kester responded that once the policies for the Harbor Vision have been developed, the Planning Commission will begin to look at regulations to implement the vision that may include what kind of size and height changes would be appropriate for the Finholm District. She said the public comment process will continue, and that she estimates that they may begin to look at the Finholm District in the early-to-mid-2014 timeframe.

Dale Woock – 3412 Lewis Street. Mr. Woock said that that several of the speakers have talked in defense of the downtown, waterside of Harborview. We want to protect this area along with the Finholm waterfront area, he said, and so why are these areas included with the uphill regulations. He said that the view and character up on Judson Street isn't as important, but the downtown water side of Harborview should have a separate zone of protection.

There were no further public comments and the Mayor closed the public hearing at 7:13 p.m.

Ms. Kester responded to Councilmember Malich's hypothetical question regarding what could be built at the Millville Condo site. She also responded to his questions regarding why the Finholm District is included on the map, (relates to residential only), and trees

planted in the view corridor that could block views (amended last year to limit height of vegetation).

Councilmember Perrow asked for clarification on whether these proposals change the side-yard setbacks (no), the view corridor protections in place now (no), and if the Shoreline Master Program allows for another layer of protection (it does).

Ms. Kester was asked to clarify why the Planning Commission didn't incorporate the suggestion to measure height from the sidewalk. She explained that one, they wanted to keep consistency with how commercial property is measured in the same zone; and two, if we measure from the public right of way, public works projects could potentially change someone's property rights.

Councilmember Malich said that he would like to see amendment "D" removed from the ordinance, would like the Waterfront Commercial considered separately from the DB zone, and also would like to amend the borders of the DB zone to run from Rosedale to Soundview Drive. Ms. Kester said that if Council wants to amend or remove sections of the ordinance they could do so.

Ms. Kester addressed the Harbor Landing / El Pueblito site by explaining that city code requires zone transition standards that limit the footprint and height of commercial buildings to mirror surround homes. The project can go to the Design Review Board and through public meetings, the proposal is looked at in 13 different ways in order to mitigate impact to the adjacent residential area. Also, there is a 20' setback in that area abutting the single family residents. Any new building would have to be 20 feet back from the property line, so height would be measured from the parking lot. She said that the views from the first floor of the four adjacent would be blocked, but there is less chance of the 2nd floor view being blocked. When the Planning Commission did a walking tour they identified this as the one area most likely to have view blockage, but they didn't recommend carving it out at this time. She said they realize that zoning changes may be required to address this conflict.

Mayor Hunter agreed this needs to be considered. He announced that this would return for a second reading under old business. Councilmember Kadzik said he would like time to really discuss this in order to digest the information. Ms. Kester suggested that Councilmembers come and meet with her in the next two weeks to address specific questions.

Councilmember Young voiced concern that grandfathering of buildings could create two classes of property owners within the same zone that might raise constitutional concerns. He said that he is concerned with the legal ramifications.

Angela Belbeck responded by saying the law recognized non-conforming uses and structures, and asked if a structure comes down and is rebuilt to same footprint, if it is taking away from anyone. Councilmember Young said that it's one thing if a building is destroyed by natural disaster, or if there is normal maintenance or upkeep, but if the property owner chooses to tear down to raw land, but the adjoining property can't build to the same size or height, it's wrong.

4. Interlocal Agreement - Pierce Transit / Gig Harbor Trolley Demonstration Project. City Administrator Denny Richards explained that at the last meeting Council voted to participate with \$10,000 towards this project. Since that time there has been a commitment from the both the Chamber of Commerce and Uptown Association for \$10,000 each, and the Downtown Alliance for \$5,000. This brings the total to \$35,000, which is \$6,161 short of the total amount being requested. In order for the project to move forward, the city has been asked to sign an Interlocal with Pierce Transit.

Councilmember Young explained that the reason we are short is because of the quick turnaround time and because we haven't been able to get the private contributions we were hoping for. The fare has already been advertised at 25 cents, and because it starts tomorrow, Pierce Transit is committed; so it would be a good gesture for the city to make up the difference. He said that it's not a huge amount of money compared to other things we invest in, and has an economic development purpose. Councilmember Young said that he recognizes we are not obliged, but we should do it from a smart business standpoint to make sure the project works. He also said that he doesn't to go back to the board and have the evaluation be on shaky ground because we didn't get to the 16% fare box recovery.

Councilmember Ekberg voiced concern that the 16% fare box recovery requirement was never discussed. He said he likes the trolley idea; Mayor Wilbert tried for sixteen years to get a town-around bus, but it didn't made economic sense. He said that he thought Pierce Transit was taking on the project and was unaware that the city was going to be contributing anything. Then we were asked to come up with \$10,000; now it's to commit to be responsible for \$41,000 when we didn't have any input into the fare or the route. We are also being asked to make up the difference when there are other ways to do that such as charging \$1 to ride all day, which makes sense and increases revenue. At this late date, he said that he's not willing to contractually commit the city for the full \$41,000, but added that he doesn't have a problem with the \$10,000 contribution. He voiced appreciation for the efforts from the other organizations to go in on this.

Councilmember Young clarified that transit agencies don't have the process to accept private contributions and so the city was always meant to be the agent. The issue is when this first came up, the community investment team comprised of the city, the chamber, other groups, came up with the idea of the reduced fare and fare box recovery

**City of Gig Harbor Planning Commission
Work Study Session and Public Hearing
Council Chambers
SPECIAL MEETING
April 11, 2013
6:00 pm**

PRESENT: Rick Gagliano, Craig Baldwin, Bill Coughlin, and Reid Ekberg. Jim Pasin, Pam Peterson, and Harris Atkins were absent

STAFF PRESENT: Staff: Lindsey Sehmel and Jennifer Kester

6:00 p.m. - Call to order, roll call

PUBLIC HEARING

1. **CITY OF GIG HARBOR, 3510 Grandview St, Gig Harbor, WA 98335 -**
Application for a Gig Harbor Municipal Code text amendment (PL-ZONE-12-0009) to consider recommendation on code amendments regarding the measurement of residential building height and front setbacks along the waterside of Harborview and North Harborview Drives.

Ms. Kester gave a brief summary of the proposal and background.

Mr. Baldwin opened the public hearing at 6:00 p.m.

Jack Bujacich, 3607 Ross Ave., Gig Harbor

He noted that when he had been Mayor they had established a height restriction area. He stated that 18' on the waterfront measured closer to the sidewalk would be more uniform with the other side of the street.

David Boe 705 Pacific Ave., Tacoma

Mr. Boe noted that this proposal was coming out of the visioning process and keeping new development in line with the historic character. He felt that height should not be measured from the property line but from the sidewalk. He noted that in some areas the water side of Harborview is higher than the upland side. Mr. Boe further explained how measuring from the sidewalk would improve the placement of the porch. He strongly recommended that the 18' be measured from the back of the sidewalk and distributed an illustration.

Kathleen Ancich Quigg, 1831 Bel Air Ave. Ms. Quigg stated that they had purchased the property at 3617 Harborview. She voiced her support for the proposal.

Doug Sorenson, 9409 N Harborview Dr., Gig Harbor Mr. Sorenson stated that they have lived at this residence for 41 years. He commended the Planning Commission for pursuing this issue and stated that he supported David Boe's suggestion to measure

from the sidewalk. He noted that there are only 6-10 vacant lots that haven't been developed and he owned 4 of them. Mr. Sorenson pointed out that the shoreline regulations are going to impact these lots to such an extent they will have to use a reasonable use exception to build something. He stated that most people are not going to tear down their house on the waterfront because of the regulations. He also noted that businesses have a zero setback and he felt that the residential should have the same setback. Mr. Sorenson suggested that they develop a map of the right of way in order to help with this decision and volunteered to be on a committee to research this further.

Dennis Clark, 4011 Burnham Dr., Gig Harbor

Mr. Clark stated that he thought the height restriction on the uphill side was 16' as measured from the setback line. Ms. Kester noted that this is only within the Historic District. He wondered what research has been done on preserving the view for the uphill houses. He felt that the current regulations seemed to be working pretty well. Mr. Clark expressed concern for the view corridors along Harborview.

Kay Bickford, 3155 Erickson St., Gig Harbor

She said she supported Mr. Boe's idea of measuring from the sidewalk and felt it was more consistent with the historic homes in Gig Harbor.

Beth Lucas, 10911 Crescent Valley Drive, Gig Harbor

She noted that she walks Harborview Drive quite often. She supported Mr. Boe's idea of measuring from the sidewalk.

Bruce Rogers 2804 Harborview Drive Unit B, Gig Harbor

He voiced his concern for the houses on the uphill side and hoped the commission was considering this. He noted that the topography is not that steep. He also said that although people may not tear down houses today, that might be different in the future.

Mr. Baldwin closed the public hearing.

Ms. Kester addressed the question posed regarding view corridors. She noted that this proposal will not change the requirement to have a view corridor on either side of a residence. She further explained the difference in regulations if a person was remodeling versus tearing down and rebuilding.

Mr. Coughlin asked if the view corridor changed with the new shoreline master program. Ms. Kester said that no, the view corridor changed approximately a year ago.

Mr. Baldwin thanked everyone for coming and said that the commission will be considering everyone's comments and possibly making a recommendation at their next meeting on this topic.

Ms. Kester asked if there was any other information the commission required prior to further discussion. Mr. Gagliano suggested that the information regarding the right of

way would be helpful and Ms. Kester said that she would provide some maps. Additionally he suggested that further information be provided on the shoreline regulations and how they relate to this area.

Mr. Baldwin deferred the approval of the minutes until the next meeting.

Mr. Coughlin asked if some detailed topographic maps of the shoreline and the uphill lots could be provided. Ms. Kester said she would try to provide some aerial based topography.

OTHER BUSINESS

Discussion of upcoming meetings – April 18, 2013 & May 2, 2013

Adjournment

MOTION: Move to adjourn at 6:33 p.m. - Ekberg/Gagliano. Motion carried.

**City of Gig Harbor Planning Commission
Open House and Public Hearing
Council Chambers
March 21, 2013
5:00 pm**

PRESENT: Rick Gagliano, Jim Pasin, Pam Peterson, Craig Baldwin, Bill Coughlin, Reid Ekberg and Harris Atkins.

STAFF PRESENT: Staff: Jennifer Kester, Lita Dawn Stanton, Lindsey Sehmel, Peter Katich and Diane McBane

Open House – 5:00 p.m.

Downtown Building Height Amendment

The Planning Commission is considering recommending increases to the maximum building height in the City's downtown area in order to allow flat-roof, two-story buildings in the City's downtown. Under the Commission's initial proposal, all buildings would be allowed to be 27 feet high as measured from the building footprint. The Commission is considering allowing this increased height in the Downtown Business (DB zoning district and the Waterfront Commercial (WC) zoning district that abuts the DB district.

The public had an opportunity to look at various graphics and photographs placed around the room illustrating how the proposed height increase may affect the downtown.

Mr. Atkins gave a brief overview of the history of this proposed amendment and it's intent. Ms. Kester gave a presentation using pictures and graphics of the streetscape. She explained that all of the other character defining elements of size, setbacks and design would still have to be adhered to. She stated that the Council's direction in the summer of 2012 was to review and identify codes that inhibit the preservation of character defining historic buildings in the downtown. Ms. Kester thanked everyone for coming and invited them to move around the room and look at the various graphics.

5:40 Questions and Answers

What is the view corridor dimension?

Ms. Kester explained the view corridor dimensions and the required sideyard setbacks, stating that it depends on the width of the lot with the minimum total being 20' with perhaps 5' on one side and 15' on another. She noted that there is also a requirement for public access to the shoreline for waterfront lots.

Why do the yellow lines on the map go out into the water?

The map is based on tax parcels and some of those parcels go out into the water.

How will the parking be addressed?

The parking requirements will remain the same. If square footage is added, the developer will have to provide parking.

What about traffic impacts?

Those would be addressed at the project level.

What is the overall goal?

The goal was to allow the historic character defining buildings to be maintained and to allow new buildings to match that character.

What about the pie shaped piece of property on Soundview and Harborview?

It is zoned RB-1 and would not be a part of this proposal. It would have to be rezoned in order to take advantage of these changes.

How do the existing buildings along Harborview meet setbacks?

The uphill side of Harborview if the building was no more than 6000 square feet in size and they had firewalls you could have buildings right next to each other, but not on the water side.

What is the tallest building in Gig Harbor?

St Anthony's Hospital. Downtown it would be the Bayview Plaza or the Luengen Building where Morso is located.

Would a project have to go through the same approval process for traffic?

Yes, each project would have to go through site plan review and have traffic analyzed. We analyze different areas of town in about a three year cycle or if there is a big project. We have a traffic model that analyzes the traffic.

Is the height being calculated within the buildable area for the properties downhill of Harborview?

It would be measured within the footprint of the building.

Chairman Atkins called a 5 minute recess before the public hearing.

6:00 Public Hearing

Mr. Atkins opened the public hearing at 6:00 pm

Jeni Woock, 3412 Lewis St., Gig Harbor WA Ms. Woock read the Harbor vision statement. She emphasized that two story buildings do nothing to promote the historic character of the downtown and stated that there is no room for picturesque views or the natural environment. Ms. Wood said it would be grand if there were second floor living with retail below, maybe that should be the requirement. How will this affect traffic? Perhaps we should do a traffic study first.

Dave Morris, 2809 Harborview Dr., Gig Harbor Mr. Morris expressed appreciation for the work that has gone into this and he thought it made sense and provided some equity and fairness to the downtown property owners and gives them some capabilities that others already have. He noted that most of the historic buildings downtown are 27' tall and it might help preserve them. He stated that he does own buildings downtown and fully support this.

David Boe, 705 Pacific Ave., Tacoma WA 98402 Mr. Boe stated that he has worked on many projects in Gig Harbor. He point out that this goal is in the comprehensive plan so it should be part of the zoning code. It says we want street frontage retail with housing above and he noted that you can't do that with 16' height restrictions. Mr. Boe went on to say that there are no flat roofed buildings, they are minimum pitch roofs, buildings settle so you need a 1/2" for every foot. It's very important that the 27' be measured from the sidewalk if you want retail at the street. They need 10' ceilings and room for duct work, etc. He explained that he would recommend measuring from the sidewalk in order to have an active street face. The minimum square footage you need is a 12,000 foot print in order to make a second floor pencil. He felt that the design requirements would support larger buildings. Mr. Boe pointed out that there are very few properties that could be redeveloped and concluded by saying that he supported the change with these slight amendments.

Peter Stanley, Tides Tavern, P.O. Box 287, Vaughn WA 98394

Thanked the commission for their hard work and said he was supportive of the proposal. He felt that this will help preserve downtown and he also felt that an increase in building size should be considered as well. The Tides would never have been built if it needed a traffic study. People will go where they want, regardless of traffic. We want downtown to be viable.

Mr. Atkins closed the public hearing at 6:16 p.m.

Mr. Atkins suggested that the commission have an opportunity to think about what has been said. Is there any additional data that could be helpful? None noted. Mr. Pasin noted that they should discuss measuring from the sidewalk. Ms. Kester also noted that it should be clarified existing grade or final grade. She pointed out that she had provided them with copies of the e-mails and written comments received. She noted that she had received verbal comments regarding concern about the water side of Harborview. Mr. Gagliano said that he had heard comments about expanding the area. He suggested creating a map of two story buildings in the other commercial areas. Mr. Atkins asked what the issues were around measuring from the sidewalk. Ms. Kester noted that not every building has sidewalk frontage so we would have to define something. She would suggest limiting the location where you would measure from the sidewalk. Some of what appears to be right of way is private property and vice versa. She went over the setbacks. Mr. Pasin stated that the expectation in a downtown is that you step off the sidewalk into the building. Mr. Atkins suggested that they could measure differently in WC and DB. Ms. Kester said you could word it that you measure from the footprint and if you put your building at the front property line you measure from

the sidewalk. Mr. Atkins clarified that we need to discuss where we measure from and do we have the right area. Mr. Gagliano noted that view of the water seems to be a big concern. He also noted that Mr. Boe's suggestion that you needed to increase gross floor area could be addressed with two 6000 square foot buildings with a firewall.

Other Business

Discussion of upcoming meetings – April 4th, 2013. Ms. Kester reminded them that the public hearing on residential height will be April 11th. She noted that she will not be at the April 4th meeting. Mr. Pasin said he would like to still meet on the 4th. It was decided that they would meet to deliberate this issue on April 4th.

Move to adjourn 6:50 pm. Pasin/Gagliano – Motion carried.

12/6/12 PC MTTG.

Ms. Kester noted that she had added the B-2 zone to the consideration per notes from the last meeting and the commission decided to keep it DB and WC until they heard comments from the public hearing.

Discussion was held on only allowing 2 stories along the street face and 32' on the downhill side. Mr. Pasin emphasized the importance of having the same height on both sides of the street. It was decided to continue this discussion when they could draw scenarios and visualize it more accurately at the next meeting. Ms. Kester also recommended that the measurement could be taken from the parkway in order to include other streets than Harborview. Discussion followed on what this would do to the streetscape and other possibilities for where you would measure from.

Chairman Atkins called a 5 minutes recess prior to the public hearing.

Public Hearing – 6:00 p.m.

Chairman Atkins reconvened the meeting and Ms. Kester introduced the two topics for the public hearing. Ms. Kester noted that she had received written comments from both David Boe and Debra Ross. Chairman Atkins opened the public hearing at 6:00 p.m.

Downtown Building Size Amendments – Both of the following amendments would apply to the Downtown Business (DB) zoning district and the Waterfront Commercial (WC) zoning district that abuts the DB district.

1. **Additional Interior Gross Floor Area:** For existing buildings, additional gross floor area may be added and the total gross floor area may exceed the maximum allowed by the zoning district provided that the additional gross floor area to be added is interior to the building and does not enlarge or expand the existing building footprint. Roof modifications to accommodate the increase in interior gross floor area are allowed provided the roof modifications do not exceed the maximum building height allowed in the underlying zone.
2. **Remodeling and Rebuilding Nonconforming Buildings:** Nonconforming buildings can be remodeled or torn down and rebuilt to the same or smaller configuration. Non-historic registry eligible buildings must meet the Design Manual requirements to the extent possible (materials, windows, color etc.) All work on historic registry eligible or registered nonconforming buildings must meet the requirements of GHMC 17.99.580 Preservation of historic structures, no matter the age of the building.

David Boe, Boe Architects, 705 Pacific Ave., Tacoma WA – Mr. Boe noted that the city's comprehensive plan asked for these types of incentives and was really happy to see these amendments being proposed. He stated he had worked on several projects in the harbor. He stated that the only comment he had was regarding the building height. He also noted that there are other tweaks that could be done to get a better design result on a challenging site. He said he was

addressing item #1. He said that when you are looking at a building you want to make the integrity of the building complete. He noted if the height is already nonconforming then you should not exceed the existing height of the building rather than using a site related height measurement. He emphasized the need for any building modifications to stay within the existing building height and character. He said that he felt that item #2 made sense and agreed with being able to rebuild something that is nonconforming.

Ms. Kester summarized Debra Ross's letter to the commission. She stated that her main comment was that she would like to see the amendments apply to the WM zone as well.

Mr. Atkins closed the public hearing at 6:10 p.m.

The commission discussed the comments received and Mr. Pasin noted that he did feel that more discussion was needed on whether or not to include the WM zone as Ms. Ross has suggested. Mr. Dolan proposed that both the suggestions of Ms. Ross and Mr. Boe be discussed at the next meeting. Ms. Kester stated that in reference to Mr. Boe's comments, she would like to clarify that the commission had discussed the roof accommodation and whether they should be allowed to stay within the top of the ridge line no matter the underlying height allowance. It was her recollection was that because it was difficult to determine on a broad basis how allowing roof modifications above the height limits may affect views, the issue of height limit should be discussed separately. She noted that the Planning commission has since discussed recommending adjusting the height allowance to 26' or 28'.

Other Business

Discussion of upcoming meetings – December 20th and January 3rd.

Adjournment

Move to adjourn at 6:25 p.m. Gagliano/Baldwin – Motion carried.

Kester, Jennifer

From: Hunter, Chuck
Sent: Tuesday, July 09, 2013 3:52 PM
To: Towslee, Molly; Kester, Jennifer
Subject: FW: Public Hearing 7/8/13

Follow Up Flag: Follow up
Flag Status: Flagged

-----Original Message-----

From: NANCY JERKOVICH [<mailto:mysensaria@mac.com>]
Sent: Monday, July 08, 2013 4:36 PM
To: Hunter, Chuck
Subject: Public Hearing 7/8/13

Dear Mayor and Council,

We oppose the proposed measures to change the Gig Harbor downtown zoning code. The change in setback measurement will create buildings taller and closer to the road. This will do nothing to enhance the character of our waterfront zones. Our current regulations have been long fought for and respected by previous councils. If the property will not sustain the buyers plans, they should look elsewhere. We need to encourage and respect our view corridors. Thank you. Nick and Nancy Jerkovich. 3710 Harborview Drive

Sent from my iPad

Kester, Jennifer

From: Towslee, Molly
Sent: Monday, July 08, 2013 8:34 AM
To: Kester, Jennifer
Subject: FW: Gig Harbor height restriction change

Follow Up Flag: Follow up
Flag Status: Flagged

-----Original Message-----

From: Sara McDaniel [<mailto:tbmcdaniel@juno.com>]
Sent: Monday, July 08, 2013 8:18 AM
To: Towslee, Molly
Subject: Gig Harbor height restriction change

Good morning,

Im writing about the height restriction change in Gig Harbor because I walk the harbor several times a week. I do this with probably hundreds of other people. I believe they come from all over to experience the beauty the harbor provides. Allowing buildings to be taller will impact the view and as a result impact all of us who enjoy our time walking there. And that could impact a lot of other things like the coffee shops where we all get our drinks, etc. Keeping the buildings shorter is a good thing...don't change it!

Sara McDaniel

Sent from my iPad

Kester, Jennifer

From: Stanton, Lita
Sent: Monday, July 08, 2013 9:49 AM
To: Kester, Jennifer
Subject: FW: Downtown Building Size and Height Amendments Public Hearing Notice
Attachments: Gig Harbor Height Analysis 7-5-2013.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Jennifer:

Since the waterside edge of the sidewalk is unlikely to ever change -- measuring from it is reasonable. Since my comments (as Historic Preservation Coordinator) during PC meetings are not noted anywhere, please include this in the record.

As previously stated (but unrecorded), I agree that the measurement should be from the sidewalk but for different reasons.

NOT because this change is closer to the historic setbacks per Boe's comment (highlighted in yellow below) or because of "New Urbanism" porch protocols.

Setback measurements along Harborview and North Harborview for historic buildings are inconsistent.

Partly because (back then) there were no setback regulations and because over the years, road widths and sidewalks (including elevations and grades) changed.

Two considerations that help preserve the historic character:

1. Since **heights of historic homes along the waterfront are more often taller than 18 feet**, a change in the setback allows for additional height and (where grades are dramatic) helps pull them a little further out of the "hole".
2. This change gives property owners more buildable land in response to what the SMP buffer setback takes away.

Thanks,

Lita Dawn Stanton
Historic Preservation Coordinator

From: David Boe [mailto:dboe@boearc.com]
Sent: Friday, July 05, 2013 5:36 PM
To: Hunter, Chuck; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Ekberg, Steve; Perrow, Michael; Young, Derek
Cc: Kester, Jennifer; Stanton, Lita; jarcher@boearc.com
Subject: RE: Downtown Building Size and Height Amendments Public Hearing Notice

Mayor and City Council Members, I again send you an e-mail regarding the Proposed Height Amendments for which you are having a Public Hearing on Monday (I hope to be able to attend to present as well). And again, I greatly appreciate the City of Gig Harbor revisiting the existing code relative to the Visioning process that you completed.

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Friday, July 05, 2013 5:36 PM
To: Hunter, Chuck; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Ekberg, Steve; Perrow, Michael; Young, Derek
Cc: Kester, Jennifer; Stanton, Lita; jarcher@boearc.com
Subject: RE: Downtown Building Size and Height Amendments Public Hearing Notice
Attachments: Gig Harbor Height Analysis 7-5-2013.pdf

Mayor and City Council Members, I again send you an e-mail regarding the Proposed Height Amendments for which you are having a Public Hearing on Monday (I hope to be able to attend to present as well). And again, I greatly appreciate the City of Gig Harbor revisiting the existing code relative to the Visioning process that you completed.

But again, I strongly urge you to consider measuring the uphill height to the back of the existing sidewalk instead of the along the front property line as currently proposed.

Why? Because if it stays as currently proposed, you will still get new residential buildings that will be built into a 'hole' relative to the sidewalk along the waterside of Harborview Drive (a condition that is not attractive nor represents the historical character of the Harbor.

Attached is a Drawing that highlights this – using a real site, with real site elevations, with a real project that is going to be submitted upon approval of the revised code (and will thus will be designed to the new revised code in whatever form it ultimately takes).

The true reality of this site, is that when measuring the building height as proposed currently by the City, the actual height relative to the existing sidewalk is not 18-feet but 16-feet 4 + 11/16ths-inches because the existing ground at the front property line is significantly below the existing sidewalk). Thus, the new residence design will end up having a main porch level also significantly BELOW the elevation of the existing sidewalk. All New Urbanism design manuals recommend that the front porch should be at least 18" ABOVE the corresponding pedestrian sidewalk level – and here we will end-up with a porch that is closer to 18" BELOW the existing sidewalk. This is the residence elevation that is shown on the left side of the drawing (note 6-foot tall figure relative to the house!). With no change to the proposed code, this will be very close to what this project will look like.

Now IF the building height is measured to the back of the existing sidewalk, then at least the main porch level can be at or slightly above the existing sidewalk height. This allows the new residence to be designed much closer to the historic character and patterns of the Gig Harbor Waterfront. Also, because the sidewalk exists, any pedestrian walking along the sidewalk will know how high a new building can be – it is 18-feet from where they are standing. This is the residence elevation shown on the right side of the drawing that our client would much rather have us design and for them to occupy.

I propose that a simple amendment can be made to at least allow for new construction to be closer to the historical patterns and character of The Harbor. This would be to add the following:

"For new residences that have their main roofline parallel to the view towards the water, the maximum height is measured from the highest point located at the back of the existing public sidewalk within the property frontage."

I hope I am able to attend the Public Hearing on Monday to share these points with you personally. Thank you for taking the time to consider this amendment and I hope proposed an amendment which will allow for a new residence to be built along the waterfront in a manner much closer to the unique character of Gig Harbor. David

David Boe – Principal
dboe@boearc.com

From: Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

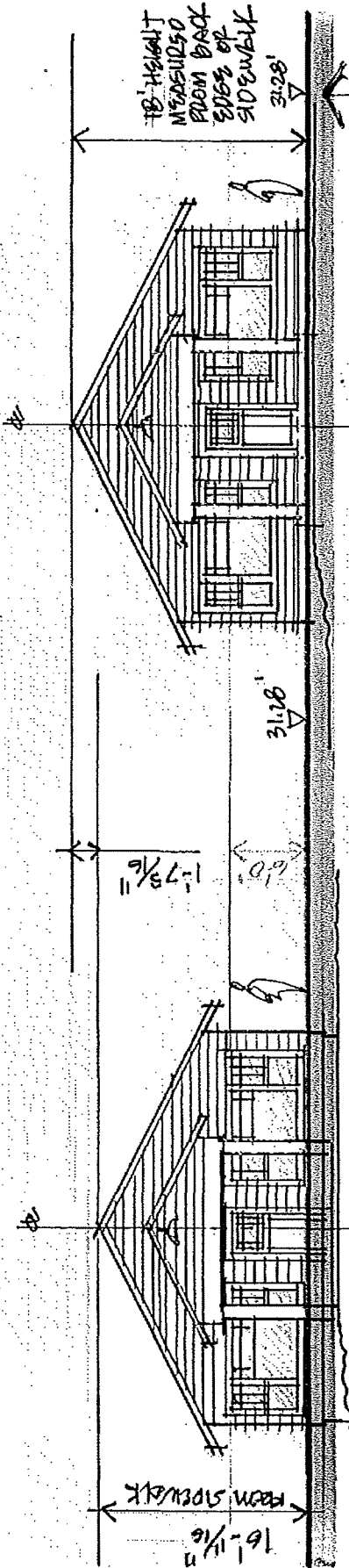
Sent: Wednesday, June 26, 2013 9:14 AM

To: 'Ali Afrassiabi'; 'Anderson, Jani'; 'Anderson, Myron'; 'Archer, Jessica'; 'Bacchus, Ladd'; 'Berntsen, Edward'; 'Bevin, Avery'; 'Boe, David'; 'Bomkamp, Brent'; 'Bourscheidt, Barbara'; 'Bucy, Russ and Lynne'; 'Carlson, Chuck'; 'Cassell, Constance'; 'Champaco, Brent'; 'Chuck & Charli Meacham'; 'Chuck & June Meacham'; 'Clark, Dennis'; 'Clark, Marjie and Dennis'; 'Coutts, Valerie'; 'Crites, Michael'; 'Czuleger, Tami'; 'Davis, Brett'; 'Declements, Annie'; 'DesMarais, Mary'; 'Dishman, Bruce and Linda'; 'Dompier, Norma'; 'Draggoo, Bob'; 'Draggoo, Bob'; 'Drohan, Tom'; 'Evans, Bill and Karen'; 'Ford, Richard'; 'Frisbee, Bob'; 'Gagliano, Jeanne'; 'Gagliano, Joseph'; 'Gaigher, Shannon'; 'Gair, Bruce'; 'Gary, Tom'; 'Gerald, Bill'; 'Glein, Gary'; 'Glock-Johnson, Charlee'; 'Graffe, Jo'; 'Grinberg, Roy'; 'Harder, Barbara'; 'Herneux, Curtis'; 'Hill, Leonard'; 'Hill, Leonard'; 'Hoppen, Guy'; 'Hoppen, Mark'; 'Hunter, Dianne'; 'Jason Faulkner'; 'Johnson, Martha'; 'Johnson, Noah'; 'Junge, Scott'; 'Kabbhalim, Paris'; 'Kent-Smith, Tomi'; 'Kreitzer, Karl and Lois'; 'Lantz, Pat and John'; 'Lee, Janet'; 'Leroy, Margot'; 'Lolland, Sue'; 'Lovell, Abby'; 'McClements, Patty'; 'Meyer, Gary'; 'Miller, Wayne'; 'Mitton, Joanie'; 'Moist, John'; 'Morris, Dave'; 'Morrison, Julian'; 'Mott Janine'; 'Mueller, Randy'; 'Murray, Joyce'; 'nedderman, Ted and Nancy'; 'Norman, Peter'; 'Norton, Larry'; 'Oka Akiko'; 'Page, Trena'; 'Perrow, Wade'; 'Peterson, Joyce'; 'Peterson, Pam'; 'Pollitt, George'; 'Pugh, Nick'; 'Quincy, Jake'; 'Ragan, Greg and Karen'; 'Reed, Cindy'; 'Richardson, Lousie'; 'Rose, Andrew'; 'Ross, Debra'; 'Rushforth, Dennis'; 'Scanlan, Conor'; 'Seaquist, Larry'; 'Shaffer, Keirsten'; 'Shaffer, Lilly'; 'Simon Barbara'; 'Smith, lee'; 'Steifel, Justin'; 'Stenlyein, Alice'; 'Stevenson, Lynn'; 'Stouz, Nancy'; 'Thurston, Kathy'; 'Turley, Bryce'; 'Vance, Jan'; 'Vance, John'; 'Vergera, Haleigh'; 'Willenbrock, Jacob'; 'Willenbrock, Kelsea'; 'Wills Christine'; 'Winfrey, Patti'; 'Acker, Colene'; 'Acker, Jeff'; 'Ancich - Quigg, Kathleen'; 'Anderson, Claudia'; 'Bauder, John Vice President'; 'Beyerly, Bruce'; 'Bickford, Kaye'; 'Brent Tayet'; 'Brett Mario-Desantis'; 'Bucher, Charles'; 'Clark, Dennis'; 'Curry, Laury'; 'Devereux, Betty'; 'Driggers, Barbara'; 'Frazier, Suzanne'; 'Gerlof, Charlotte'; 'Grimmer, Kurt'; 'Hartley, Steve'; 'Hopkins, D.'; 'Janes, Marc'; 'Jeane Gazabat'; 'Knapp, Robert'; 'Lepape, Marilyn'; 'Lucas, Bett'; 'Martinez, Fil'; 'Michaelson, Tony'; 'Millichap, Marcus'; 'Money, Bruce'; 'Norman, Peter'; 'Ortgiesen, Jon'; 'Perrow, Michael'; 'Pine, David'; 'Rodney Tayet'; 'Rogers, Bruce'; 'Schlicher, Nathan'; 'Smith, Lee'; 'Sorensen, Doug'; 'Stanley, Peter'; 'Sutich, Tom'; 'Taghavi, Jafar'; 'Wooock, Jenia'; 'Wood, Rob'

Subject: Downtown Building Size and Height Amendments Public Hearing Notice

Please find attached the Notice of Public Hearing for the Downtown Building Size and Height Amendment proposed for City Council public hearing on Monday July 8th, 2013 at 5:30 pm. Please contact Jennifer Kester, Planning Director at 253-853-7631 or kesterj@cityofgigharbor.net if you have any questions. Thank you Cindy Andrews

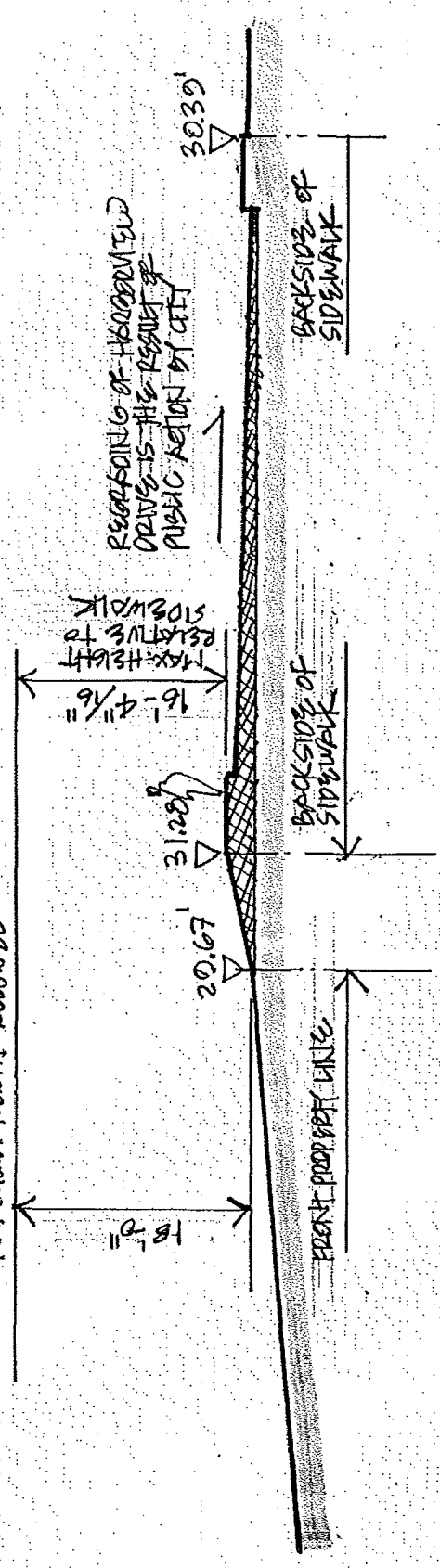
Cindy Andrews
Community Development Assistant
City of Gig Harbor Planning Department
(253) 851-6170
andrewsc@cityofgigharbor.net



CURRENT PROPOSER WANTS
 REWORKERS WILL BE BUILT
 INTO A 10' 3\"/>

ADJACENT RESIDENCE TO BE
 DESIGNED HISTORIC CORRECT
 WITH FRONT/MAIN FLOOR RELEVANT
 TO THE EXISTING SIDEWALK

MAXIMUM HEIGHT ALLOWED



REASONING OF HISTORICALLY
 DRIVEN IS THE RESULT OF
 PUBLIC ACTION BY CITY

BACKSIDE OF
 SIDEWALK

BACKSIDE OF
 SIDEWALK

FRONT PROPERTY LINE

Kester, Jennifer

From: Debra Ross [debraross80@yahoo.com]
Sent: Monday, July 08, 2013 7:33 AM
To: Kester, Jennifer
Subject: Public Hearing

Follow Up Flag: Follow up
Flag Status: Flagged

Jennifer

I am not able to attend the Downtown Building Size & Height Amendments Public Hearing that is being held tonight, July 8th, 5:30 PM.

I have expressed my opinion before but would like to again state that I feel that the six (6) to eight (8) existing commercial buildings in the Millville Waterfront District which abuts the Downtown Business (DB) and the Waterfront Commercial (WC) would benefit from the Amendments that are being placed in front of the City Council at this hearing. These existing commercial buildings within the Millville Waterfront area are a vital part of downtown Gig Harbor commercial business and should be given the same advantages as the buildings right next door to them.

Thank you for your time and consideration.

Debra Ross

Debra L. Ross
253-851-4751 home, office, fax
253-970-3966 cell

Kester, Jennifer

From: Tomi Kent-smith [tomikent@msn.com]
Sent: Thursday, June 27, 2013 4:40 PM
To: Kester, Jennifer
Cc: Hunter, Chuck; Young, Derek; paynet@cityofgigharbor.net; Malich, Ken; Ekberg, Steve; Perrow, Michael; Guernsey, Jill; Kadzik, Paul
Subject: Proposed Waterfront Residential Amendments

Follow Up Flag: Follow up
Flag Status: Flagged

In both WM and WC zones, the ground slopes down to the water edge on almost the entire water side (east) of Harborview Drive. Remember it's a hill and the downward slope is towards the water! (It also slopes down to the water's edge on North Harborview on the majority of properties.)

It has always been my understanding that we as a City would do whatever possible to maintain the water view for all. Not just for those fortunate enough to own waterfront property.

However, by moving the uphill height limit measurement to the property line abutting the street ROW, the City will be eliminating the view of the water for anyone residing on directly on Harborview Drive on the west or non-water side of the street. This seems unfair as all these residents will be looking across the street at the facade of the homes built in accordance with the proposed change. Any water view the residents on the west side of Harborview Drive have will be forfeited to the proposed waterfront amendment if it is adopted.

The Millville district is almost exclusively residential with the homes along Harborview Drive dating back to the early 1900s. It also has more resident homes on the street level (Harborview Drive) than any other area surrounding the harbor until one reaches North Harborview east of Peacock Hill.

This amendment seems to take undue advantage of the Millville district, and seems to eliminate access to a water view however limited it might be.

Ms. Tomi Kent-Smith
3414 Harborview Drive
Gig Harbor, WA 98332

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Monday, June 03, 2013 3:22 PM
To: Hunter, Chuck; Guernsey, Jill; Ekberg, Steve; paulkadzik@comcast.net; Perrow, Michael; Young, Derek; Payne, Tim; Malich, Ken
Cc: Kester, Jennifer; Stanton, Lita
Subject: Gig Harbor Waterfront Building Heights

Dear Mayor and Council Members, just a quick note regarding your Study Session today where you will be reviewing building heights along Harborview Drive (I apologize for not attending but it seems I have some council duties this afternoon on this side of the Narrows).

I commend you, the Planning Commission and staff at looking at these issues in order to provide incentive for new development that can be designed to reflect the historical patterns and character that make Gig Harbor such a unique waterfront.

I do have one concern, and that is 'where' the height is measured from. Because Harborview Drive was filled on the downhill side of the roadway in order to make it function for traffic, drainage, and pedestrians – it has artificially put the waterside of Harborview Drive into a hole relative to the existing sidewalk (typically 2 – 4 feet below the walking surface). While the proposed changes are welcome, they do not reflect this actual condition along the Harbor – thus even new development under the proposed rules will continue to be constructed with a main floor level that is below the sidewalk (a condition that is not typical of the historic character of the waterfront).

I strongly recommend that downhill properties allow for the zoning height to be measured from the back of the existing sidewalk. This will allow for new development that can be designed for pedestrian friendly interface between the sidewalk and the built environment (and will allow for more consistency between the uphill and the downhill sides of Harborview Drive).

Again, thanks for your review of the zoning code – and if you have any questions, please do not hesitate to give me a jingle. David

David Boe - Principal
dboe@boearc.com

BOE architects, pllc
705 Pacific Avenue
Tacoma, WA 98402
(253) 383-7762
www.boearc.com

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Thursday, April 11, 2013 4:38 PM
To: Kester, Jennifer
Cc: Stanton, Lita; jarcher@boearc.com; Guernsey, Jill
Subject: RE: Downtown Residential Building Height and Front Setback Amendments
Attachments: Section at Harborview.pdf

Jennifer, in preparation for tonight's Planning Commission Public Hearing on Residential Heights along Harborview, I sketched a quick section using survey points from the site survey at the Quigg's property. This demonstratively shows that the back of sidewalk along the property is actually more than 18" above the highest point along their Property Front Setback Line. This is due to the filling of Harborview Drive when it was upgraded to make it level – and at this location on Harborview, the waterfront side of the street is actually 11.4 inches above the upland side due to the roadway being banked/sloped because of the curve of the roadway alignment.

So, the height of a structure relevant to the back of sidewalk (where the general public is walking) for a site like this will not be 18 feet – but actually be 16'-4". If a new structure was designed with a main level at the same elevation as the back of sidewalk, and using a 6:12 pitch for the roof, and keeping with the same width as the existing structure on the site (30 feet), the interior ceiling height of the main level would be less than 8'-0" tall. The resultant structure would also have less than a 2.5 width to 1 height ration which is a minimum proportional requirement of the Design Manual. To meet the minimum proportion requirement of the Design Manual, the building height would need to be 19.5 feet from the back of sidewalk (and if the main floor was 2 to 3 steps up from the back of sidewalk, this height would need to be closer to 21 feet).

Given this situation, the only option in order to get a reasonable ceiling height on the main level of the residence is to 'sink' the structure considerably below the back of the sidewalk. This will unfortunately result in a final design that does not compliment the historic character of the neighborhood as it will look as if it has been sunk into a hole (and all New Urbanism Design Guidelines recommend a main living level two or three steps above the adjacent sidewalk).

At a minimum, I recommend that the overall building height should be measured to the back of the existing Harborview Drive sidewalk as this give the opportunity of a final design that is much more in keeping with the historic character of the Gig Harbor Waterfront.

If you have time, can you please print out copies of the drawing for the commissioners. I hope to be able to make the meeting tonight – but just in case...

Thanks again for the opportunity to comment. David

David Boe – Principal
dboe@boearc.com

From: David Boe [mailto:dboe@boearc.com]
Sent: Thursday, April 04, 2013 10:40 AM
To: 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net)
Cc: Stanton, Lita; jarcher@boearc.com; guernseyj@cityofgigharbor.net
Subject: RE: Downtown Residential Building Height and Front Setback Amendments

Jennifer, attached is correspondence with my client regarding the proposed height increase for new residential projects along the waterfront side of Harborview Drive. The Quiggs asked for a drawing of what they would like to construct in comparison to the existing structure as they plan on going to all of their neighbors to show them what they are proposing – with the hopes of getting them to testify at next week's Planning Commission Public Hearing in support of raising the height to 18-feet measured from the highest point at the back edge of the sidewalk.

As I have noted many times before, measuring the building height from the highest point along backside of the sidewalk is going to result in a far superior result (a result that is more in keeping with character of historic Gig Harbor) and will be much easier and predictable for neighbors to understand the impact of any new proposal for a site.

Thanks for your attention. David

David Boe – Principal
dboe@boearc.com

From: David Boe [<mailto:dboe@boearc.com>]
Sent: Friday, March 29, 2013 12:57 PM
To: 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net)
Cc: 'Stanton, Lita'; jarcher@boearc.com; guernseyj@cityofgigharbor.net
Subject: RE: Downtown Residential Building Height and Front Setback Amendments

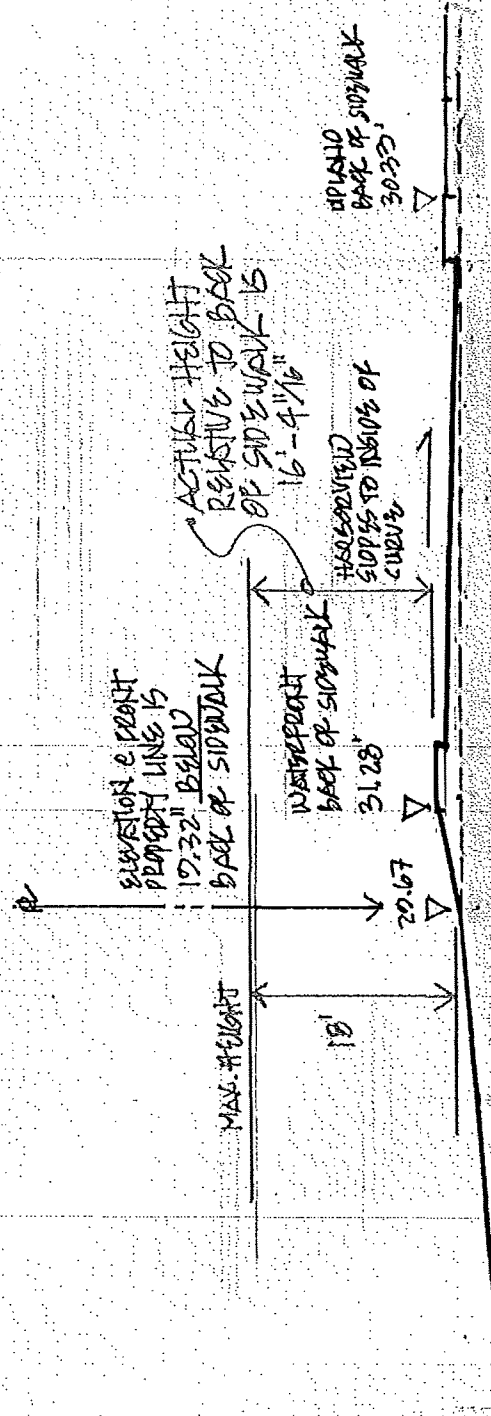
Jennifer, thanks for the notice of the proposed change to the building height along the waterfront – this general direction is to be applauded for realizing that the current code is not getting the type of projects that positively impact the historic street frontage along Harborview Drive.

Unfortunately, when applied to a real site with real dimensions and elevations, the result is a negligible increase in height when the goal of the change is to achieve a design that is more in keeping with the historic structures along Harborview.

I have attached a portion of a survey for a property within the area under consideration for this increase. By the current code, the highest elevation point on the front building setback is 29.5 feet. Measuring to the highest point along the property line as proposed by the change increases this by 6" to 30.0 feet; however, the back edge of the Harborview Drive sidewalk is still a further 1-'3" higher than this new measuring point (it is at elevation 31.25'). This is due to the engineering and construction of Harborview Drive by the City – not by any action of the property owner - and on this site the waterside of Harborview is actually higher than the upland side because of the need to 'bank' the road to the inside of the curve. When walking along the sidewalk, pedestrians view the facades relative to the existing sidewalk they are walking on and do not perceive the historic elevation of the property lines. Through action by the City, the perceived elevations of these sites have changed, thus it seems appropriate to adjust the allowable heights to this new created elevation (as the original properties were design to the old sloped roadway at the time).

Again, as I have noted with the increase in height to the recent DB/WC/etc... zones, I strongly recommend that the back of sidewalk be used at the measuring point for these waterside properties – since that is the 'real' elevation relative to the actual elevation of the street. Thanks for your continued attention to the issue.

David



ELEVATION OF FRONT PROPERTY LINE IS 19.32' BELOW BACK OF SIDEWALK

ACTUAL HEIGHT RELATIVE TO BACK OF SIDEWALK IS 16'-4 1/8"

UPWARD BACK OF SIDEWALK 30.33'

HEIGHT OF SUPERS TO INSIDE OF CURVE

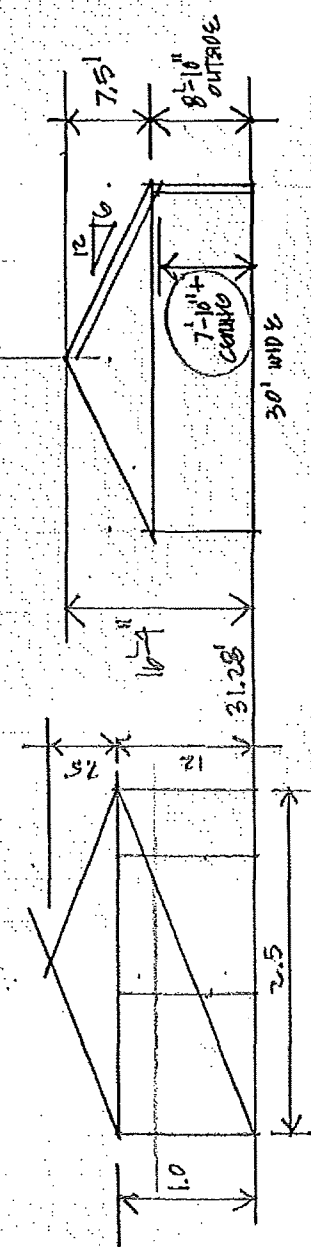
INTERSECT BACK OF SIDEWALK 31.28'

20.67'

18'

SITE SECTION & ELEVATIONS
1" = 10'

4.11.2013 @ BROW



7.5'

12

16"

12

2.5

30' WIDE

31.28'

2.5

1.0

8'-10" OUTSIDE

7'-10" CURVE

12

2.5

12

2.5

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Thursday, April 04, 2013 10:40 AM
To: Kester, Jennifer
Cc: Stanton, Lita; jarcher@boearc.com; Guernsey, Jill
Subject: RE: Downtown Residential Building Height and Front Setback Amendments
Attachments: Proposed Quigg Residence Comparison to Existing Structure

Follow Up Flag: Follow up
Flag Status: Flagged

Jennifer, attached is correspondence with my client regarding the proposed height increase for new residential projects along the waterfront side of Harborview Drive. The Quiggs asked for a drawing of what they would like to construct in comparison to the existing structure as they plan on going to all of their neighbors to show them what they are proposing – with the hopes of getting them to testify at next week's Planning Commission Public Hearing in support of raising the height to 18-feet measured from the highest point at the back edge of the sidewalk.

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dboe@boearc.com

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Sent: Friday, March 29, 2013 12:57 PM
To: 'KesterJ@cityofgigharbor.net' (KesterJ@cityofgigharbor.net)
Cc: 'Stanton, Lita'; jarcher@boearc.com; guernseyj@cityofgigharbor.net
Subject: RE: Downtown Residential Building Height and Front Setback Amendments

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Again, as I have noted with the increase in height to the recent DB/WC/etc... zones, I strongly recommend that the back of sidewalk be used at the measuring point for these waterside properties – since that is the 'real' elevation relative to the actual elevation of the street. Thanks for your continued attention to the issue.

David

David Boe – Principal
dboe@boearc.com

From: Andrews, Cindy [<mailto:andrewsc@cityofgigharbor.net>]

Sent: Thursday, March 28, 2013 3:24 PM

To: Ali Afrassiabi; Anderson, Myron; Archer, Jessica; Bacchus, Ladd; Berntsen, Edward; Bevin, Avery; Boe, David; Bomkamp, Brent; Bourscheidt, Barbara; Bucy, Russ and Lynne; Carlson, Chuck; Cassell, Constance; Champaco, Brent; Clark, Dennis; Clark, Marjie and Dennis; Coutts, Valerie; Crites, Michael; Czuleger, Tami; Davis, Brett; Declements, Annie; DesMarais, Mary; Dishman, Bruce and Linda; Dompier, Norma; Dragoo, Bob; Drohan, Tom; Evans, Bill and Karen; Ford, Richard; Frisbee, Bob; Gagliano, Jeanne; Gagliano, Joseph; Gaigher, Shannon; Gair, Bruce; Gary, Tom; Gerald, Bill; Glein, Gary; Glock-Johnson, Charlee; Graffe, Jo; Grinberg, Roy; Harder, Barbara; Herneux, Curtis; Hill, Leonard; Hill, Leonard; Hoppen, Guy; Hoppen, Mark; Hunter, Dianne; Johnson, Martha; Johnson, Noah; Kabbhalim, Paris; Kent-Smith, Tom; Kreitzer, Karl and Lois; Lantz, Pat and John; Lee, Janet; Leroy, Margot; Lolland, Sue; Lovell, Abby; McClements, Patty; Brett Marlo-Desantis; Dave Morris; David Boe; Dennis Clark; Jeff Acker; Jenia Woock; Lee Smith; Peter Norman; Peter Stanley; Meyer, Gary; Miller, Wayne; Mitton, Joanie; Moist, John; Morrison, Julian; Mueller, Randy; Murray, Joyce; nedderman, Ted and Nancy; Norman, Peter; Norton, Larry; Oka Akiko; Page, Trena; Perrow, Wade; Peterson, Joyce; Peterson, Pam; Pollitt, George; Pugh, Nick; Quincy, Jake; Ragan, Greg and Karen; Reed, Cindy; Richardson, Lousie; Rose, Andrew; Ross, Debra; Rushforth, Dennis; Scanlan, Conor; Seaquist, Larry; Shaffer, Keirsten; Shaffer, Lilly; Simon Barbara; Smith, Lee; Steifel, Justin; Stenlyein, Alice; Stevenson, Lynn; Stouz, Nancy; Thurston, Kathy; Turley, Bryce; Vance, Jan; Vance, John; Vergera, Haleigh; Willenbrock, Jacob; Willenbrock, Kelsea; Wills Christine; Winfrey, Patti

Cc: Sehmel, Lindsey

Subject: Downtown Residential Building Height and Front Setback Amendments

Please find attached the Notice of Public hearing for the Downtown Residential Building Height and Front Setback Amendments for the City of Gig Harbor Planning Commission Public Hearing scheduled for April 11th, 2013 at 6:00 pm. Please contact Lindsey Sehmel, Senior Planner at sehmell@cityofgigharbor.net or 253-853-7615. Thank you Cindy Andrews

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Thursday, April 04, 2013 10:31 AM
To: 'Patrick Quigg'
Cc: jarcher@boearc.com
Subject: Proposed Quigg Residence Comparison to Existing Structure
Attachments: Quigg Residence Height Comparison.pdf

Kathy and Patrick, attached is a sketch overlay showing the approximate location of the proposed residence relative to the existing structure. What is important to convey to your neighbors is that the entire new structure 'shifts' to the East so that the side yard between the new residence and the existing residence to the East will be the same on each side of the property line. This shift will open up more of a view corridor to the Bay along the West side of the new residence for neighbors living on the upland side of Harborview Drive.

Also, the ridge of the house will turn 90 degrees so that it is parallel with the view towards the Bay (the existing structure's ridge is perpendicular to the Bay and thus more roof blocks view). With a larger Front Porch proposed, this will shift the main structure of the new residence further to the North so that the increase in height will be off-set by the visual foreshortening of perspective.

Now what I am showing assumes that the 18-feet of total building height is measured from the back side of the highest point of the existing sidewalk. What is being proposed by the City is to make the measuring point the highest point on the front property line – which really does not help your project in a meaningful way as that means only a 6" increase in height allowance to your property. The City's measuring point is actually 18" BELOW the back of the sidewalk along the West Property Line – thus why I am looking for support to have the back of sidewalk used as the measuring point (and this would very easy for the general public to understand as they could just go the high side of the site on the sidewalk, run a tape 18-feet into the air and see what that reality is – versus guessing where the front property line may or may not be).

Historically Harborview Drive used to slope with the land toward the Bay. When the City came in and improved Harborview Drive, they filled along the waterside of the street so that the street and sidewalk was approximately level with the upland side of the right-of-way; thus the current condition where the existing waterside structures appear 'below' the sidewalk. In fact, from the survey, this portion of Harborview Drive is actually ABOVE the upland side of the street because of the slight banking of the roadway due to your property being on the outside edge of a curve.

Hope this helps explain the proposed residence heights. Please do not hesitate to give me a jingle if you have any questions. David

David Boe - Principal
dboe@boearc.com

BOE architects, pllc
705 Pacific Avenue
Tacoma, WA 98402
(253) 383-7762
www.boearc.com

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Friday, March 29, 2013 12:57 PM
To: Kester, Jennifer
Cc: Stanton, Lita; jarcher@boearc.com; Guernsey, Jill
Subject: RE: Downtown Residential Building Height and Front Setback Amendments
Attachments: Harborview Survey Excerpt.pdf

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Stanley; Meyer, Gary; Miller, Wayne; Milton, Joanie; Moist, John; Morrison, Julian; Mueller, Randy; Murray, Joyce; nedderman, Ted and Nancy; Norman, Peter; Norton, Larry; Oka Akiko; Page, Trena; Perrow, Wade; Peterson, Joyce; Peterson, Pam; Pollitt, George; Pugh, Nick; Quincy, Jake; Ragan, Greg and Karen; Reed, Cindy; Richardson, Lousie; Rose, Andrew; Ross, Debra; Rushforth, Dennis; Scanlan, Conor; Seaquist, Larry; Shaffer, Keirsten; Shaffer, Lilly; Simon Barbara; Smith, lee; Steifel, Justin; Stenlyein, Alice; Stevenson, Lynn; Stouz, Nancy; Thurston, Kathy; Turley, Bryce; Vance, Jan; Vance, John; Vergera, Haleigh; Willenbrock, Jacob; Willenbrock, Kelsea; Wills Christine; Winfrey, Patti

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Kester, Jennifer

From: jeniawoock@gmail.com
Sent: Thursday, March 21, 2013 4:38 PM
To: Kester, Jennifer
Subject: Proposed amendment

Follow Up Flag: Follow up
Flag Status: Completed

To our Gig Harbor Planning Commission...

"The Harbor

Shaped by our maritime heritage the Harbor is a reflection of our past and the foundation for our future. The Harbor is:

A vibrant place where residents, visitors and boaters enjoy a walkable waterfront, picturesque views and the natural environment.

A place that celebrates and perpetuates the character and traditions of a working waterfront and preserves historic neighborhoods.

A place that supports and values local retail shops and services.

A place that provides services for recreational and commercial boating.

The Harbor is a place where people live, work, play, shop and explore."

Sounds familiar doesn't it? This wonderful vision was published on the City's website 12/3/12.

Obviously 2 story buildings in the proposed downtown area do nothing to perpetuate the character and traditions of a working waterfront and preserve historic neighborhoods. We started losing that character with the modern Russell Bldg. If this amendment passes that modern building can grow to 27 feet tall.

If this amendment passes as more buildings are 27 feet where is there room for picturesque views and the natural environment. We were assured that when the Russell Building came into town our views would remain intact and picturesque. Seems neither happened.

Just an example how past actions can foretell of a proposed future.

Wouldn't it be grand if there was a guarantee that 2nd floors would be living spaces and 1st floors were retail...perhaps we should try?

The rumors about hotel/retail space to be proposed on the hill corner of Soundview and Harborview...how would this impact traffic on Harborview towards the old ferry landing?

Perhaps before we open the door to more traffic downtown a traffic impact study should happen on the affected areas including streets bordering on this area.

We all want to see a lively, productive, retail healthy downtown. Perhaps a traffic impact study is the first step to begin before we give the OK to 2 story buildings.

Thank you for your time Jeni and Del Woock

"What would you attempt if you knew you could not fail? r. schuller

feelgoodfreeartproject.blogspot.com

Kester, Jennifer

From: Sheila Bujacich [jbujacich@centurytel.net]
Sent: Thursday, March 21, 2013 4:04 PM
To: Kester, Jennifer
Subject: Re: 2 Story Buildings in downtown GH

I am casting a NO vote to 2 story bldgs.

Sheila Bujacich, 3323 Ross Ave, GH

Kester, Jennifer

From: Gloria Hazelrigg [jewelkit@centurytel.net]
Sent: Thursday, March 21, 2013 2:51 PM
To: Kester, Jennifer
Subject: CITY PLANNERS

What is the single thing which sets Gig Harbor apart from every small city in Western Washington? The harbor, of course! If it weren't for the harbor itself, we could be anywhere---Lakewood, Lynwood, Puyallup, or any other town or city across the country! Why enable someone to hide more of the view of this unique, lovely spot? I suggest it is nothing more than greed and lack of interest in the long term life of Gig Harbor that is driving this avaricious, self-serving suggestion! In the twelve years I have been here I have seen more and more views of our harbor become invisible to residents and tourists alike. Please do not allow this to happen!

Gloria Hazelrigg
6100 Soundview Drive
Gig Harbor
253-858-7467

Kester, Jennifer

From: Tom Curran [tfcurrenjr@yahoo.com]
Sent: Thursday, March 21, 2013 1:17 PM
To: Kester, Jennifer
Subject: Increasing Maximum Building Heights

When I moved to Bellevue in 1972, it had small-town charm, wonderful character, and a 3-story downtown building height limit. The city administration also had a firm commitment to responsible and sustainable growth, orderly development, and a high quality of life. I won't comment on how I think Bellevue has turned out. But I would rather hope we can control our ambitions for Gig Harbor better than they did on the East Side.

Tom Curran
4220 71st Ave Ct NW
Gig Harbor WA 98335
253-549-6541
[Tfcurrenjr@yahoo.com](mailto:tfcurrenjr@yahoo.com)
Sent from my iPhone

Kester, Jennifer

From: Barbara527@aol.com
Sent: Wednesday, March 20, 2013 4:55 PM
To: Kester, Jennifer
Subject: Let's hope you are not going to ruin the view of the harbor...

....with higher buildings. Whatever are you planning? Especially along your main downtown street?

It is a shame the city does not care enough to try to update and keep a village environment and do more to attract businesses so that all of us in the Harbor area, whether within or without the city limits might be more tempted to do our shopping downtown.

Many years ago many of us just wanted a building code that would make all the buildings resemble more of what Kennibunkport Maine looks like. There, the townspeople truly shop downtown in locally owned businesses and restaurants, not the catalog stores that have been welcomed at UpTown. Seems the town fathers have never gone out of their way to support the delicacy and delight of a town that borders such a special and unique harbor.

Too, more and more boating friends tell us there isn't much reason to stop at Gig Harbor downtown any more; too few shops and too few things to do, no where to buy groceries, no special events and the town is getting uglier instead of quainter and/or lovelier. Even those who love to walk the town feel there is less and less of the harbor environment to enjoy, plus all the car exhaust with the traffic going by destroys the fresh air of a lovely walk near the water.

Boo hoo Gig Harbor! So sad.

Barbara Simon

Kester, Jennifer

From: David Boe [dboe@boearc.com]
Sent: Thursday, December 06, 2012 4:16 PM
To: Kester, Jennifer
Cc: jarcher@boearc.com
Subject: City of Gig Harbor Text Amendments - No. 1 Sketch
Attachments: Gig Text Amendment 1 Sketch.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Jennifer, I hope to be able to get to the Public Hearing tonight – but in case I don't, just want to say that I am in support of the proposed amendments with one tweak. The first item referencing additional interior gross area allows for roof modifications providing that the height of the new roof elements do not exceed the underlying zoning height. The problem with this requirement is that it mixes an item relative to the look and use of building with a requirement that is completely dependent on the site topography. What you want, I believe, is any additions and/or modifications to the existing building to look consistent with the building itself and not look odd on the building – which is the danger if you tie it to the underlying height restrictions of the site.

The attached sketch shows this situation. If you have minimal slope to the site and a large building, well, you won't be able to add roof dormers as these new dormers would be above the underlying height – so the second floor cannot be developed – so the building is not redeveloped – so you might lose the building or it will continue to sit underdeveloped.

If the code language was changed so that you are restricted to the height of the existing building, then it allows for a solution that is appropriate to the building itself and not imposed from a site condition (and you are not blocking anymore of the view given the limitation of the existing height).

If you felt that is giving away too much, then you could use the roof modulation requirement of stepping the additions down from the ridge a minimum of 5 feet – but it seems the existing ridge as the maximum height allows for a much better solution that can be developed to maintain and augment the existing character of the building(s).

Other than that – looks great and I can think of a couple more slight tweaks that could help make development pencil and more importantly, end with a result that is closer to the visioning process of The Harbor. Hope to see you tonight. David

David Boe - Principal
dboe@boearc.com

BOE architects, pllc
705 Pacific Avenue
Tacoma, WA 98402
(253) 383-7762
www.boearc.com

Kester, Jennifer

From: Debra Ross [debraross80@yahoo.com]
Sent: Tuesday, December 04, 2012 2:33 PM
To: Kester, Jennifer
Subject: Planning Commission Public Hearing

Follow Up Flag: Follow up
Flag Status: Completed

Jennifer

I am in receipt of the notice for the Gig Harbor Planning Commission Downtown Building Size Public Hearing to be held Thursday, December 6, 2012. I will not be able to attend the Hearing.

I would like to address the proposed downtown building size amendments that would apply to the Downtown Business (DB) zoning and the Waterfront Commercial (WC) zoning district that abut the DB district. I would request that the Planning Commission include Waterfront Millville zone in these Amendments. As the owner of an existing commercial building in the Waterfront Millville zone the Amendments would be of as much value for my commercial building on Harborview Drive as existing commercial buildings in the DB & WC zones.

If the Planning Commission is not able to include the Millville zone in this public hearing I would hope that this amendment would be considered at a future date for Millville zoned commercial properties.

Thank you.

Debra L. Ross
253-851-4751 home, office, fax
253-970-3966 cell



Mr. Mayor, City Council;

The Harbor

Shaped by our maritime heritage, the Harbor is a reflection of our past and the foundation for our future. The Harbor is:

- *A Vibrant place where residents, visitors and boaters enjoy a walkable waterfront, picturesque views and the natural environment.*
 - *A place that celebrates and perpetuates the character and traditions of a working waterfront and preserves historic neighborhoods.*
 - *A place that supports and values local retail shops and services.*
 - *A place that provides services for recreational and commercial boating.*
- The Harbor is a place where people live, work play, shop and explore.*

Why did you write this statement if you are not willing to live by it?

This is a great visioning statement; you presented it well and the public has bought into this statement big time. Every decision you make needs to pass this visioning litmus test.

There are lots of folks watching to make sure this is a living visioning statement.

Attached to this letter is a petition:

Gig Harbor Citizens Say NO to All Proposed New Zoning Rules Anywhere On Harborview Drive.

There are 1,493 names on the paper petition and the online petition, combined. You will note that some of the online petition signers made comments beside their names and we expect those comments to also be entered into the public record.

We do expect these names will be entered in the record, along with emails and public comment.

The majority view does outweigh the financial interest of a few. Monday, October 14, beginning at 5:30pm the City Council will be overflowing with citizens, prepared for their 3 min public comment, watching and waiting for your vote on this amendment. Everyone has read the code, familiar with paragraph B, there are no new particulars in the amendment and you have the ability to vote on this amendment that evening.... In the light of day...with residents watching.

Will the Gig Harbor City Council Overturn the Will of the People?

Citizens For The Preservation Of Gig Harbor Waterfront

Gig Harbor citizens say NO to all
proposed new zoning rules anywhere on Harborview Drive.

Please print clearly

2

NAME	STREET ADDRESS	ZIP
Dave + Michelle Mac	5076 Dylan Ct	98335
Douey Ribera	66 Pt. Fosdick Dr NW	98335
PAT BAXTER	11004 54 th St CT NW	98335
Tom Bullis	8424 Goodwin Dr	98332
Michelle Kennedy	10220 66th Ave NW	98335
Brent Dieger	3406 64 th Ave CT NW	98335
Dwayne Hummel	4807 Old Stump Dr NW	98332
Sherry Hummel	4807 Old Stump Dr	98332
EA Carnahan	8018 Dardick	98332
Kim Carnahan	"	"
Katie McKeener	1823 44 th Jt. Ct. NW	98335
R.P. McMillen	17802 10 th Ave Ct	98335
Polly McNichols	4214 55 th St CT NW	98335

BIG MEETING: Monday, Oct. 14 , 5:00 at the GH Civic Center.....

(If you would consider sharing your email with us...we can remind you of the meeting. We do not share emails with anyone.)

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

Please print clearly Phone numbers and email addresses do NOT get turned in to the city

NAME	STREET ADDRESS	ZIP	PHONE	EMAIL
Stephen Owen	11306 th Ave NW	98332		2
Janice Owen	11310 66 th Ave NW	98332		2
Deborah Thir	66 PT Fosdick Dr.	98335		25
Don Baxter	11004 54 th ST CT NW	98335		2
Terri Rossi	13402 37 th AVE CT NW	98332		0
David Baum	2504 7 th St. NW	98335		2
Debbie Kosis	5311 Viewpoint Dr NW	98335		25
Eric Amundson	8204 STINSON AVE	98332		2
Renee Sorensen	4704 148 th ST CT NW	98332		2
Kelly Keenan	4410 155 th St NW	98332		2
MATIE ROADS DREYER	3314 ROSEDALE	98335		20
NINA BRETT	3406 64 th AVE CT	98335		2
Sarah Cice	2203 122 nd St NW	98332		2
Nancy Bretnest	2813 65 th ST ET NW	98335		

Please visit www.TheCityofGigHarbor.net for more info.

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

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NAME	STREET ADDRESS	ZIP
Norma E Collins	6633 McDowell Ave	98335
James M. Hines	3508 38th Ave NW	98335
Amy McMeimen	5914 28th Ave NW	98335
Learn Bryan	3308 42nd Ave NW	98335
BJ Rinde	1915 26th St NW	98335
Nancy Koehn	11419 66th Ave NW	98332
Bob Smith	9509 Randall Dr NW	98332
Jolan May	3812 59th St NW	98335
LILA HOWE	13 RAFT IS. DR NW	98335
TAMERA MCKAY	2304 55TH ST CT NW	98335
Shirley Ann Mattson	3840 Snyder Lane	98335
SANDY FRINGLE	3821 67th Ave Ct NW	98335
Joy HERRMANN	5408 24TH AVE NW	98335
Diane Crooks	3221 Tarabochia St	98335

Gig Harbor citizens say NO to all
proposed new zoning rules anywhere on Harborview Drive.

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NAME	STREET ADDRESS	ZIP
Carl Tobin	15724 ^{DR} Goddard	98329
Monique Wallis	5903 Lagoon Lane	98335
Maxine Pomeroy	3702 Hunt St NW #4	98335
Jeff Haywood	3717 Pinnac Act	98335
Sandy Brosius	2409 19 th Ave CT NW	98335
Kathy Artunberg	8111 56 th St. N.W.	98335
Sol M. Chase	8111 56 th St. N.W.	98335
Patricia Smith	PO Box 916 ^{Lakebay WA}	98349
PAMELA Tiller	GIG HARBOR 11255 Bergen Loop NW	98332
SAMUEL S. WEITZ	2815 112 th St. CT NW	98332
Jed deMers	7204 North Creek Loop Gig Harbor	98335
SUSAN D. CLARKE	8167 Shirley Ave. Gig Harbor	98332
JANICE B. BLASE	2511 6 th St. NW GIG HARBOR	98335
Kathryn Brown	8801 30 th St Ct NW	98335

Gig Harbor citizens say NO to all
proposed new zoning rules anywhere on Harborview Drive.

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NAME	STREET ADDRESS	ZIP
Dianne Taise	9819 43 rd Ave NW	98332
Nancy & Coon	6315 74 th Ave CTNW	98335
Lorraine Ruyon	11216 Burgen Loop NW	98332
Beatrice Kautzman	3129 Horsehead Bay Dr NW	98335
Diane Dernbach	3129 Horsehead Bay Dr NW	98335
Kathleen Cunningham	6110 16 th St NW	98335
SALLY SKEND	2019 38 TH ST NW	98335
Jusan Hayes	2505 CLIFFS DR	98335
BOB ROBERTS	3305 EMERALD EXP.	98335
Pat Woodward	14214 51 st ave	98332
CONRIE KOENKE	3301 77 th AVE NW	98335
SUNE LANE	13815 - NW th AVENUE	98332
TERRY RICEY	2714 Marklands Ave NW	98335
PAT HERBER	4113 - 76 th Ave (NW)	98335

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proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
Jim Busse	7905 Hiden Lane	98335
Lain Golonka	4314 38th Ave NW	
Dona Matthews	5803 125th St NW	98332
Patricia Weigel	2117 Drummond Pl NW	98332
Brenda Stoop	4815 Bering St. NW	98332
Gary Stoop	4815 Bering St. NW	98332
Liana Harkwitz	6306 62nd Ave Ct NW	98335
Tom Harkwitz	6306 62nd Ave Ct NW	98335
DAVE RALSTON	6208 116th St Ct NW	98332
Lorraine Ralston	6208 116th St Ct NW	98332
BK FELIE	4218 147th St Ct NW	98332
MEREDITH PHILLIPS	9922 36th St. NW	98335
Thomas Hase	11610 Creston Dr.	98329
April Kause	11610 Creston Dr.	98329

BIG MEETING: Monday, Oct. 14, 5:00 at the GH Civic C
 (If you would consider sharing your email with us...we can remind you of t

Gig Harbor citizens say NO to all proposed new zoning

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Phone numbers and email

NAME	STREET ADDRESS	ZIP	
JANE ALLEN	14722 84th Ave Ct NW	98329	
CHUCK ALLEN	" "	"	
D.J. Parker	10805 View Dr NW	98332	2
SANDRA L. WEIR	13807 93rd Ave NW	98329	8
Billy & Knight	14401 95th Ave NW	98329	(
G. Lussom	Puckett	G	1
G. Schutt	5018 78th Ave NW	98335	
BRYAN TURNER	4425 Herb Co Lane	98335	(
LYNNE ROSS	2615 18th Av Ct NW	98335	(

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NAME	STREET ADDRESS	ZIP
Debra Eason	4115 35th Ave	98335
Nancy Soper	3610 44th th NW	98335
Thomas Melby	9508 Wandsworth	98335
Stan Cook	6329 ISLANDVIEW	98335
ROBERT SMITH	6515 40TH ST CT NW	98335
RENE RITCHIE	6617 40TH ST CT NW	98335
Martin Spencer	3019 18th AV CT NW	98335
Robert Hebert	4100 Foster St	98335
GARY Gove	3716 Harborcrest NW	98332
Melinda Stuart	2813 Harborview Dr	98335
Jane Craudner	3320 109 th St NW	98332
Beth Solan	3416 135th St NW	98332
Sarah Lindsey	4418 Rosedale St NW ^{#12}	98335
Eloise Richardson	9005 Franklin	98335

Gig Harbor citizens
proposed new zoning rules anyv

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NAME	STREET ADDRESS	ZIP
Donna Slayback	7412 N. Creek Loop	98335
STEVEN WILKIN	11702 70 TH AVE NW	98332
Don Reinkenwayer	6506 Bark Ln	98335
Chung Camp	3318 AET NW	98335
Nazzy Fardi	3023 18th Av. Ct NW	98335
Lorraine Hanson	1130 143 ^{1/2} SE N.W.	98332
Stan Brandt	111-35 th Ave Ct NW	98335
Robert E. Hardwick	2619 98 th St. Ct. NW	98332
Wilma R. Andrew	3919 57 th St. Ct NW	98335
Jean M. Kyle Robertson	3435-60 th St. Ct NW	98335
Andrea Schady	PO Box 604 Gig Harbor	98335
Nancy Benson	11608 15 th Ave NW	98332
Dennis Moore	3525 Ross Ave	98332
Holly Hamilton	3608 16 th Ave Ct	98335

Gig Harbor citizens
proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
Estrella Guyt	4822 Old Stump Dr	98332
Sharry Zamberlin	5411 46 th AVE CT NW	98335
MARGARET PAIG	3616-101 st ST CT N.W.	98332
Susan Barnett	13005 Pt Richmond Dr	98332
Carmella Connelly	7402 Heggen #148	98335
Elizabeth S. Bowers	13208 129 th St. NW GH	98327
Heleen Wallace	4210 146 th St NW - GH	98332
JUDITH ROSSI	1121 BURNHAM DR. GH	98332
PAUL HARDING	12302 MCCORMICK DR NW	98332
EMILY HADDICK	4404 ROSEDALE ST.	GH. 98335
LUELLA MERRICK	3160 ANNAPOLIS CT	98335

Gig Harbor citizens
proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
Sherley Furhman	9030 #3 Research Hill	98335
Joe McNeil	9020 #2 Research Hill	98335
Laurie Snyder	1908 Sullivan Dr NW	98335
John Bell	304 91st St	98335
V. Hundland	5815 53rd Ave NW	98335
Tanne Stephens	3414 10th St NW	Gig Harbor
Susan Urban	7227 47th St NW	Gig Harbor
Nancy Shelton	12618 Burnham Dr	GH
Mary Bell	11717-15th Ave NW	GH
Laurel B. Mosher	5414 46th Ave. Ct. NW	98335
Conni Kiser	7214 Ford Dr NW	98335

Gig Harbor citizens
proposed new zoning rules anyway

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Phone numbers and email

NAME	STREET ADDRESS	ZIP
✓ Teresa J. Ford	4812-62nd Ave NW	98335
✓ Debra A. Ford	4812 62nd Ave. NW	98335
USA Tompkins	3723 74th Ave Ct NW	98335
Quinn Lunden	7127 30th St NW	98335
Barb Harris	9528 Johnson Ln.	98335
Ernie Indaurne	9216 Randall	98332
Michelle Diard	5911 30th St NW	98335
Russell Diard	5911 30th St NW	98335
Kathryn Hage	2804 A Harborview Dr.	98335
Mara Fugle	3901 Woodloch Dr. NW	98335
Lauren Olson	25 N Broadway	98335
LANI A KISH	607 25th Ave NW	98335
Judy E. Hunter	4404 Towhee Dr	98332
✓ Christy Moore	P.O. Box 1462	98335

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proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
Nancy Evans	7508 Pioneer Way	98335
NED BRATSPIS	7700 Pioneer Way Ste 201	98335
Joe Seaton	6922 43rd St NW	98335
✓ H.C. Moore	PO Box 1462 6th NW	98335
✓ Brian Heath	3321 109 th St NW	98332
Paul Lilly	PO BX 1031	98335
✓ BERNADINE BOWMAN	P.O. Box 2209	98335
Rick Gosaw	PO Box 193	98335
Mike Gritman	5316 1st NW	98335
✓ Shelly Cox	3603 Butler Dr	98335
LYDIA SHROPSHIRE	2610 W 11th St NW	98335
ROBERT EVANS	9005 Franklin	98335
Margaret Walker	15320 Goodrich Dr NW	98329

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proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
✓ Sara Fandel	10514 Crescent Valley	98332
Archie Erickson	4602 Sunny Bay DR NW	98335
Kurt Erickson	" " " "	" "
Mona Margolis	10212 2nd Ave. NW	98332
Zoe Holmes	3830 Sunny Glen Ln	98335
Dr. H. King	113-34 th St. Ct. NW	98335
John Shoemaker	142 Fir Dr. NW	98335
Ellen Metster	P. O. Box 2765	98335
Warren Giss	P.O. Box 713	98335
Roger Crocker	P.O. Box 1696	98335
Angie Duff	P.O. Box 802	98335
Th...	BOX 1727	98335
ALWOOD MAWJEE	5917 68TH ST NW	98335

Gig Harbor citizens :
proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
Kirsten Swan	7010 Soundview	98335
EVAN STEENSLAND	6425 WAGNER WAY	98335
KURT ROTHENBERG	4511 92 ND AVE NW	98335
SUSAN MAILLON	7305 SOUNDVIEW	98335
Ron Powers	3830 Snyder Lane	98335
LESLIE CHASTEN	13624 53 RD AVE NW	98335
Kim Jost	4301 70 TH AVE (NW)	98335
JOANN GEMMILL	6463 HUNT HILL AVE	98335
Don Seitzler	2715 62 ND AVE NW	98335
DAVID ERICKSON	4705 35 TH ST N	98335
Stephanie Unker	2277 LITTLE ST NW	98335
Jules Thom	9220 93 RD AVE	98332
MICHAEL FARUQ	3417 135 TH ST NW	98332
BARBARA FREDRICKSON	2805 Ridgeway	98332

Gig Harbor citizens
proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
R.C. BUCKLAND	2021 NARROW	98335
	View C-124	
MARGARET RICKARD-EGGE	2027 NARROWS VIEW CIR NW #E-142	98335
MARGARET LORENGY	821 125 th ST. W. NW	98332
MYRNA R. KAHLO	613 HYACK WAY #A	98333
Sandy Buescher	609 Hyack Way	98333
SYLVIA BRAMHALL	6901 Soundview	98335
JAMES L BRAMHALL	" "	"
Nancy V. Daskaloff	2817 39 th ST. NW	98335
Milan Daskaloff	2817 39 th ST. NW	98335
GWYNETH NIGHTINGALE	2407 Coppick Ln NW Apt. B102	98335
Eugene Barton	9309 PEACOCK HILL DR	98332
Diane Walth	9707 41 Ave NW	98332
ROSEMARIE MARTZ	7221 SOUNDVIEW ³⁰² DR	98335

Gig Harbor citizens
proposed new zoning rules anyw

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NAME	STREET ADDRESS	ZIP
Penny McFarland	7836 Warren Dr NW	98332
Gerda Madsen	11002 Moller Dr	98332
Rebecca Johnston	3825 Sabine Ln	98332
Gloria Riley	10913 Moller Dr	98332
Tracy Kalo	615 Hyack Way FI	98333
JUSAN STREMEL	615 HYACK WAY FI	98333
Mary Kay Carey	1215 Pilchuck DR FI	98333
Yvette K. Gaddy	1722 Sullivan Dr	98335
Patricia J. Dameron	6709 84th St Ct NW	98332
Jan Schoenike	8915 N. Harborview Dr	98332
Shirley Wirthgen	14303-144th Ave NW	98332
NATHAN GIFFORS	6503 79th St Ct NW	98335

Gig Harbor citizens
proposed new zoning rules any

NAME	STREET ADDRESS	ZIP
Kristina White	3903 26th Avc NW	98335
David Millett	9116 Goodson	98332
Jeanly Hogan	12926 95 th Ave N	98329
Cliff M	8320 54th St NW	98335
Joanne Bitches	4011-101st St Ct NW	98332
William Dougherty	3907 60 th St Ct NW	98335
STEVE HEUER	13121 Mundra NW	98332
Deena Hendry	PO Box 1304	98335
Leah Nunn	#15580 Peacock Hill Rd	98359
Jack H. Miller	3813 100 th St. Ct NW	98332
Janis Steel	209 30 th St NW	98335
Alain Clerc	8605 Whitmore Dr NW	98335
Jamie DeTavis	2915-A 130 th St Ct NW	98332
Leaven Porsch	7105 54 th Ave NW	98335

Gig Harbor citizens
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
Patricia Cassidy	11818 16 th Ave NW	98332
Mary Fawn	8109 66th Ave ^{N.W.}	98332
Lizbeth Jones	6704 86 th St Ct NW	98332
W. L. Quinn	8216 51 st St. Ct. N.W.	98335
Virginia Sims	4517 Bascom Dr. NW	98335
Nancy Moore	9710 Jacobson Ln	98335
Tracy Vandewal	4715 79 th Ave NW	98335
C. H. Thompson	9201 27 th Ave NW	98335
Ann Stockdale	1714 28 th St Ct NW	98335
Carol Feltner	9809 43 rd Av Ct NW	98223
Jack Funch	8506 26 th Ave NW	98332
Crista Lybourn	4308 69 th St Ct NW	98335
Ally G	6715 94 th St Ct NW	98332
Charlene Sims	5288 Debbie Ct	98335

Gig Harbor citizens
proposed new zoning rules anyw

NAME	STREET ADDRESS	ZIP
KENNETH BAKER	7224 Meyer Ln	98335
Karen Insley	7622 54th Ave NW	98335
ROBT. ROBERTS	3305 EMERALD LN	98335
LOUISE WELDON	406 123RD ST CT NW	98332
JENNIFER SULLIVAN	7505 STANLEY LN	98335
RANDALL LEE	PO Box 1608	98335
Julie Spargo	11508 60th Ave Ct NW	98332
Jack Stout	OWNER 7718 SOUNDVIEW DRIVE 3710 123RD ST. CT NW	98332
Judy D. Hadden	7210 81st S. Ct	98332
RANDAN MITTV	4215 58th St Ct NW	98335
Yelena Yablotskaya	4215 58th St. Ct. NW	98335
Tod Cole	12904-B Purdy Dr NW	98332
Bret A Haywood	15026 31st Ave Ct NW	98332

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Phone numbers and email

NAME	STREET ADDRESS	ZIP
Richard A Ford	4812 62nd Ave NW	98335
Patricia Martin	4415-68 St NW	98335
Erin Crocker	7127 30th St NW	98335
Terri Van Matre	2311 48th St NW	98335
Matt Dunham	826 Ellingway	98333
J Rene Buttick	2814 Kelsey Ln	98335
Nancy Ellickson	5625 138th St NW	98332
Carlyn Lett	7809 Reliance Ridge	98335
Paulette Osborn	3726 123rd St	98332
Sharon Sadler	5226 Old Stump ^{Dy NW}	98332
Jonathan Himmelstein	8107 Ray Nash Ct	98335
Monica Dilkes	11713 15 Ave NW	98332
Ueli Hennicks	6204 116th St CT NW	98332
Max Hennicks	6204 116th St CT NW	98332

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NAME	STREET ADDRESS	ZIP
<i>[Signature]</i>	7301 Stanich	
<i>[Signature]</i>	6021 51 st St NW	98335
<i>[Signature]</i>	9719 41st Ave NW	98332
George Jones	11425 33 rd Avat NW	98332
<i>[Signature]</i> (Teresa Acklen Myers)	2811 69 th Ave Ct NW	98335
BARON T BLEWIS Baron T Blewis	14807 144th St KPN	98329
Aria M. Hernandez	9602 137 th St NW	98329
Angela Hughes	9714 Cramer Rd	98329
Shi Winkle	3521 105 th St NW	98332
Shelley Grevin	11718 15th AVE NW	98332

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NAME	STREET ADDRESS	ZIP
Curtis Jacobson	7803 Reliance Ridge LN	98335
Wendy Sheila Buntich	3323 Ross Ave	98332
Leslie O. Fett	7809 Reliance Ridge Lane	98335
ROBERT FAITZ	2102 95TH ST. NW	98333
LYNNAE FAITZ	2102 95TH ST. NW	98332
BARB MORRETT	6745 Warden Glass Ln	98335
KELLY MORRIS	2714 15TH ST. NW	98335
ROY MORRIS	"	"
Michelle Flintoff	71224 Chumuck	98335

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Phone numbers and email

NAME	STREET ADDRESS	ZIP
JOHN PERALTA	7025 SE 160 th	98359
Camilla Holmes	7989 Schoolhouse	98335
Michael Haas	4303 Road Dr NW	"
IRENE Lim	6314 - 62nd St NW Gig Harbor WA 98335	
Han Lim	— — — —	
Robert White	734 F	W
Margaret	Shore	USA
Judith Meyers	9323 N Harborview ^{DR}	98332
LAURA Rothenberg	4511 92 nd Ave NW	98335
Danielle Adams	6000 Sandview	98335
Darin Slovack	4202 36 th Avenue NW	98335
Andrew F. Tait	4008 61 st Ct NW	9833
Pam Kamen	5515 72 nd Ave NW	98335
Clayton Pappas	5018 64 th Ave NW	98335

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Phone numbers and email a

NAME	STREET ADDRESS	ZIP
Emily R. Porter	6118 51 st St NW	98335
Terry Hamilton	3205 Grandview	98335
PETER CHRISTOFFER	6200 SONOVUE	98335
Leah Tomason	2615 Hall's Lane Dr. NW	98335
Drea Solan	3416 135th St NW	98332
Tomas Rusinger	8821 Franklin	98332
Julie Risinger	8821 Franklin Ave	98332
Laura Garcia	14219 128th St Ct NW	98329
Gretchen Griffin	PO Box 694	98333
John T. Munn	5801 38 th Ave NW	98335
Deborah Eckhardt	1605 112th St NW	98332
Jamie Eckhardt	1605 112th St. Ct. NW	98332
Evan A. Neff	3656 Arden Ln	98332
Ruth Groenig	12104 108 St	98329

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NAME	STREET ADDRESS	ZIP
Aileen Kinner	6889 STARBOARD LANE	98335
Margery T. Kinner	6889 STARBOARD LANE	98335
Matt Camier	5206 25 th AVE NW	98335
Ashley Nguyen	5206 25 th AVE NW	98335
Alice Camier	5206 25 th Ave NW	98335
BRENT JACKSON	6200 SOUNDVIEW DR F101	98335
Joan Brauner with	4609 Waven D. NW	98335
L.H. B. P.	10427 Sunrise Beach	98332
MARGE B. HER	10427 Sunrise Beach	98332
Wanna Van Bostall	7326 54 th Ave NW	98331

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NAME	STREET ADDRESS	ZIP
Gale B Nickel	8310 45 th ST NW	98335
Ann BARTON	9309 Peacock Hill	98332
Siane Walth	9707 41st Ave. NW	98332
GEORGE STARR	4926 Old Stump NW	98332
Jody Shougalt	163 25 th AVE NW	98335
Barton		
Stanley Olsen	6010 106 th AVE NW	98335
Marilyn Weatherman	15822 Peacock Hill Ave. NW	98332
Wet Kellogg	13321 Muir Dr. NW	98332
Amelia Brock	18212 Bayview Rd. #104	98394

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NAME	STREET ADDRESS	ZIP
Jusan Wilborn	4927 Canterwood DR NW	98332
Keith Swidde	8921 Prentice	98332
Roselyn Knowlden	4515 Garden Pl. NW	98335
Jack Knowlden	4515 Garden Pl	98335
LINDEL LINDY LUTHERY	6830 STARBOARD	98335
Beth Lilley	P.O. Box 1031	98335
Claudia VanHorn	658 Fox DR FF	98333
Rosemarie Brown	13814 56 th Ave. NW	98332
Char Wilson	14006 57 th Ave NW	98332
Charlie Brown	13814 56 th Ave. NW	98332

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NAME	STREET ADDRESS	ZIP
DAVE BENNETT	3422 40 th ST CT NW	98335
Delene Bennett	3422 40 th ST CT NW	98335
Bob Tucker	952 9 th Fox Est. Circle	98333
Tommy Giannarino	2415 8 th ST CT NW	98332
Carrie Johnson	4508 Boulder Pk NW	98332
Stephanie Jeffries	3319 79 th Ave NW	98335
Mary Frantz	13520 9 th AVE	98329
Boya Vossler	3221 TARA MCH. 9	98335
Michele Brian	DORVICH	98335
Rex McQuice	3305 DORVICH	98335
Angie	812 30 th ST NW	98335

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NAME	STREET ADDRESS	ZIP
<i>[Signature]</i>	844 Jwil Dr. FT	98333
<i>[Signature]</i>	10530 131st (H)	98329
<i>[Signature]</i>	10520 131st St G.W.	98329
JERRY DIETRICH	5820 53rd AVE	98335
DALE BETZ	ENSELEWOOD 14314 DR. KPN GH.	98329
Michole Casad	9406 Veterans Dr. S.W.	98498
Bill McCubbins	5110 Old Stump Dr. W.	98332
ANNETTE SMITH	9405 Woodworth Ave	98332
DOG SMITH	9405 WOODWORTH AVE	98332
Rex Sutherland	38028 55th Aves.	98001
KATHRYN Sutherland	38028 55th Aves.	98001
Uomita S Edensworth	4114 64th St. G.H.	98335
Sozanne Smith	9416 Peacock Hill Ave.	98332
Jennifer Miles	6222 Schmel Dr. NW	98332
James Miles	4222 Schmel	98332

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NAME	STREET ADDRESS	ZIP
Marianne Talley	556 5415	98335
Margaret John	4716 Bear Creek Ln	98335
Debra Knapp	14509 42 ND Ave NW	98332
Wynne M. Gregory	7117 33 RD SE 14 NW	98335
Ken Edgar	3323 56 th ^{Apt. D} NW	98335
Richard Callin	11609 Laurel Run NW	98332
Ann E Sallen	11609 Laurel Run NW	98332
Edith J Frank	1414 Cascade Pl NW	98332
John E. FRANK	1414 Cascade Pl NW	98332
PAUL PERKINS	65 RAFF ISLAND DR	98335
NORA CLARKE	65 RAFF ISLAND DR	98335

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NAME	STREET ADDRESS	ZIP
Rosemary L. Ross	3445-50 ^{#225} ST CT. N.W.	98335
Konnda Paucje	8420 Lewis St	98335
Charlotte Meek	7083 WAGNER WAY	98335
Tennifer Baechler	12520 59 th Ave NW	98332
WALTER BAECHLER	" " "	98332
Christine Gates	3707 Rose Dale Ct Gig Harbor WA	98335
Jason Gates	" " "	" "
FATIMA FLAHERTY	8915 Shirley Av.	98335
Mila Bortner	2214 ST LUTHER	98335
Lise Goodwin	2405 55 th ST NW	98335
Jody Dye	3202 SE Nelson Rd	98359
Evelyn Walker	7318 Flank NW	98335
Catherine Kennedy	1209 Proctor	98335
Elaine Hansel	9407 104 th St NW	98332

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NAME	STREET ADDRESS	ZIP
Jayne Michaelson	6511 27 th Ave NW	98335
GENE MICHAELSON	6511 27 th AVENUE NW	98335
Impman Andrew	3011 Sherman ^{Dr}	98335
ART MAGEE	8310 24 th AVE CT NW	98335
Cheryl Allied	4425 Harbor Country Ln	98335
SCOTT J. ALLRED	4425 HARB. COUNTRY DR	98335
SEAN BEAROSLEY	6217 HARB. SUNSET LN	98335
Randy Mueller	3514 Harborview Dr	98332
Char Casady	6100 Harborview Dr	98335
JERRY FIGUEROA	14925 48 th AVE CT NW	98337
Austin King	3916 12 th Ave NW	98335
Denise Lutinski	6425 Sandview Dr	98335
Nancy Kendall	8208 77 th St. Ct. NW	98335

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NAME	STREET ADDRESS	ZIP
Jackie Jones	4950 North Creek Ln	98335
ERIC LETHC	2515 36 th ST NW	98335
Karin Feddersen-Leth	7515 36 th ST NW	98335
JANE M. STEELE	1409 32 nd ST NW	98335
Paul Keeney	7209 Pioneer	98355
MW Hank	840 2104 th ST	98332
Mervin Malcorra	3311 7 th Ave	98335
MJ M	11	11
MJ. Mitchell	11348 NARROW PT DRIVE	B.I. 98110
Eileen Cahill	7107 40 th ST NW	98335
Amanda Brager	4021 N 25 th ST	98406
Chase Gamull	4021 N 25 th ST	98406
MARDEL POSEHN	6217 Harbor Sunset	98335

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NAME	STREET ADDRESS	ZIP
TRACY PANTAJA	11208 67 th Ave Ct NW	98332
DIANE Stillman	5811 38 th N.W.	98335
Wanda Gustafson	7203 - 27 th Av. NW	98335
Hal Bowen	7921 43rd ST CT	98335
Mary Thorsen	6850 Starboard Lane	98335
Jill Freeman	3710 47 th Ave Ct NW	98335
Jeanne MAKOVICH	11824 15 th Ave NW	98332
DIANA D. LOGAN	6324 ISLANDVIEW TER	98335
Jill R. Sissons	3611 66th Ave NW	98335
Cyd Dolliver	59 Pt. Fensick Ter	98335
Edith Carlson	892 Kamus Pl.	98333
Robyn Clayton	3504 Fieldman Dr. NW	98332

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NAME	STREET ADDRESS	ZIP
Richard Altig	13911 49th Ave Ct. NW	98332
Sally Altig	13911 49th Ave Ct NW	98332
PANDA ALLEN	3714 104th St NW	98332
Rita Colley	3714 104th St NW	98332
VICKI RUTH	10916 65th Ave NW	98332
Jody Gauthier	6014 44th Ave NW	98335
DOROTHY BARTON	7216 FORD DR. NW	98335
MARY BUSH	3814 FOREST BEACH	98335
MONA PANTTASIA	11208 67th Ave Ct ^{NW}	98332
WILLIAM T. PANTTASIA	11208 67th Ave Ct ^{NW}	98332
Sheila Ballew	1408 32nd St Ct NW	98335
Kandi Bowen	7921 43rd St Ct NW	98335
Ralph Connelly	7400 Stinson Ave	98335
Rhonda Taylor	3604 Harborcrest Ct NW	98332

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NAME	STREET ADDRESS	ZIP
VIRGINIA MURRAY	4025 ROSEDALE ST	98335
Chauhan, Sanyar	4213 Burnham Dr	98332
Mike Coulston	6816 95th St NW	98332
Suzanne P. James	10116 Randall Bay Ct NW	98335
John d. James	" " " "	"
JAMESON LAZARES	143 RAFT ISLAND	98335
FRED TIEDT	12409 58th AVE NW	98332
Victoria M. Tiedt	12409 58th Ave NW	98332
Jesse Couble		98335
Elizabeth Ransley	109 Raft Island Dr.	98335
GARY PAPE	5910 33rd St Ct NW	98335
Bess Ann Berg	15100 Peacock Hill	98335
Mary Alexander	Penn Harbor Retreat	98332
Helen Robilliard	1823 61st Ave NW	98335

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NAME	STREET ADDRESS	ZIP
Gloria Lee		
Ellen Becht	10415-65 th Ave Ct	98332
Christopher Conant	10611 64 th Ave Ct NW	98332
██████████	██████████	██████████
██████████	██████████	██████████
ALLACE TALL	5415-34 th Ave NW	98335
GAIL JOHN	4116 Bear Creek Dr	98335
Alexandra M. Gregory	7113 23 rd St. Ct. NW	98335
Sharon Lemmon	6810 115 th St NW	98332
STEVE LOUPE	6211 151 st Ave	98349
Pam Edgar	3323 NW 56 th St	98332
Sharon Panchot	4204-60 th St Ct NW	98335

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NAME	STREET ADDRESS	ZIP
Robin Eck	4016 70 th Ave. NW	98335
Marsipa Lepape	10428 Kopachuck Dr NW	98335
Jam Bergman	5114 Ft Fosdick Dr NW E267	98335
Bill Fogarty	3614 Butler Drive	98335
Amber Hunter	220 Tacoma Ave S Tacoma	98402
Denneace Bowen	13316 Purdy Pt. NW	98332
UNDA LEPAPE-ECK	4016 70 th AVE NW	98335
Bryan Eck	4016 70 th Ave NW	98335
Kasey Eck	4616 70 th Ave NW	98335
Patty Picchenino	10310 Kopachuck Dr NW	98335
C. Picchenino	✓	✓
Linda WAT	10920 KOPACHUCK DR NW	98335
John Miller	4105 101 st ST CT NW	98332
William E Miller	4105 101 st ST CT NW	98332

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NAME	STREET ADDRESS	ZIP
GRANT COLOMBINI		98335
Samuel Bader	9503 127th street ct NW	98332
Cynthia Muscat	3202 96th ST NW	98332
Jennifer Unruh	1811 99th ST NW	98332
Richard Unruh	1811 99th ST NW	98332
NANCY JERKOVICH	6828 93rd ST. NW	98332
Linda L. Foster	6828 93rd ST. NW	98332
Patricia M. Serkovich	3545 Edwards St	98335
Kathleen Smith	PO Box 492	98335
LINDA TOCKER	952 9th CIRCLE	98333
Pamela Collins	9731 62nd Ave S.	98118
Heidi Nettles	7777 92nd St NW	98332
NORMAN HYPKIN	7314 86th ST NW	98332
Kenneth Higgins	1444 Ozette Dr	98333

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NAME	STREET ADDRESS	ZIP
CRAIG MERCHANT	4002 102ND ST CT NW	98332
Janet Medcalf	7177 Grandview Pl	98335
Cheresa Gano	2017 192nd Ave CT Sp	98349
Andie Gano	" "	98349
Pete Kendall	8208 77th St. Ct. NW	98335
monica mazo	13219 53rd Ave	98335
Candace Bully	8119 Shirley Ave	98332
Heather Tuttle	PO Box 2435	98335
Andy Tuttle	" "	"
CLAIRE ALLEY	5109 94th Ave Ct NW	98335
Steve Murphy	4620 34th Ave Ct	98335
Nancy Bordenave	10404 50th St Ct	98335
Allison Bujovich	3815 Verwardson	98332
maureen Carheld	601 133RD ST NW	98332

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NAME	STREET ADDRESS	ZIP
JANICE RASSAM	10414 ^{Ave. NW.} Peacock Ital.	98332
Kandi Horton	155 Maple Ln NW	98335
Deborah Saxon	6606 35 th St NW	98335
Kathy Lyle	4615 35 Ave Ct	98335
LAUREN SZCZEPANSKI	10815 Clover Valley ^{Rd SE}	98307
MARCIN SZCZEPANSKI	10815 Clover Valley ^{Rd SE}	98307
MIC SAUTOS	11718 HUNTER LN NW	98332
KATHLEEN PETRULLI	2720 37 th N.W.	98335
JAMES PETRULLI	2720 37 th N.W.	98335
Peggy Murphy	4620 34 th Ave Ct NW	98335
Eva Peck	810 130 th St NW	98332
Jody Coulston	6016 93 rd St E NW	98332
RONALD K. CANFIELD	601 133 rd St NW	98332

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NAME	STREET ADDRESS	ZIP
Nanette Leslie	1803 61st Ave NW	98335
Sabrina Garrison	12614 138th St KPN	98321
Ann Robbins	8020 St. 302	NW Gig Harbor
Edward N. Pugh III	5516 51st Ave Ct NW	NW Gig Harbor 98332
Darwin W. Beene	11816 16th Ave NW	98332
Jeri Fullerton	1808 153rd St Ct NW	98332
Sylvia Tinio	13318 139th Ave KPN	98329
Mary Carlson	15115 31st Ave NW	98332
Barbara Jurely	4109 88th Ave NW	98335
Jan Dahl	3507 48th St Lt NW	98335
Robin Corning	8106 74th St Ct NW	98335
Cheryl Kendall	8208 77th St Ct NW	98335
Debra Nozawa	13818 Goldman Dr NW	98329
Troy Russel	78 Island Blvd	98333

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NAME	STREET ADDRESS	ZIP
n.E. Plummer	7055 Steerer	98335
R. Meyer	5710 62nd St NW	98335
Carol A. Meyer	7113 108 th St NW	98332
Shah Wagniska	6268 Harbor ^{SUNSET} LAKE	98335-
Trula Thompson	PO Box 178	98335
Ruth M. Peary	7315 Forest Glade	98335
ERIC ALLEN PEAY	7315 Forest Glade Dr	98335
GARY K. NEUMAN	9509 NEUMAN AVE	98335
Roberta White	8408-88 th St NW	98332
John M. DeRoch	8324 DAY HURST AVE	98392
M. KING	2105 58th Ave NW	98335
Deang Mitchell	1822 44 th St. Ct N.W	98335
MARLENE L. ZIMMER	3423 Rosedale St NW	98335
Mary Lyssand	13029 61 st Ave NW	98335

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NAME	STREET ADDRESS	ZIP
Maria Welker	9221 Peacock Hill	98335
STEVE Isgrigg	5416 35 TH NW, E202	98335
SAYYAK KHAN	8301 137 TH ST CT NW	98332
DAN SMITH	7509 PIONEER	98335
KEVIN DANIEL	11924 39 TH AVE	98332
LORI Overby	7910 56 TH AVE CT NW	98335
MARY JANE LANE	4519 158 TH ST NW	98332
Alicia St. Anastassi	6100 Scandinavian Dr 15 APTS	98332
Tara Jones	11504 88 TH AVE	98335
Jesse Gik	5409 25 TH AVE NW	98335
Erin Richards	11502 38 TH AVE CT NW	98332
Maria & Schmidt	7217 87 TH AVE CT NW	98335
Alden Poppel	2017 Norrestview Circle NW A-203	98335
Dorene Moon	5921 Reid DR NW	98335

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NAME	STREET ADDRESS	ZIP
Alva Anderson	3225 Shawnee Dr. ^{NW}	98335
Rob Miller	4425 Harborview ^{NW}	98336
Randi Joyner	6804 76 th St NW	98335
MICHAEL LEWIS	POB 661	98395
Melinda Wagner	8920 Randall Ave. ^{NW}	98332
Nancy Matthews	4512 131 st Street NW	98339
Dick Hopkins	778 Hidden Lane NW	98335
Charlene Melone	7326 54 th Ave NW	98335
Nancy Hopkins	4718 Hidden Ln. NW	98335
Jack Kissler	9006 46 th St NW	98335
Joyce Schilt	14413 174 th St NW	98329
RICK KNAPP	4214 137 th St NW	98332

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NAME	STREET ADDRESS	ZIP
Donna PARO	2716 37 th ST	98335
WADITA MARTINELLI	4409 33 rd AVE NW	98335
Michele Maggip	2703 113 th ST CT	98332
Mary J O'Connell	1619 EDGEWOOD DR NW	98332
Reggie O'Connell	1619 EDGEWOOD DR NW	98332
Michelle Bingham	87 th ST NW	98332
Iveta H. Zayba	713 Firman Ave	98335
Charlotte Mann	4305-69th St. Ct. N.W	98335
Tiffany Chambers	10925 Bliss Cochrane Rd KPN	98329
Bradley Chambers	10925 Bliss	98329
Tina McKenna	2211 87 th St. Ct NW	98332
Pat O'Son	7323 Schmale P. N.W.	98332

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NAME	STREET ADDRESS	ZIP
Julie Higgins	1444 Olette	98333
Delores Stewart	1269 Mowitsh	98333
MICHAEL ONEIL	3600 OISON DENW	98335
Roberta Wagner	7116 85 th ST NW	98332
Bruce Bugbee	7116 85 th ST NW	98332
Karen Moore	3706 92nd Ave NW	98335
ROO W. MOORE	3706 92ND AVE NW	98335
Grace Seaman	10215 Rosedale Bay Ct.	98335
Edwin Seaman	10215 Rosedale Bay Ct	98335
R M Wagner	5014 18 th St NW	98335
Lisa Krona	6509 46th St NW	98335
Dorothy BRONSON	7799 GARY HWY	98335
Greg Trathen	4015 85th Ave NW G.H.	98335
BONNIE SMART	4411 33 rd AVE NW G.H.	98335

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NAME	STREET ADDRESS	ZIP
Mitch Landry	3716 87th Ave CT NW	98335
Wanda Landry	3716 87th Ave CT NW	98335
Denise Larson	11502 40th Ave CT NW	98332
Caillin Ussery	11502 40th Ave CT NW	98332
Rebecca Morgan	7325 Sandvick Dr	98335
Kristi Steffen	4104 154th St CT NW	98332
Manuelisco Ward	3812 154th St. E.	98332
BARBARA Fowler	7111 87th Ave N	98335
Kathleen Weiss	4620 Bear Creek Ln	98335
Dana Jones	4620 Bear Creek Lane	98335
Michael Jones, DM	4620 Bear Creek Lane	98335

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NAME	STREET ADDRESS	ZIP
FRANCIS KUNNE	4110 BURNHAM DR	98332
Mary Beth VanderKam	14215 121st Ave Court NW	98329
MARY OLSON	1719 Leonie Ln. NW	98335
LAURIE KLEVAN	4921 Cedarwood Ln NW	98335
Charlene Cauton	6102 44th Ave NW	98335
Elaine Gward	3916 Rosedale St NW	98335
VONNIE SMITH	15049 UZZELL RD S.E.	98359
WYNN SMITH	15049 UZZELL RD SE	98359
Cindy Wilde	4215 31st Ave Ct NW	98335
Charles Mann	144 Pt Fosbick Circle	98335
LARRY RABINEAU	144 Pt Fosbick Circle	98335
KEN KRONE	7400 STINSON AVE #315	98335
JACQUE H. TIEMAN	4846 MAIN SAIL	98335
Wallace R. Tieman	"	1

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NAME	STREET ADDRESS	ZIP
Cynthia Iversen Barry	2818 Wollochet Dr NW	98335
ELLS GREEN	2811 64TH ST NW	98335
Lynda LINDNER	8215 GOODMAN DR NW	98332
Manilla Lewis	10870 36th St NW	98335
BARBARA HORNE	7308 RAY NASH DR NW	98335
Carolyn Mumper	3002 27th Ave Ct NW	98335
Jackie Bunnig	5301 61th Ave NW	98335
Juan McAlister	6603 10th NW	98332
118th St NW	3615 114th NW	98332
North	8511 Shawnee Pl NW	98335
Nancy Jensen	12802 47th Ave NW	98332
Tommy	12802 47th Avenue NW	98332
Wally	4100 Foster St 301	98335
Tom Alexander	8805 75th Ave NW	98332

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NAME	STREET ADDRESS	ZIP
Wanda D. Bennett	6827 40 th St NW	98335
Gerald Reed	13606 11 th Ave NW	98332
Doreen M. Lacy	119 37 th St NW	98335
ERIK Solvik	3116 HARBORVIEW DR.	98335
Cheryl Eads	3116 HARBORVIEW DR.	98335
David Daffey	6608 46 th St NW	98335
Dan McCormick	9811 43 rd Ave SE NW	98332
Celina J. W.	5210 Spruce	98335
MICHAEL MOUNBY	4425 HARBORVIEW ^{COURTY} 98335	98335
MATT WATSON	9720 RINGWAY DR	98332
ERIC SLIND	4413 88 th NW	98335

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NAME	STREET ADDRESS	ZIP
Rose S. Dell	12317-103rd ST KPN	98329
L Barrett	7115 WARREN DR NW	98335
CARLENE CARROLL	2907 60 th AVE NW	98335
LOIS McMONNIES	8906 FRANKLIN AVE	98352
NORMA J. STEPHENSON	4219 14 th ST. N.W.	98332
NANCIE McGehee	1202 12 th CT	98333
Gerda Rodriguez	8519 Prentice Ave	98332
LESLIE BRATTON	14015 98 th ST CT KPN	98329
Margie Enfield	14701 31 st Ave NW	98332
ELIZABETH PHILLIPS	7697 BEARDSLEY AVE NW	98335
XXXXXXXXXX	2	
Clifta Wise	10414 Peacock Hill	98332
Jean Ferguson	716 47 th Ave NW	98335
Lawrence White	2452 63 rd Ave CT NW	98335

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NAME	STREET ADDRESS	ZIP
Maura Valentini	8308 83rd St NW	98335
MICHAEL FACCIA	9820 KOPACHUCK DR NW	98335
Heather Cummings	7702 56th Ave Ct NW	98335
Thomas Cummings	"	"
Jon Rampficus	4310 74th Ave Ct NW	98335
KATH THURSTON	2610 71st Ave Ct NW	98335
Patricia Crockett	8801 Randall	98352
Irene Kelton	8618 148th St NW	98329
Uta Fager Kager		
Susan J. Pudebaugh	5107 89th Ave NW	98335
Janli Kuck	3710 Sellers St.	98332
Eddie Kuck	3710 Sellers St.	98332
Dave Murray	5801 38th Ave NW	98335
Sharon Hazelton	3721 102nd St Ct	98335

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NAME	STREET ADDRESS	ZIP
Chelsea Binnig	5301 64 th Ave NW	98330
Stephanie Alexander	8805 75 th Ave NW	98332
SHIRLEY VESTER	2419 JAHN AV NW	98335
MICHAEL FALCONER	3305 114 th St NW GH	98332
BEVERLY Beverly McCoskey	1208 34 th St. Ct. NW	98335
Charles Bronman	5424 34 th Ave Ct. NW # H 102 GH	98335
Inda Berg	5214 TIMBER LN NW GH	98335
Julie King	7321 96 th St NW	98330
SHIRLEY Ann Mearns	5160 Cramwell Dr NW	98335
Barbara J. Richards	4811 52 nd St Ct NW	98335

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NAME	STREET ADDRESS	ZIP
ELVIRA GORE	P.O. BOX 2252	98335
MARLEIGH NODTVEDT	4611 131st St NW	98332
MELODY BLACKWELL	9111 66th Avenue #106	98332
BRIAN BLACKWELL	5114 PT FOSDICK DR PMB 242 GIG HARBOR	98335
Meryl Peterson	5034 Dylan Ct Gig Harbor wa	98335
Stephane Lile	5227 Benning	98332
Joseph Anne Yulias	3203 Horsehead Bay Dr	98332
Helen Naggy	7822 Goodman Dr.	98335
MARY CLEMENT	8308 Wamea Dr	98335
Carol Arnold	4735 Dunbar Dr	98335
Steve Arnold	4735 Dunbar Dr	98335
Donna Nass	1614 42nd St. NW	98335
Mandy Barrett	6600 1st St NW	98332
Lora Thumby	4102 157th St NW	98332

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NAME	STREET ADDRESS	ZIP
Diana Coda	4018 15 th St NW GHS Harbor	98332
Bethany Hodges	4425 Harbor Country Dr	98335
Danielle Bellotti	4210 29 th Ave NW	98335
Christopher Bellotti	"	98335
JOHN ENGEL	3 MARBLE BEACH	98332
Laurie Friedman	7202 57 th Ave NW	98335
Dean Neal	6816 45 th Ave NW	98335
Ronald Fekete	5293 OLYMPIE DR th	98335
LINDA Fekete	" "	"
Catherine Knacks	5188 Darby Ct.	98335
Jeremy Perroza	"	"
TERRY D. Pullen	2912 18 th Ave Ct. NW	98335
Gael Barnum	" " "	"
Peggy Hagg	4167 Long St NW	98335

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NAME	STREET ADDRESS	ZIP
Rebecca Dingman	14105 56th AVE NW	98332
Robert G Irving	4919 Ray Nash Dr	98335
Teresa Mayfield	8904 50th ST NW	98335
Carol Gutierrez	10514 Mintwood Dr KPO	98329
Terry Callaway	10808 58th ST NW	98335
Donna Callaway	" " "	" " "
Lynn Grinnell	" " "	98335
ICWibey	3905 Regatta Ct	98335
Bonnie Negandhi	3407 79th Avenue NW	98335
Jeanette Kelly	3902 Regatta Ct	98335
Joseph	3717 10th ST NW	98335
Joanne Johnson	3717 10th ST NW	98335
LINDA WRIGHT	7919 BAILEY LN. OLALLA	98359

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NAME	STREET ADDRESS	ZIP
Christy Lahr	5516 51st Ave CT NW	98335
AMBER ARRANT	1315 Agua Vista Dr. NW	98335
Anita Huysman	3652 Edwards Dr	98335
DALE HOYSMAN	3652 EDWARDS	98335
Ken Montgomery	5117 Greenway	98335
LINDA PARFITT	8302 24th Ave NW	98332
Roy PARFITT	" " "	"
Geen Fosbeck	2419 SANW AVE NW #14	98335
Mary Jane Tarabochia	3709 Rosedale St.	98335
Daniel E. Merrill	5160 Cromwell	98335
Susan Dendry	7807 RELIANCE RD NW	98335
Marty Miller	8220 Steinsford	98332
Cheryl Himes	6567 115th St. Ct. NW	98332

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NAME	STREET ADDRESS	ZIP
Joe Frederick	10805 Lake Mintrwood	98329
Jeff Frederick	10805 Mintrwood Dr KPN	98329
Kevin Sears	2403 Cliffside Dr.	98335
Kimberly Loring	2403 Cliffside Drive	98335
Linda Felch	13221 130 th KPN	98329
Joan Riley	1713 -43 rd apt.	98335
Misty Triplett	4200 83 rd Ave NW	98335
Ernest		
Chris Lind	4421 64 th St NW	98335
CLAUDIA ANDERSON	3011 SHAWNEE DR ^{NW}	98335
Ranla Hultgren-Russ	7728 31 st St.	98335
MARJORIE H. HORTON	3702 West 4 th Ave th	98335
GREG HEKSEMA	9105 Pennock Hill Ave	98332
Mary Heksema	9105 " " "	"

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NAME	STREET ADDRESS	ZIP
Brad Rouse	3420 Lewis St	98335
DONNA LORMOR	3503 Homestead	98335
MARK SAMARIN	3582 Lewis St	98335
Melinda Deibo	3421 Lewis St.	98335
Jorrie Torres	3421 Lewis St.	98335
John Simon	3413 Lewis St	98335
Vivian Simon	" " "	" "
John Musgrave	3401 Lewis St.	98335
Sally Lobbestad	3401 Lewis St	98335
Timothy Coons	7303 Myers Ln	98335
Kayla Toy	7333 Hill Ave	98335
Annette Marin	3205 Lewis St	98335
Ignacio Marin	3205 Lewis St	98335
Mandie Johnston	7402 Stanich Ave A	98335

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NAME	STREET ADDRESS	ZIP
Randy SQUANCE	6921 Rosedale	98335
JAMIE LAXAS	193 East Island Dr	98335
Sheryl McDonald	815 Dogwood Ln	98332
Sharon Coy	7918 Olympic View Dr	98332
Emily Arant	4426 Holly Ln NW	98335
L. Robert Powers	7117 85 th St NW	98332
Larry Vaughn	7021 8 th St Ave Ct	98335
Diana Yaeggy	8812-71 st St NW	98335
Patricia Oriti	4321 38 th Ave NW	98335
Ashley Moraga	1271 Casandra Loop	98306
Teo Abernethy	7119 83 rd St NW	98332
NATHAN KENNEDY	9616 Beachway	98332
DIANNE LEE	8302 Dogwood Ln NW	98332
Cyndee Begallie	7314 82 nd St. Ct NW	98332

Gig Harbor citizens
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NAME	STREET ADDRESS	ZIP
Sherril Malmin	7408 Starvick Ave	98335
Sherril Malmin	7408 "	"
Jeff Young	7107 Station Ave.	98335
Wendy Schuchman	3134 Lamphers Ln.	98335
Jana Bolender	7509 Shaw Lane	98335
Janet A. Rutz	7511 Shaw Lane	98335
Ben Rutz	7515 Shaw Ln	98335
Kelly Mainelli	7517 Shaw Lane	98335
Danielle Borris	3202 Strat St	98335
Lee Desta	7425 Hill Ave	98335
Rhein Etscheid	7320 Hill Ave	98332
MJ Bird	3310 Lewis St	98335

Gig Harbor citizens
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NAME	STREET ADDRESS	ZIP
Susanne Klogg	7212 46th St NW Gig Harbor	98335
Doreen Waters	2804 107th St NW Gig Harbor	98335
Carrie Kelley McCullen	3315 Tawachuckis St GH WA 98335	98335
Carrie M. Josay	10815 Colvos Dr. NW Gig Harbor	98332
May Jane Kumagai	4301-33 RD Ave. Ct. W.L.	98331
Dianne Dykeman	3613 38th Ave NW	98335
He Mackat	8513 25th St NW	98335
Laura Muzako	219 Bella Vista Dr Fox Island	98333
Ram Salafar	13811 51st Ave NW	98332
Kathleen Eul	7220 40th St NW	98335

Gig Harbor citizens
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NAME	STREET ADDRESS	ZIP
SHARON ^{D. DELANEY} RED LODGE	11400 STINSON AVE #315	98335
LAURA HASSELL	5610 RAY WASH DR.	98335
Jan Thalen	7212 5th Ave NW	98335
Plinio Gutierrez	10514 Winterwood Dr	98329
Sue Foster	5017th Ave Fox Is	98333
Patra Model	1806 Skansie Ave	98335
Mike Emberton	1260 Quets Pk	98333
Laire Gustin	640 8th Ave	98333
RAY PEIRCE	7614 CHOOK AVE	98335
Paul D. Belisle	3615 11th Ave	98335
KATHY BELISE	3615 11th Ave	98335

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Gig Harbor City Council

	Name	From	Comments
1.	Del Woock	Gig Harbor, WA	
3.	Barbara Tomlinson	Seattle, WA	
4.	Natasha Salgado	Toronto, Canada	
5.	Bettina Lorenz	Rhede, Germany	
6.	Nils Anders Lunde	Eidsvoll, Norway	
7.	Bartosz Siemiński	Konin, Poland	
8.	david wesaw	Kentwood, MI	
9.	Maria Smart	Gig harbor, WA	
10.	Kathryn Irby	Gulfport, MS	
11.	JL Angell	Rescue, CA	
12.	Fran Fulwiler	Portland, OR	
13.	Aud Nordby	Eidsvoll, Norway	
14.	Evan Roman	San Diego, CA	
15.	Chantal Buslot	Hasselt, Belgium	
16.	J.I. Castellino	Toronto, Canada	
17.	Laura Saxon	Morrison, FL	
18.	Fred Hoekstra	Quilcene, WA	
19.	Jeaneen Andretta	Florham Park, NJ	
20.	Robert Wagner	Fox Island, WA	
21.	Skip Vance	Gig Harbor, WA	
22.	larry arnold	Macon, GA	
23.	Paula Lillard	Gig Harbor, WA	
24.	Helen Coyne-Hoerle	Marina del Rey, CA	
25.	Barbara Simon	Gig Harbor, WA	
26.	Patrick Ryan	Gig Harbor, WA	Please keep downtown Gig Harbor the way it is!
27.	Carlton Ryan	Gig Harbor, WA	Please keep downtown Gig Harbor the way it is!!!
28.	Vivien Abel	Gig Harbor, WA	
29.	Colene Acker	Gig Harbor, WA	Please preserve the character of our historic waterfront by voting no on the proposal to allow 27 foot building heights along Harbor View Drive.
30.	Evelyn Germano	Gig Harbor, WA	

	Name	From	Comments
31.	Sherry Weitzel	Gig Harbor, WA	
32.	Sandra Erickson	Gig Harbor, WA	
33.	mera Neufeldt	Gig Harbor, WA	I , along with 3 friends, walk the harbor and enjoy he wonderful view and ambience that the harbor provides.We do not want to see it changed.
34.	DENNIS CLARK	Gig Harbor, WA	
35.	Lois Hartwig	Gig Harbor, WA	
36.	David Pine	Gig Harbor, WA	
37.	Bruce Beyerly	Gig Harbor, WA	
38.	Linda Counsell	Gig harbor, WA	
39.	Carol Alex	Gig Harbor, WA	
40.	betty devereux	gig harbor, WA	we need to be able to see the water as we take walks along Harborview drive.... it is THE main attraction to the downtown area
41.	carol McGilliard	Fox Island, WA	
42.	Judy Dresser	Gig Harbor, WA	
43.	John McGilliard	Gig Harbor, WA	
44.	Jeff Acker	Gig Harbor, WA	What is the motivation? This would change the look and feel of down town for ever!! Huge decision; please reconsider.
45.	Dennis Rushforth	Gig Harbor, WA	
46.	Karen Kiehlmeier	Gig Harbor, WA	
47.	bruce dishman	gig harbor, WA	I think the push behind this is wealthy out of towners, lawyers and construction companies. I do not know any local residents that would be impacted by it that are in favor of it.
48.	RONALD SLEGER	GIG HARBOR, WA	
49.	Loretta Lundquist	Gig Harbor, WA	
50.	Janet Medcalf	Gig Harbor, WA	Why do we need change. It is so quaint the way it is now. We have Up Town and Gig harbor North for 2 story flat roof buildings.
51.	Jeanne Williams	GigbHarbor, WA	
52.	Russel Nielsen	Gig Harbor, WA	
53.	Theodore Nedderman	Gig Harbor, WA	
54.	Barbara Sawyer	Gig Harbor, WA	
55.	Pamela Morrison	Gig Harbor, WA	
56.	bruce gair	Gig Harbor, WA	
57.	Carolyn Wyman	Gig Harbor, WA	

	Name	From	Comments
58.	Frank Hassell	Gig Harbor, WA	
59.	Kathryn Dahl	Gig Harbor,, WA	
60.	Susan McDonald	Gig Harbor, WA	
61.	Joanne Bennett	Gig Harbor, WA	
62.	Charlotte Gerlof	Gig Harbor,, WA	For heavens sake, enough is enough! This is my community, I make a point of supporting the downtown merchants, and I am fond of viewing the shoreline and wildlife. Is it not enough that the "Russell Building Project" was able to block the view from the Tides to the intersection. Know that this citizen is vehemently opposed to this constricted and short sighted proposal. I will make a point of notifying my neighbors about this issue. It is unlikely many will support this. How about putting an article in the Gateway outlining the proposal and impact on those who enjoy our beautiful harbor the way it is. Thank you, Charlotte Gerlof
64.	Nicole Farness	Gig harbor, WA	
65.	Pavel Soukup	Lomnice N Pop, Czech Republic	
66.	Pamela Carr	Gig Harboe, WA	Haven't you ruined enough in this town already??? What a MESS everywhere we look.
67.	Barbara Malich	Gig Harbor, WA	People come for the view--lose that and there will be no reason to come.
68.	Barbara Solberg	Gig Harbor, WA	Please no changes! Any more buildings would change the simplicity of our downtown Gig Harbor.
69.	Marilyn Carr	Gig Harbor, WA	keep downtown historic.
70.	Jeff Carr	Gig Harbor, WA	Please maintain the view for everybody, not just those that can afford a "rooftop view" above 27 feet.
71.	Kristin Johnson	Gig Harbor, WA	
72.	Myrna Binion	Gig Harbor, WA	
73.	Joyce Schilt	Gig Harbor, WA	
74.	Summer Scandrett	Gig Harbor, WA	It will change the entire character of downtown Gig Harbor if the height of buildings is allowed to increase. Let's keep the character and get more businesses downtown to attract us locals and make it a fun destination for out of towners.
75.	Amy Prosser	Gig Harbor, WA	
76.	Lauren DeVaney	Fox island, WA	
77.	gail hall	gig harbor, WA	
78.	Linda Linehan	Gig Harbor, WA	
79.	Beth Thomas	Gig Harbor, WA	

	Name	From	Comments
80.	Jeanne Glazebrook	Gig Harbor, WA	one of the reasons we moved into the harbor was because of its quaintness and historic presence. Please DO NOT clutter it with tall buildings and do what you can to maintain our fishing/'boating community as well as doing what you can to keep it a place that is inviting for people to visit.
81.	Carlene Salazar	Gig Harbor, WA	I'm signing for all the reasons I moved here. I love the quaint waterfront of downtown. It's what make gig Harbor the place to be. I'd also like to see more conifer trees strategically placed along the walk.
82.	Connie Werner	Gig Harbor, WA	
83.	Christopher Maher	Gig Harbor, WA	
84.	Maggi Michels	Gig Harbor, WA	I grew up in Gig Harbor and have lived here all of my life. It would be a disgrace to ruin the quality of the town landscape by creating a "corridor" (more like a canyon) through the picturesque downtown area. I sign this petition with pride.
85.	martha minter	Gig Harbor, WA	Let us not ruin our beautiful, charming Gig Harbor Waterfront.
86.	Vicki Coffaro	Gig Harbor, WA	
87.	Marlaina Wall	Gig Harbor, WA	
88.	Roberta Johnston	Olalla, WA	
89.	Kathy Thurston	Gig Harbor, WA	
90.	Marie Weis	Fox Island, WA	
91.	Joanne Kemp	Gig Harbor, WA	
92.	Kristen Melanson	Gig Harbor, WA	
93.	PATRICIA MATTOX	GIG HARBOR, WA	DON'T RUIN THE BEAUTY OF OUR VILLAGE WITH BUILDINGS THAT HIGH THE WATER
94.	Shelly Fulton	Gig Harbor, WA	
95.	Kathleen Jameson	Sandton, South Africa	
96.	CareTwo Support	Redwood City, CA	
97.	Laury Curry	Gig Harbor, WA	
98.	Charlie Brown	Gig Harbor, WA	My wife and I have been residents of Gig Harbor for 27years and we love the harbor area. I think the charm, beauty, resort feeling and attraction to Gig Harbor would be greatly diminished if not eliminated by 27 foot structures that block the views in our beautiful harbor. Please reconsider your decision on this kind of construction for the sake of our beautiful city and it's loyal residents. Charlie Brown Local Entertainer
99.	Jeannette Coil	Fox island, WA	

	Name	From	Comments
100.	Jim Eustace	Gig Harbor, WA	<p>I lived in the Gig Harbor area for many years then moved away. I returned three years ago because of the beauty and quaintness of the area.</p> <p>Why are a few developers able to dictate to the many residents?</p> <p>Why do we want to commercialize the water front of this beautiful historic town?</p> <p>When is enough, enough?</p> <p>Do we want to resemble Uptown Gig Harbor? NO!</p> <p>Lets cherish what we have and say NO to this action.</p> <p>Jim Eustace Karen Peck</p>
101.	Joan Rubinstein	Gig Harbor, WA	<p>Tourists are attracted to this area because of the picturesque nature of our town. These zoning changes threaten that attraction and the lure for tourists. Which will adversely impact the economy for local businesses. We don't want another "Uptown" like look and feel on Harborview.</p>
102.	Clayton Brown	Gig Harbor, WA	<p>No way should height limit be raised. Do you want to ruin the character of our town.Would you ask our Fishing Fleet to move out ??</p>
103.	Renee Barnes	Gig harbor, WA	
104.	donna mayer	gig harbor, WA	
105.	James Watson	Gig Harbor, WA	
106.	Jackie Olivier	Gig Harbor, WA	
107.	Margy Clair	Fox Island, WA	
108.	Tiffany Fabian	Gig Harbor, WA	<p>One of the reasons we chose to move to Gig Harbor from out of state was the quaint feel and look to the downtown area. It's beautiful and has kept that small town, historic look. I hope that doesn't change.</p>
109.	Paul Beckstead	Gig Harbor, WA	
110.	Nancy Chryst	Gig Harbor, WA	<p>Please don't let developers ruin our area any more than they already have.</p>
111.	scott fuller	gig harbor, WA	
112.	Sharon Stearnes	Gig Harbor, WA	
113.	JOHN HUBBARD	gig harbor, WA	
114.	Barbara Johnson	Gig Harbor, WA	
115.	Venita Takacs	Gig Harbor, WA	
116.	Sara Christ	Gig harbor, WA	
117.	Janet McConnell	Gig Harbor, WA	<p>Let us keep our sweet downtown area free from greed and big business. Let us keep the postcard look of our downtown intact. This is why people come here! It is not for the Uptown experience but the downtown experience.</p>
118.	Lynn Bauter	Gig Harbor, WA	

	Name	From	Comments
119.	Wilene McIntyre	Gig Harbor, WA	
120.	Duane Johnson	Gig Harbor, WA	
121.	Kerri Salvatore	Gig Harbor, WA	
122.	Roberta Rogers	Gig Harbor, WA	What down town Gig Harbor has can't be replaces. It needs to be protected. It has charm that can't be duplicated. There is too much money to be made developing the area and greed usually wins. I hope not this time.
123.	Robert McConnell	Gig Harbor, WA	
124.	Geraldine Adams	Gig Harbor, WA	The reason we live in Gig Harbor is to enjoy the beautiful water views in downtown. If you take that away, Gig Harbor will lose ALL the character which makes it unique!
125.	George Pollitt	Gig Harbor, WA	On the water side of Harborview there should be single story buildings with large view corridors between buildings. In addition there should be a large setback off Harborview so the view is enhanced.
126.	JoAnne Cooke	Gig Harbor, WA	If you allow this to happen, Gig Harbor will no longer be Gig Harbor. You will kill the ambience of downtown and alter this town forever.
127.	Hugh McMillan	Lakebay, WA	Do NOT destroy our beautiful waterfront!
128.	Sandra Durbrow	Gig Harbor, WA	Gig Harbor has done so well preserving the feel of the Northwest; don't fail us now.
129.	JoAnn Koenig	Gig Harbor, WA	
130.	Vivien Abel	Gig Harbor, WA	
131.	Marilyn Jacobs	Gig Harbor, WA	
132.	Carrie Westover	Gig Harbor, WA	Haven't we put in enough big box stores. Let's not box in the city now!
133.	monique gunther	Gig Harbor, WA	Gig Harbor is perfect the way it is. Don't ruin it by allowing 2 story building to block our view of our wonderful waterfront!
134.	Arta Childears	Gig Harbor, WA	Please don't allow this to happen.
135.	Thomas Heard	Lakebay, WA	
136.	Donald Zeth	Gig Harbor, WA	I can't believe they want to ruin the scenery of such a beautiful area. We moved here for the beauty.
137.	Tom Jones	Gig Harbor, WA	It's all about holding the line on that first building. After that, other developers have leverage to demand the same opportunity.
138.	Michael Deak	Gig Harbor, WA	
139.	Suzie Jimenes	Port Orchard, WA	We always bring out of town guests to Gig Harbor to walk and see the beautiful waterfront and shop in the unique stores.
140.	Richard Eltrich	Gig Harbor, WA	

	Name	From	Comments
141.	Joyce Fischlin	Gig Harbor, WA	I grew up in Gig Harbor and love my walks and drives through our town. Please do not destroy our gig harbor waterfront with 27-ft., flat-roof buildings and destroy the very ambiance that cause our town to be so alluring and beautiful.
142.	susan leahy	gig harbor, WA	
143.	Barb Heard	Lakebay, WA	
144.	Dale Haas	Gig Harbor, WA	
145.	Dottie Pringle	Gig Harbor, WA	Keep the downtown the same, please.
146.	Andie Wilhelmson	Gig Harbor, WA	
147.	Gerald Smith	Gig Harbor, WA	Sorry, folks, but this idea is totally out of character for our marvelous town. Please drop the whole idea immediately. Thanks.
148.	DOUG TAYLOR	Gig Harbor, WA	
149.	Margot LeRoy	Gig Harbor, WA	The same mental giants who created the mess on Pt. Fosdick are now planning to trash downtown Gig Harbor....Say No to letting developers run this city!!
150.	Lisa Kane	University Place, WA	While I am no longer a Gig Harbor resident, I was for many years and hope to be again someday. Gig Harbor's charm has always been that it is a small fishing village. That has changed over the years unfortunately. If you allow these changes to the waterfront, you will destroy what so many families in the Harbor worked for generations to create. Stop this proposal now!
151.	kit kuhn	gig harbor, WA	
152.	Donna Coulter	Fox Island, WA	
153.	Pamela Longton	Gig Harbor, WA	
154.	Alexander Takacs	Gig Harbor, WA	There are many more important issues than building size that need to be addressed.
155.	Bill Nerin	Gig Harbor, WA	
156.	Deborah Adams	Gig Harbor, WA	
157.	Rhonda Taylor	Gig Harbor, WA	32 years living, working, and playing in Gig Harbor. This proposal is obscene and would destroy the character of this beautiful city.
158.	Thomas Bliss	Gig Harbor, WA	
159.	Kristine Alskog Hall	Gig Harbor, WA	
160.	PAMELA DRIVER	GIG HARBOR, WA	WE NEED TO KEEP GIG HARBOR NATURAL & BEAUTIFUL
161.	Richard Conley	Gig Harbor, WA	
162.	Nancy Elwood	Gig Harbor, WA	We moved to Gig Harbor thinking the zoning was wonderfully thought out and the downtown area was protected and treasured by all -- please don't ruin it!

	Name	From	Comments
164.	Sara Schroeter	Fox Island, WA	
165.	Heidi Sandoval	Gig Harbor, WA	
166.	Heather Capper	Gig Harbor, WA	I'm dismayed at the approach the city council is taking. First, the clear cutting for neighborhoods such as Harbor Crossing, and now this. Gig Harbor is so popular because of its small-town look and feel. Please don't destroy that.
167.	linda dishman	gig harbor, WA	These zoning rules are sponsored by big money out of towners and contractors.
168.	alan h Harris	Gig harbor, WA	
169.	michael ruff	gig harbor, WA	
170.	samuel wohlstadter	Gig Harbor, WA	
171.	Paula Hultgren-Ruff	Gig Harbor, WA	
172.	Thomas McGill	Gig harbor, WA	
173.	karen wohlstadter	Gig Harbor, WA	
174.	Joy Culbert	Gig Harbor, WA	
175.	John Nell	Gig Harbor, WA	
176.	Barbara Magnuson	Gig Harbor, WA	
177.	john bleifuss	gig harbor, WA	
178.	Chelsea Antholt	Gig Harbor, WA	Gig Harbor is losing its charm already with Uptown and all the new shopping centers being built leaving downtown the only place we have this small town feel that I and many love. The new and taller buildings will block the gorgeous PNW view we adore and therefore take away from our city's beauty.
179.	sharon gill	gig harbor, WA	
180.	carlota Moody	Fox Island, WA	
181.	Heidi Tibbits	Gig Harbor, WA	Don't ruin our town!!!
182.	Chelsea Parry	Gig harbor, WA	
183.	Virginia Porterfield	Sig Harbor, WA	Let's show the world that we in Gig Harbor care more about preserving our beautiful fishing village than making money and losing our identity & peaceful lifestyle.
184.	Shanna Coulston	Gig Harbor, WA	
185.	jim groves	gig harbor, WA	This is all about the tax base without any regard to the residents of gig harbor. The city council has a motto "Build and they will come" They call it perpetual motion. Remember to vote!!!

	Name	From	Comments
186.	james stevenson	Gig Harbor, WA	Gig Harbor's greatest long term financial asset is the beauty and historical nature of its downtown waterfront - I was not aware of the meetings until too late and am concerned that extending grandfathered building rights to new construction may lead to the loss of our town's charm by removing the advantages some of our oldest buildings enjoy. As a resident of downtown I would very much like the opportunity to listen and participate in this discussion.
187.	Lynn Stevenson	Gig Harbor, WA	Let's put a stop to sacrificing character and culture for the sake of greed and so-called "progress".
188.	Dan Roso	Gig Harbor, WA	
189.	lynne roso	Gig Harbor, WA	
190.	colby kampfbell	gig harbor, WA	
191.	Melaney Hamby	Gig harbor, WA	
192.	Diana Lee	Gig Harbor, WA	
193.	John Poitras	Gig Harbor, WA	
194.	Lila Gilbertson	Gig Harbor, WA	
195.	Mary Jane segreto	Gig harbor, WA	
196.	Jennifer West	Gig Harbor, WA	
197.	Sarah Collins	Tacoma, WA	
198.	Susan Paredes	Gig Harbor, WA	
199.	Holly Fox	Gig harbor, WA	
201.	Evelyn McLeod	Gig Harbor, WA	I grew up in Gig Harbor and have seen some positive changes in the area. This would not be one of them. The waterfront should remain in its natural state,.
202.	Holly Lemon	Gig Harbor, WA	
203.	Shawn McWaide	Gig Harbor, WA	
204.	Nancy Mayfield	Gig Harbor, WA	
205.	Mike McKeon	Gig Harbor, WA	I cannot believe that an idea as stupid as this one required a third reading.
206.	James Ellis	Gig Harbor, WA	
207.	Jean Ellis	Gig Harbor, WA	
208.	Jeannie Hamilton	Gig Harbor, WA	
209.	Michele Davis	Gig Harbor, WA	
210.	Aline Orlando	Gig Harbor, WA	
211.	Robert Porter	Gig Harbor, WA	I have no idea what is behind any Council forces for change (is it a secret?), but It would seem that Gig Harbor proper should retain its aesthetic small town charm for visitors and residents alike. We really should appreciate what we have without succumbing to business interests in <i>(continues on next page)</i>

	Name	From	Comments
211.	Robert Porter	Gig Harbor, WA	<i>(continued from previous page)</i> this harbor view area. There are enough such opportunities at the uptown location. Keep the harbor pristine.
212.	Hinton Thomas	Gig Harbor, WA	Why would the city council want to approve walling of the wonderful view that is unique to Gig Harbor. This is not necessary or in good taste.
213.	Marc Janes	Gig harbor, WA	
214.	Elizabeth Bloom	Gig Harbor, WA	
215.	Elia Grogan	Gig Harbor, WA	
216.	Carolyn Church	Gig Harbor, WA	
217.	Melanie Love	Gig Harbor, WA	
218.	Robert Evans	Gig Harbor, WA	
219.	Heather Brown	Gig Harbor, WA	
220.	Alton Crandall	gig harbor, WA	
221.	Robin Helene Hebert	Gig Harbor, WA	
222.	Livja Sorenson	Gig Harbor, WA	
223.	John Paquet	Gig Harbor, WA	
224.	Cheryl Trusler	Indianapolis, IN	
225.	Gloria picchetti	Chicago, IL	
226.	James Howie	Scotland, United Kingdom	
227.	Penni Norman	Des Moines, IA	
228.	Brian Russell	Gig Harbor, WA	
229.	Lotta Stenfelt	Malmoe, Sweden	
230.	Leila Wolvinya	Hellevoetsluis, Netherlands	
231.	maxine borgman	gig harbor, WA	
232.	Andrea DeLing	Gig Harbor, WA	
233.	Dahnie Kronschnabel	Gig Harbor, WA	
234.	Kate Larsson	Gig Harbor, WA	
235.	Natalie Lind	Gig Harbor, WA	
236.	Nancy Hopkins	Gig Harbor, WA	The 27' zoning will lead to ruin of our town
237.	Taylor Crippen	Gig harbor, WA	
238.	Robert Himes	Gig Harbor, WA	Don't destroy the essential character of downtown Gig Harbor.
239.	Alan Teed	Gig Harbor, WA	
240.	Barbara Fredrickson	Longbranch, WA	

	Name	From	Comments
241.	Shana Heiser	Gig Harbor, WA	
242.	Brooke Paquette	Gig harbor, WA	
243.	Stephanie Somers	Gig Harbor, WA	
244.	Virginia Black	Gig harbor, WA	
245.	Laini Woodward	Gig Harbor, WA	
246.	Sylvia Wilson	Lakebay, WA	I live outside the Gig Harbor city limits, on the Key Peninsula, but consider Gig Harbor my home. The views from Harborview Drive are one of the highlights of our community that I show off to any out-of-town family and friends that want to see the sights.
247.	kaitlyn pennington	Fort Lewis, WA	
248.	Angela Owens	Gig Harbor, WA	
249.	Danelle Dodge	Gig Harbor, WA	Just say NO to ruining the beauty of Gig Harbor. There are plenty of places to put commerce that will not ruin the aesthetic beauty of this town!
250.	Amy Patterson	Gig Harbor, WA	
251.	Jennifer Hunt	Gig Harbor, WA	The waterfront is the only place left that feels like the Gig Harbor I grew up in. Keep it small, quaint, and beautiful!
252.	Malissa Haynes	Gig harbor, WA	
253.	Krystal Davidson	Gig Harbor, WA	Keep the Harbor the way it is!!!! It's not broken, don't try and "fix" it.
254.	louise Weldon	Gig Harbor, WA	
255.	Andrea Thomas	gig harbor, WA	
256.	Leslie Savage	Olalla, WA	
257.	Erin Carman	Gig Harbor, WA	I beg you to leave our beautiful waterfront drive alone...it's the highlight and draw of our town!
258.	Jill Krueger	Gig Harbor, WA	
259.	Taylor Hacker	Gig Harbor, WA	
260.	Ashley Dahl	Gig Harbor, WA	We just moved here for the charm of this town! Please please please do not strip it of everything that makes it so quaint! You will take the appeal of visiting or living here.
261.	Tommye Treadwell	Gig Harbor, WA	
262.	Diba Wickline	Gig Harbor, WA	Please do not alter our beautiful harbor! What's done cannot be undone ... leave it as it is, picturesque and beautiful.
263.	Fran Olufs	Gig harbor, WA	
264.	Elizabeth Sawyer	Gig Harbor, WA	
265.	Nikki Frantz	Gig Harbor, WA	

	Name	From	Comments
266.	Jeanette Richardson	Gig Harbor, WA	
267.	Julieanne Engen	Gig harbor, WA	
268.	Sadie Fox-Perdue	Gig Harbor, WA	
269.	SANDRA GILMORE	GIG HARBOR, WA	
270.	MICHAEL GILMORE	Gig Harbor, WA	
271.	Terry Rucker	Gig Harbor, WA	Gig Harbor's heritage is tied to the waterfront and Gig Harbor bay. Why remove that from view? It would destroy the character of the town.
273.	Thomas Murphy	Gig Harbor, WA	Obstructing the waterfront access and view compromises the character and appeal of Gig Harbor and outright undercuts the uniqueness of this village. The view is a defining element of Gig Harbor and obstructing it will cause foot traffic, both resident and tourist, to go elsewhere...and that is something we cannot afford.
274.	Doris Beck	Gig Harbor, WA	PLEASE do not take away the charm that makes Gig Harbor so desirable-it is a picture post card little city-leave the water front peaceful and beautiful.
275.	Tom Kepler	Gig Harbor, WA	Do not mess with a good thing!!
276.	Dee Dee Fuller	Gig Harbor, WA	
277.	Janae Noneman	Gig Harbor, WA	
278.	Mary Eby	Gig Harbor, WA	Let's keep Gig Harbor the picturesque waterfront town it is. Build the tall buildings somewhere else.
279.	Jeremiah Noneman	Gig Harbor, WA	
280.	Edward DuClos	Gig Harbor, WA	
281.	Doran Fox-Perdue	Gig Harbor, WA	
282.	Sharon VanMechelen	gig harbor, WA	
283.	Erika Enquist	Gig harbor, WA	
284.	Barbara Raymond	Gig Harbor, WA	
285.	George Mullinax	Gig Harbor, WA	My wife and I chose to retire in Gig Harbor due to size of the town and the beautiful harbor. Please do not change the zoning and destroy the view of the harbor.
286.	Scott Dahl	Gig harbor, WA	
287.	Erin Reyes	Gig Harbor, WA	
289.	steven kunkel	gig harbor, WA	if the council pass this it will be the end to our beautiful downtown. let it die and dont reintroduce the ordinance. save our city. we need better members on the council give them the axe!!!

	Name	From	Comments
290.	Brian Richmond	gig harbor, WA	
291.	Denis Rosnick	Gig Harbor, WA	
292.	Smit Jacobud	Gig harbor, WA	
293.	Carolyn Burkhardt	Gig harbor, WA	
294.	Timothy Leahy	Gig Harbor, WA	
295.	Dennis Figueira	Gig harbor, WA	
296.	Eric Cook	Gig harbor, WA	
297.	Marissa Clark	Gig Harbor, WA	
298.	Caryn Darmer	Olalla, WA	
299.	David Fuller	Gig Harbor, WA	
300.	Sean Flaherty	Gig Harbor, WA	I didn't move to Gig Harbor to be overwhelmed and burdened with suffocating retail buildings.
301.	David Stevens	Gig Harbor, WA	
302.	Mary Souza	Gig Harbor, WA	Let's not destroy our tourist trade by taking away the beauty of water views along Harborview Drive for the sake of a few wealthy investors.
303.	Robert Grant	Gig Harbor, WA	
304.	Nicole Thoms	Gig Harbor, WA	
305.	Sherry Dougherty	Gig Harbor, WA	Why would anyone come to see our wonderful village, with beautiful water views, if they can no longer see the water? Why "walk the harbor"?
306.	Heidi Stark	Gig Harbor, WA	
307.	Gerald Block	Gig Harbor, WA	This is a proposal by business persons to make money at the public expense of destroying the views we have enjoyed for many years in the past.
308.	Linda Weatherby	Gig Harbor, WA	Do not block our beautiful waterfront. Do not exchange the charm and quaintness of one earth's most beautiful places for shortsighted, shallow gain!
309.	Scyrina Moore	Gig Harbor, WA	Why destroy the view.
310.	Nikki Bayer	Gig Harbor, WA	Leave the Gig Harbor Waterfront ALONE!!!
311.	Peter Hollar	Gig Harbor, WA	
312.	ken barnhart	gig harbor, WA	
313.	Lauren Procter	Gig Harbor, WA	
314.	kathleen dunne	gig harbor, WA	
315.	RON DEYOUNG	GIG HARBOR, WA	
316.	Carly Othman	Gig Harbor, WA	
317.	Michele Lacroix	Gig Harbor, WA	
318.	Denis Lacroix	Gig Harbor, WA	
319.	nicholas moss	gig harbor, WA	

	Name	From	Comments
320.	Jennifer Murphy	Gig Harbor, WA	
321.	Amber DuPont	Gig Harbor, WA	
322.	Theresa Murphy	Gig Harbor, WA	
323.	Daniel Skiffington	Gig Harbor, WA	
324.	Douglas McFarlane	Gig Harbor, WA	
325.	Christopher Maher	Gig Harbor, WA	
326.	Suzy Skiffington	Gig Harbor, WA	
327.	gail tonkin	gig harbor, WA	
328.	Harold Grover	Gig Harbor, WA	Develop outside the downtown area..preserve the fishing village character of the Harbor. Respect the historical value of the "Village". Avoid making this the new Kirkland.
329.	Steven Tyson	Gig Harbor, WA	
330.	Beth Pedersen	Gig Harbor, WA	Please do not change downtown Gig Harbor - North Gig Harbor and the Uptown/Safeway regions have already become ugly traffic congested strip malls. Let's have at least one nice area left in the harbor.
331.	Brian Knesal	Gig Harbor, WA	
332.	Veronica Ahern	Gig Harbor, WA	
333.	Christopher Ubben	Gig Harbor, WA	
334.	Tony Cain	Gig Harbor, WA	Don't destroy our beautiful waterfront with this monstrosity.
335.	delilah evans	gig harbor, WA	
336.	Pam Johnson	Gig Harbor, WA	
337.	Martin Walker	Gig Harbor, WA	Keep the building to uptown and Peacock Hill. Downtown should remain Historical.
338.	Mary Jaspersen	Gig Harbor, WA	To destroy the beauty and serenity of our Harbor is unthinkable to me.
339.	Misty Molina	Gox Island, WA	
340.	pageant estes	gig harbor wa, WA	
341.	Tina Barnes	Gig Harbor, WA	We don't make full, proper use of the spaced down town now. No sense building more, that no on can afford. And our tax dollars should not be wasted like this.
342.	Patricia Ross	Gig Harbor, WA	
343.	Kelly Purtle	Gig Harbor, WA	
344.	Jason Wright	Gig Harbor, WA	
345.	Cathy Hinson	Olalla, WA	
346.	Valda Riley	Gig Harbor, WA	We have more than enough buildings on Harbor Hill and Uptown. Let's keep historic downtown historic.

	Name	From	Comments
347.	Mark Riley	Gig Harbor, WA	
348.	Nicole Burnett	Fox Island, WA	This will destroy the character of the Gig Harbor waterfront. We can NOT let this happen!!!
349.	Jill Wright	Gig Harbor, WA	
350.	Carleen Garrett	Gig Harbor, WA	
351.	Erin Peterson	Gig Harbor, WA	
352.	Cynthia Hillard	Gig Harbor, WA	Please leave the downtown area AS IS! I can't believe planners cannot see the treasure we have already. Shop owners could see more revenue if they'd stay open past 5pm (more often than one weekend at Christmas) when residents can shop. The building erected for the Russell Co. on Harborview is bad enough - it does not match Gig Harbor downtown at all. Imagine opening the doors to build more of that - perhaps bigger and taller. Is this what we really want our city to be? It's charming now - don't "break" it by trying to fix it.
353.	C William Ferris	Gig Harbor, WA	
354.	Theresa Hutchins	Gig Harbor, WA	
355.	Denny Hutchins	Gig Harbor, WA	
356.	Alyssa Nystul	Gig harbor, WA	
357.	Rayce Rybin	Gig Harbor, WA	
358.	Jason Azizeh	Sitka, AK	I'm from GH I've taken walks along Harborview many times and I don't like the idea of zoning or building massive structures in that area.
359.	Lindsay Keeton	University Place, WA	
360.	Patrick Erickson	Gig Harbor, WA	
361.	Megan Sticha	Gig Harbor, WA	There's revenue to be made by taking advantage of the unique gem that is historic downtown, let's recognize what we have!
362.	Nichelle Sherman	Fox Island, WA	
363.	Adrienne Hillard	Gig Harbor, WA	
364.	Lindsey Keating	Gig harbor, WA	
365.	Christopher Case	gig harbor, WA	
366.	Robin Parker	Gig Harbor, WA	
367.	Andrew Salisbury	Gig Harbor, WA	
368.	Josh Elliott	Gig Harbor, WA	
369.	Mallory Burns	Gig Harbor, WA	
370.	Pamela Tiller	Gig Harbor, WA	
371.	Carolyn Buttafoco	Gig Harbor, WA	

	Name	From	Comments
372.	Richard Hill	Gig Harbor, WA	It won't be Gig Harbor anymore...it will be Condo Harbor. You don't know what you have until it's gone folks. Don't let money be the steamroller that sways your good sense.
373.	Thomas Murphy	Gig Harbor, WA	
374.	Nicole de Recat	Gig Harbor, WA	
375.	Galen Hansen	Gig Harbor, WA	
376.	Bill Marvin	Gig Harbor, WA	The City Council is elected to enhance the quality of life in the Harbor, not to destroy it in the name of ... what? The Russell Building was bad enough, don't risk killing the character of the waterfront that makes this feel like home. The long term survival of GH as a desirable destination depends on it. The city's official website starts by saying, "Dedicated to public service through teamwork and respect for our community." Discovered in 1840 and incorporated in 1946, "Gig Harbor is one of the most picturesque small cities in America." If you are truly dedicated to teamwork and respect for our community, you cannot in good conscience proceed with this ill-advised zoning change along Harborview Drive.
377.	dean anderson	gig harbor, WA	
378.	Cameron Hurdus	Gig Harbor, WA	
379.	Rebecca Gostin	Gig Harbor, WA	Keep Gig Harbor unique, loose the waterfront views and we will be shooting ourselves in the foot. Bad idea.
380.	Brooke Chambers	Gig harbor, WA	
381.	linda hess	gig harbor, WA	
382.	Jeffrey Bryant	Gig Harbor, WA	
383.	Curtis Sharp	Gig Harbor, WA	
384.	F-This Town	gig harbor, WA	They are already trying to turn the harbor in to mini Cali
385.	david carlson	gig harbor, WA	no big huge building or houses
386.	Sherrie Peters	Gig Harbor, WA	I would like to see the Russell building torn down! Stop obstructing the view of our lovely harbor!!!! Not everyone can live on the water, but we should all be able to see it!!!!!!!!!!!!
387.	Jeff Lavinder	Gig Harbor, WA	There is plenty of places to allow over height buildings. Keep the waterfront beautiful and tourist friendly.
388.	Adrienne hall	gig harbor, WA	
389.	David Castner	Gig Harbor, WA	
390.	Chelsea Showalter	Gig Harbor, WA	
391.	annmarie mitchell	gig harbor, WA	
392.	Kim Carnahan	Gig Harbor, WA	New Zoning Rules would destroy downtown Gig Harbor. We can't let this happen to our community!

	Name	From	Comments
393.	Jannine Clemons	Gig harbor, WA	
394.	Jeff Robinson	Lakebay, WA	It was the beauty of the Gig Harbor Waterfront that originally convinced me to move to the area. Don't destroy this historic area by allowing this proposed zoning to occur.
395.	Sandra Dawson	Gig Harbor, WA	
396.	Tony Mendenhall	Vaughn, WA	
397.	Patricia Kingaby	Gig Harbor, WA	Please don't spoil the Gig Harbor skyline!!!
398.	BRUCE BLAKEMORE	GIG HARBOR, WA	Why zone for something you say will never happen? Evidently someone wants it to happen else why the proposal?
399.	Ricardo Vergara	Gig Harbor, WA	
400.	Karen Worstell	Gig Harbor, WA	
401.	Ryan Dawson	Gig Harbor, WA	
402.	Cassandra Cook	Gig harbor, WA	
403.	Tracy Merritt	Gig Harbor, WA	
404.	Joe Hicks	Lakebay, WA	
405.	Chris Piotrowski	Fox Island, WA	
406.	Melissa Kneisly	Gig harbor, WA	
407.	Elizabeth Haycock	Gig Harbor, WA	
408.	Katie Padwick	Gig Harbor, WA	
409.	charlyne gilbert	gig harbor, WA	
410.	Russ Holster	Gig Harbor, WA	There is an old Japanese concept of "wabi-sabi" which we might correlate to old and natural things have a "soulful" feeling about them. The harbor is the soul of Gig Harbor. Keep it as natural and authentic and low-key as possible. Tall, shiny new buildings do not add to the soul or life of a community, they often detract from it.
411.	Sherryl Kemp	Gig Harbor, WA	
412.	Cindy Brooks	Gig Harbor, WA	
413.	Regina Aldridge	Gig Harbor, WA	Please don't take away our waterfront.
414.	Kirk McClain	Gig Harbor, WA	
415.	Rachel Johnson	Vaughn, WA	
416.	Stephanie Hutchinson	Gig harbor, WA	
417.	Paul Hutchinson	Gig harbor, WA	
418.	Gail Drohan	Gig Harbor, WA	
419.	Kathleen Aronson	Gig Harbor, WA	WHY ruin the very thing that IS Gig Harbor!!!
420.	Cameron McClellan	Spokane, WA	

	Name	From	Comments
421.	Kody Davis	Gig Harbor, WA	
422.	Katherine Poulton	Gig Harbor, WA	
423.	David Puckett	Gig harbor, WA	
424.	Thomas Dunn	Gig harbor, WA	
425.	Shane Varsos	Purdy, WA	
426.	Hannah Anderson	Gig harbor, WA	
427.	Trace Sutich	Gig Harbor, WA	
428.	Timothy Pollard	Gig Harbor, WA	
429.	Rylie Enslin	Gig Harbor, WA	
430.	Noah Benesch	Gig Harbor, WA	
431.	Claire Simon	Gig harbor, WA	
432.	Sarah Allen	Gig Harbor, WA	
433.	Jim Labayen	Gig Harbor, WA	
434.	Tucker Wilde	Gig Harbor, WA	
435.	Brian Omalley	Gig harbor, WA	
436.	Hunter Johnson	Gig Harbor, WA	
437.	Jack Chakerian	Gig Harbor, WA	
438.	Samuel Black	Gig Harbor, WA	
439.	Franklin Lyon	Gig Harbor, WA	
440.	Jennifer Glover	Gig Harbor, WA	I've grown up living downtown and would hate to have my view taken.
441.	Charlie Shields	Gig Harbor, WA	
442.	Donald Myers	Gig Harbor, WA	
443.	Kristen East	Gig Harbor, WA	A rustic, small-town feel is what gives Gig Harbor its charm, is a part of Gig Harbor's character, and attracts businesses and tourists to our town. We need to preserve that feel.
444.	Alden Sawicky	gig harbor, WA	
445.	Vann Berryman	Gig Harbor, WA	
446.	Angela Hirsh	Gig Harbor, WA	
447.	Blake Uddenberg	Gig Harbor, WA	Gig Harbor is a town, not a city.
448.	Lori Lawler	Gig harbor, WA	
449.	Tamineh Anderson	Gig Harbor, WA	
450.	Kyra Langhelm	Gig Harbor, WA	
451.	Erin Summa	Gig Harbor, WA	

	Name	From	Comments
452.	John Casebere	Gig Harbor, WA	I love taking dog son walks or visiting the parks and admiring the beautiful harbor. not only that but we get small tourist activity to see the harbor and that supports local shops. if we were to detract from the natural feel of the harbor, over time our tourism is likely to fall and this may trouble small harbor front businesses.
453.	Monica Laning	Gig Harbor, WA	I have lived here for 24 years, and we stay because of the beauty and friendliness of the town. Keep the beauty of the waterfront as it is, please!
454.	Molly McCarthy	Gig Harbor, WA	Make the Harbor stay beautiful
455.	Randy Golonka	Gig Harbor, WA	If you change the Gig Harbor waterfront, it will no longer be the same, quaint seaside town....
456.	JOAN RILEY	gig harbor, WA	please ,please, keep our waterfront the way it is.. that's why we moved here and shop here... if you listen to the developers ,, they will say anything just to make money and mess up our town ,and then leave to go mess up another beautiful town.. they don't care ...they are only interested in making money off of us...don't ;et them do it...
457.	barbara white	gig harbor, WA	Please let the developers make their money somewhere else. One of the reasons we moved to Gig harbor WA for the quaint neighborhood. Refurbish what is there!!!!!!Don't deny waterfront to many for just a few people.
458.	Garrett Hystek	Gig Harbor, WA	The views while driving around town are what attracts people to the harbor
459.	Elise Hays	Gig Harbor, WA	
460.	Danielle Case	Gig Harbor, WA	
461.	Amy Smith	Gig harbor, WA	
462.	Taylor Egloria	Gig Harbor, PR	
463.	Lauren Lott	Gig harbor, WA	
464.	Cindy Harrison-King	Gig Harbor, WA	I've lived in the Harbor since 1963. While I love and enjoy some of the changes and growth that we have experienced it's vital to keep downtown like it is.
465.	phantajja bergman	bremerton, WA	
466.	Crystal Madison	Gig harbor, WA	
467.	Debi Bender	Gig Harbor, WA	
468.	Natalie Anderson	Gig Harbor, WA	
469.	Carmela Micheli	Gig Harbor, WA	
470.	Helen Wallace	Gig Harbor, WA	it is absurd to think that to 'save' the waterfront it must be built up and destroyed. the presentation from last month was pathetic! if bits and pieces of water view were all that the harbor had to offer - it would have died a long time ago! trees, boats, masts, SKY!!! these would all be blocked with (continues on next page)

	Name	From	Comments
470.	Helen Wallace	Gig Harbor, WA	<i>(continued from previous page)</i> the proposed changes! PLEASE SAVE THIS COMMUNITY AND THE ENVIRONMENT!
471.	Kyle Bocanegra	Gig harbor, WA	
472.	Britnie Berg	Gig harbor, WA	
473.	Nichelle Sherman	Fox Island, WA	
474.	haley sbory	Gig Harbor, WA	
475.	April Crichfield	gig harbor, WA	
476.	Anton Harle	Gig Harbor, WA	
477.	Virginia Metcalf	Gig Harbor, WA	Further development of Gig Harbor will ruin the unique qualities of this historic waterfront town. The City Council must have a land ethic which will preserve the natural beauty. To permit further expansion of space occupying buildings would destroy the remaining remnants of this awesome act of creation known as Gig Harbor. Surely we are better than that.
478.	Taylor Zeitner	Gig harbor, WA	
479.	Taylor Leacy	gig harbor, WA	Stay classy Gig Harbor
480.	Elizabeth Bush	Gig Harbor, WA	
481.	Stephanie Fletcher	Gig Harbor, WA	
482.	william rehe	gig harbor, WA	
483.	Shauna Johnson	Gig Harbor, WA	Preserve the quaint picturesque beauty of our waterfront.
484.	Amanda Kooley	Gig Harbor, WA	
485.	Sarah Brady	Gig Harbor, WA	
486.	Matt Bernard	gig harbor, WA	
487.	Nate Robertson	Gig Harbor, WA	
488.	Eric Arroyo	Gig Harbor, WA	Don't Change My HARBOR!
489.	Craig Vincent	Gig Harbor, WA	
490.	Chere Conner	Gig Harbor, WA	Please STOP the industrialization of Ggi Harbor! It's getting bad enough already!!!
491.	Gerald Gilbert	Gig Harbor, WA	
492.	Kenra Brewer	Gig Harbor, WA	
493.	Heather Otto	Gig Harbor, WA	
494.	Ellen Waclawski	Gig harbor, WA	
495.	Colleen Harnish	Gig harbor, WA	
496.	Ariel Wojtanowicz	Gig Harbor, WA	Don't ruin the historic, beautiful view that we have all grown up with and love.
497.	Michael Frier	Gig Harbor, WA	
498.	Riley Gillard	Gig harbor, WA	

	Name	From	Comments
499.	Christine Rushmeier	Tacoma, WA	
500.	Angela Sisney	Gig Harbor, WA	
501.	Dan Carrier	tacoma, WA	
502.	Anastacia Clymer	Gig harbor, WA	
503.	Andrea Fernandez	Castelldefels, Spain	
504.	Quinn Morley	Gig Harbor, WA	
505.	Jennifer Keating	Fox island, WA	
506.	Tracy Gaudio	Belfair, WA	
507.	Holly Warter Unluata	Gig Harbor, WA	
508.	Sara Oppler	Gig Harbor, WA	
509.	sidney turner	gig harbaw, WA	
510.	Emily Floberg	Gig Harbor, WA	
511.	Curtis Rencowski	Apt D301, WA	
512.	Sarah Everitt	Gig Harbor, WA	
513.	beau Karamatic	gig harbor, WA	
514.	Deena Blair	Gig Harbor, WA	
515.	Megan Peterson	Gig Harbor, WA	
516.	Rebecca lester	Gig harbor, WA	
517.	trenton smith	gig harbor, WA	
518.	Lisa Walker	Fox ISland, WA	
519.	Dinah Gemelle	gig harbor, WA	
520.	Jane Gingrich	Gig Harbor, WA	Please do not allow our beautiful village to be ruined by allowing these sorts of buildings!
521.	Jessica Stancikas	Gig Harbor, WA	
522.	Thea Wescott	Gig Harbor, WA	

BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)



Existing building footprints (in yellow) exceed building size maximums already in place.

Current building footprint limits (in blue)



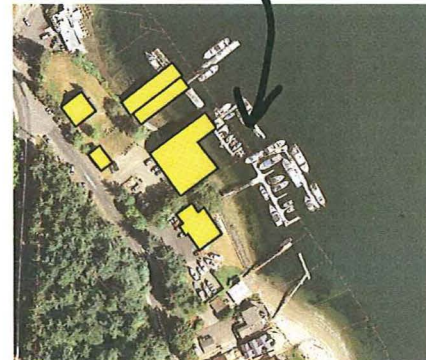
AREA OF IMPACT -- Skansie Park to Tides Tavern

BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)



Existing building footprints (in yellow) exceed building size maximums already in place.

Current building footprint limits (in orange)



AREA OF IMPACT -- Babich House to Green Turtle

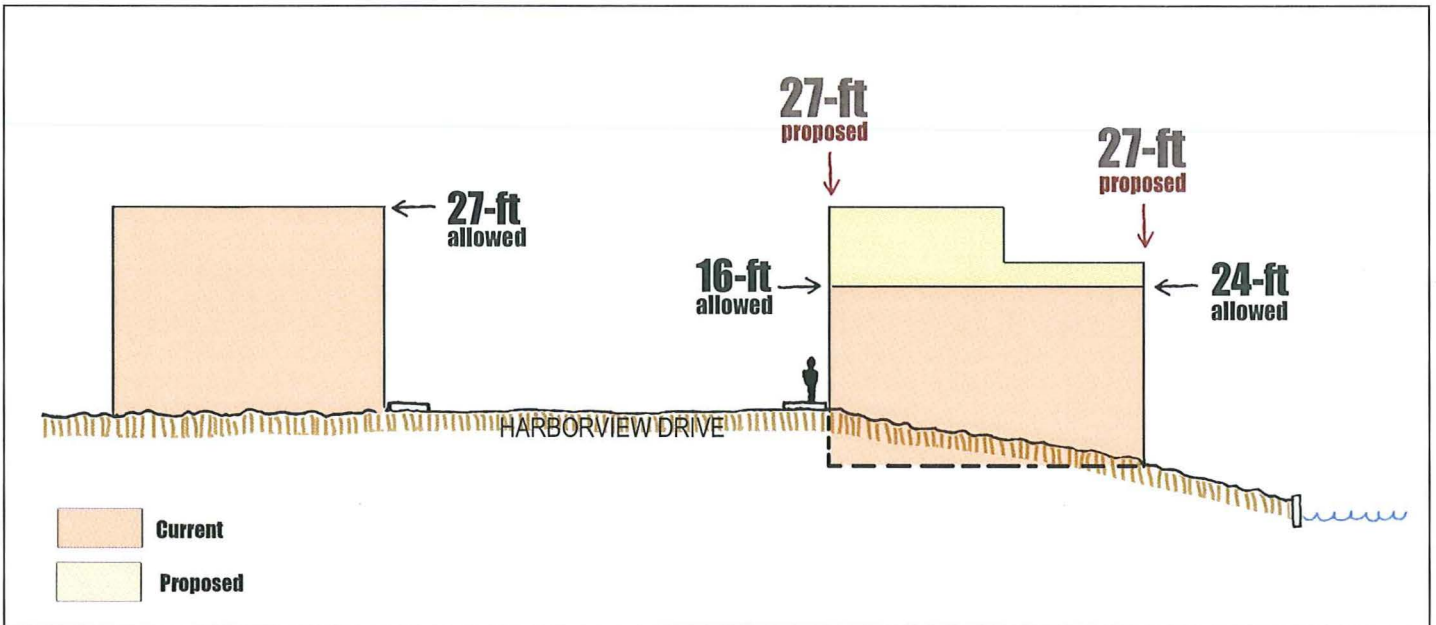
BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

Q -- Are there already 2-story buildings in the downtown?

A -- Yes. The map below shows many 2 and 3-story buildings constructed before building height limits were imposed.

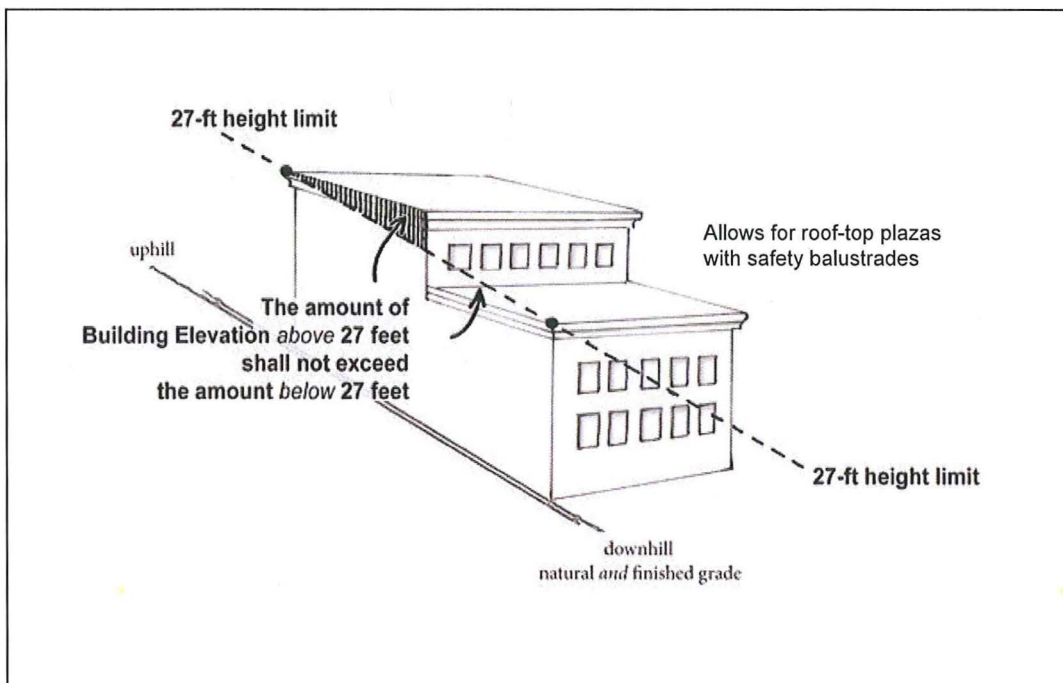


BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

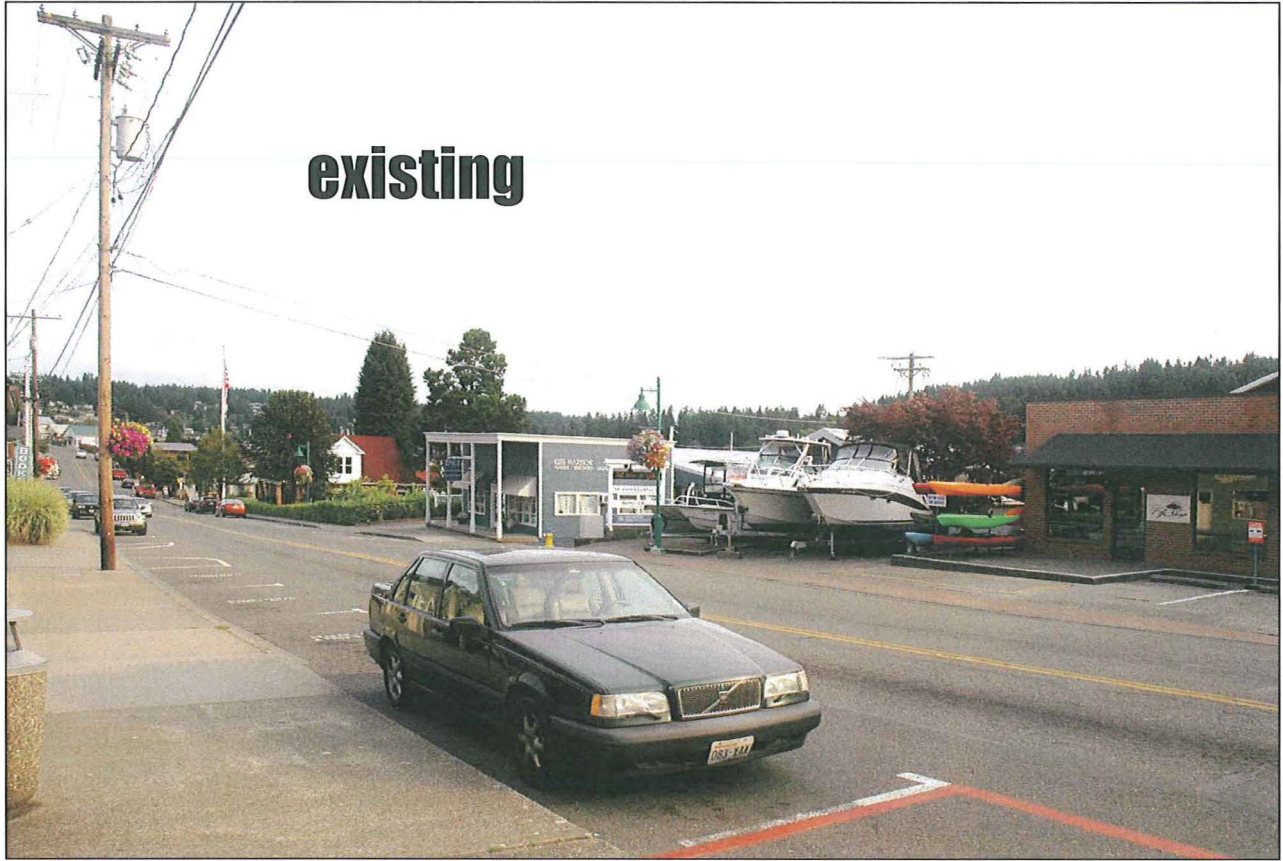


Q -- Could buildings along the waterfront on Harborview Drive be 27-ft tall?

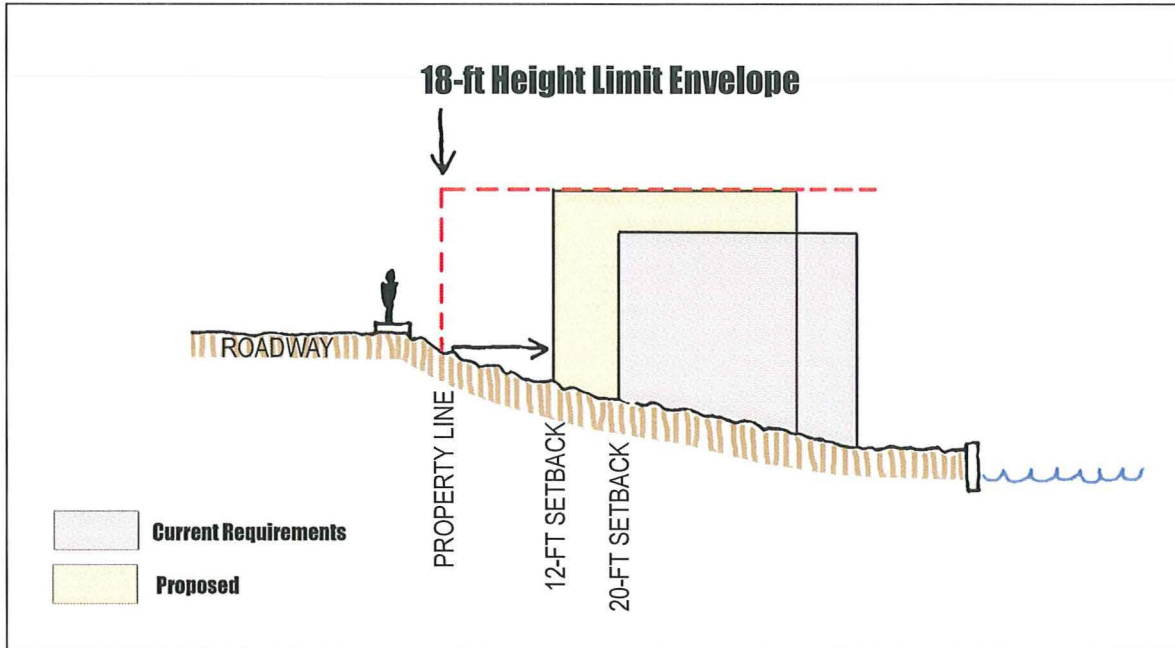
A -- Yes. The illustration below shows the step-down formula that must be applied on sloped sites.



BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)



WATERFRONT RESIDENTIAL and VIEW IMPACTS



Front Yard Setbacks

EXISTING	PROPOSED
Porch 12 feet	Porch 6 feet
House 20 feet	House 12 feet
Garage 26 feet	Garage 18 feet

Q -- How is the current residential height limit measured?

A -- The height of a residence is limited to 18-feet and must be measured at the front setback which is currently 20-feet from the property line.

Q -- How would the proposed residential height limit be measured?

A -- The height of a residence is limited to 18-foot as measured at the property line (shown in red above).

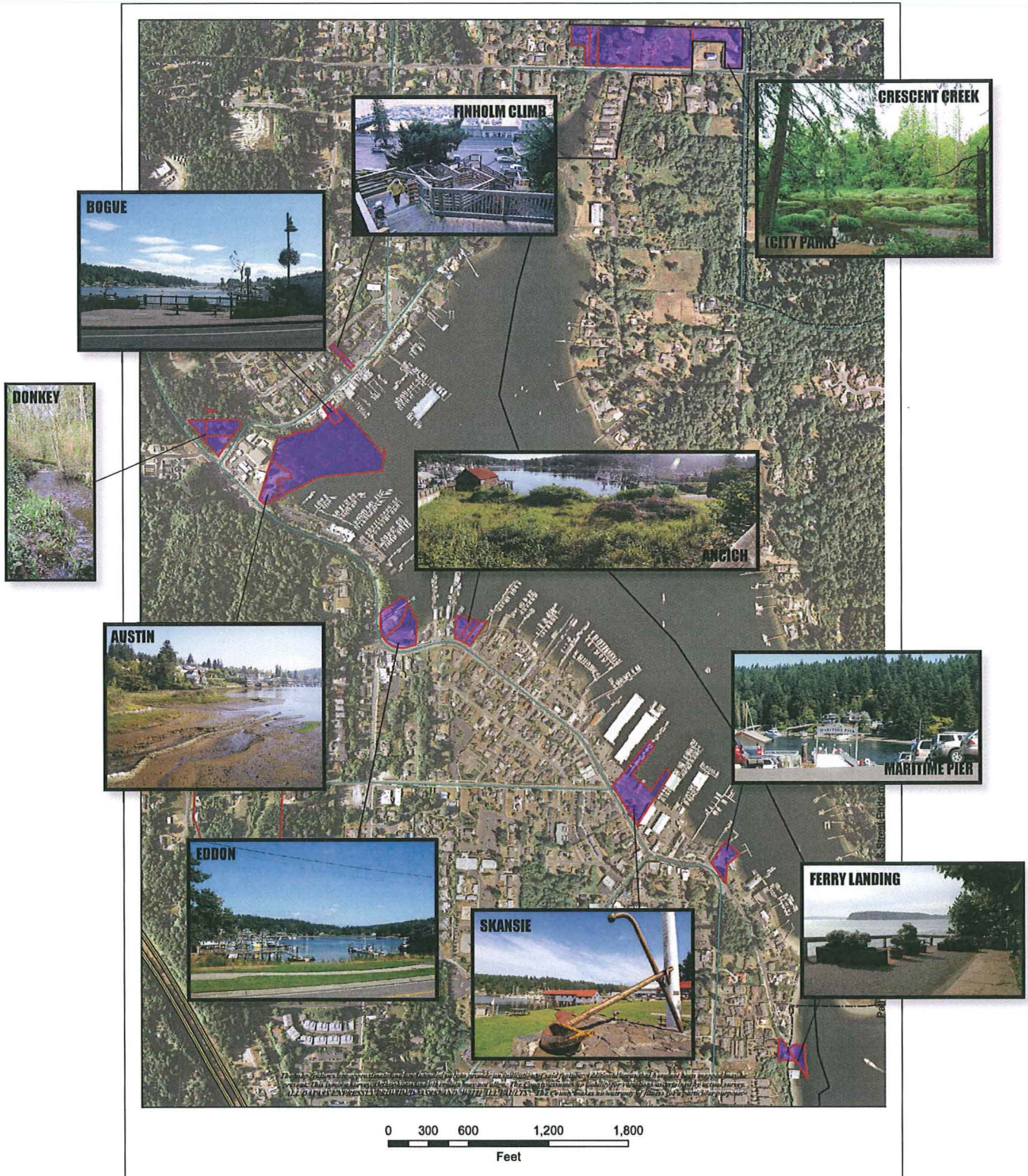
Q -- Which areas would this code change impact?

A -- All residential buildings within the Waterfront Residential (WR), Waterfront Millville (WM), and Waterfront Commercial (WC) zones.

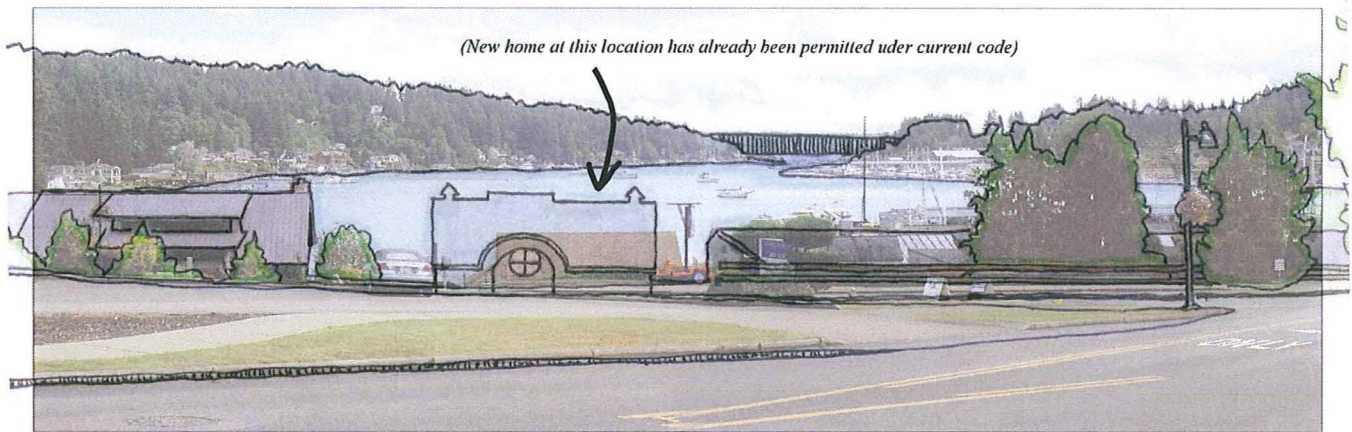
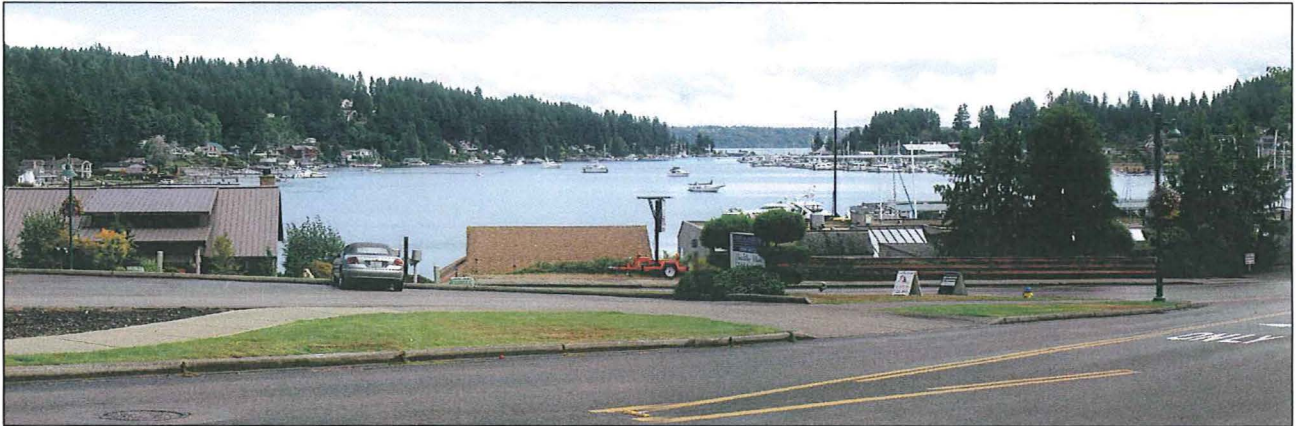
CITY OWNED - WATERFRONT PROPERTIES

Q -- How many city-owned waterfront properties are there?

A -- 9 Parks and 2 viewing areas (Bogue and the Finholm View Climb).



WATERFRONT RESIDENTIAL and VIEW IMPACTS



Q – Is the 18-ft height limit measured from the sidewalk?

A – No. The height would be measured from the property line which is about 4-feet below the sidewalk because of the slope along North Harborview Drive.

Q – What is the impact on residential heights if the measurement location changes from the *setback* line to the *property* line ?

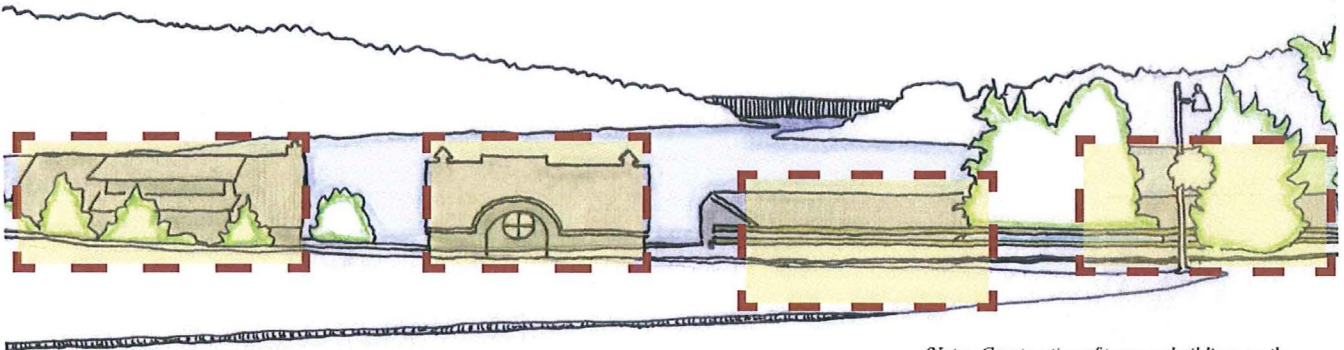
A – For the area along North Harborview Drive, about 4-feet in height.

For example....

An 18-ft house, under today's code, would be about 10-feet above the sidewalk.

An 18-ft house, under the proposed code, would be about 14-feet above the sidewalk.

Both situations block views for pedestrians which is why the City requires view corridors between buildings.



(Note: Construction of two new buildings on the right would require tear-down of Condo's to meet current building size limits and is not expected.)

BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

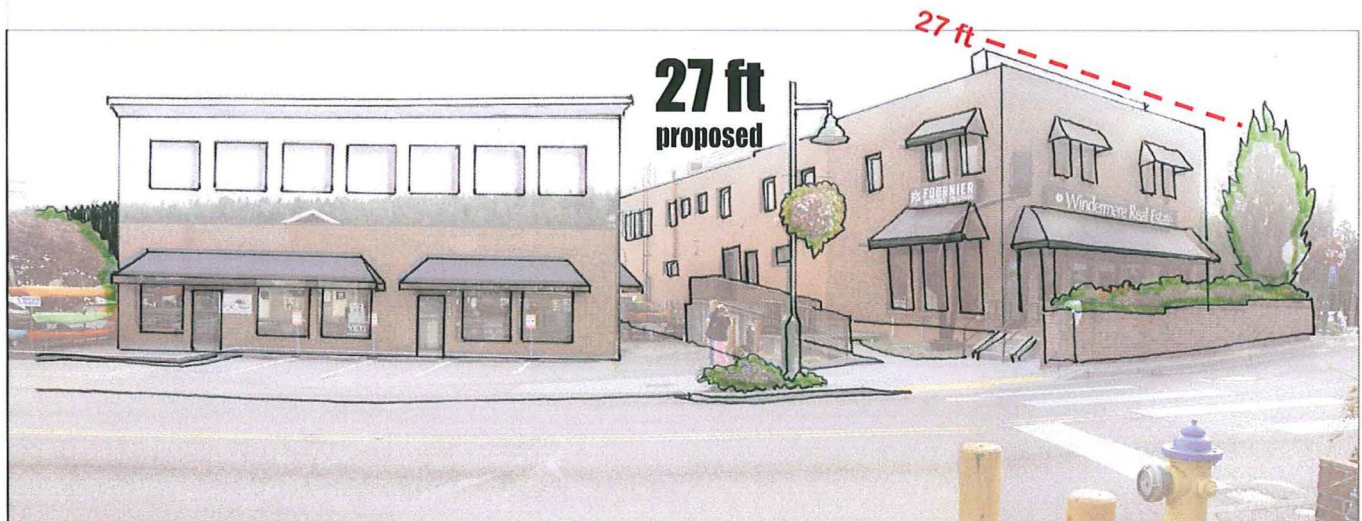


Q -- What height is currently allowed in the WC zone?

A -- 16-ft (flat roof) and 18-ft (6:12 pitch roof).
This limits buildings to 1-story.

Q -- Could there be a solid wall of 27-ft buildings side-by-side the waterfront?

A -- No. Sideyard setbacks require a minimum of 20 feet between buildings on the same property. This requirement ensures that view corridors are part of any new development.



BLDG HEIGHTS - WATERFRONT COMMERCIAL (WC)

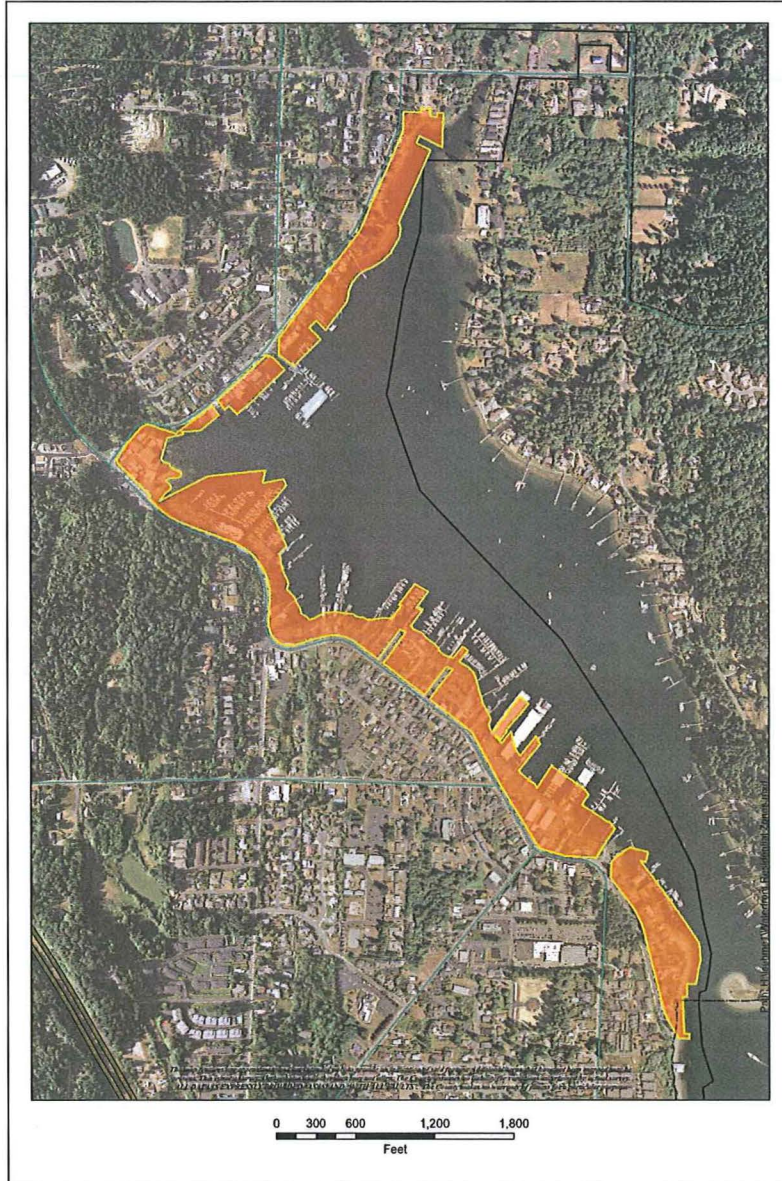


BLDG HEIGHTS and VIEW IMPACTS



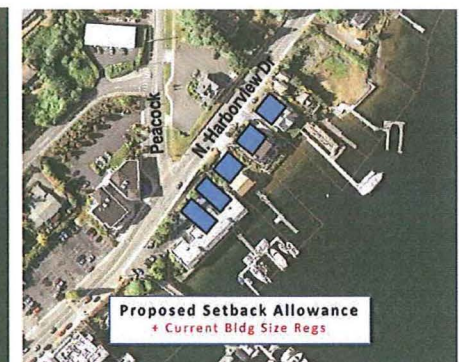
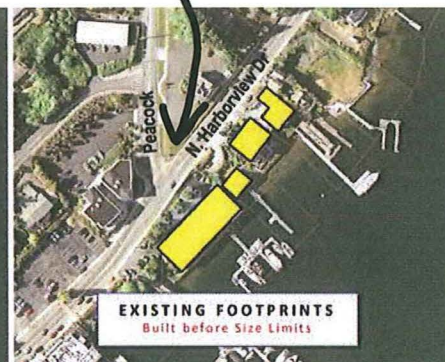
SETBACKS and VIEW IMPACTS

Residential Buildings in Waterfront Zones along North Harborview and Harborview Drives.

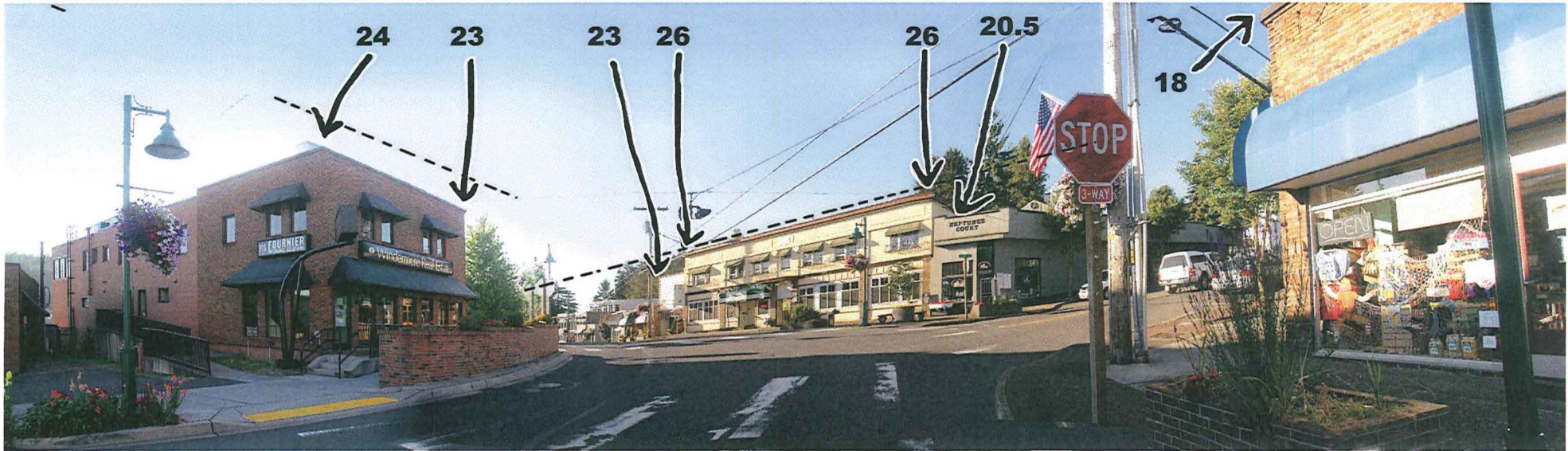


Existing building footprints (in yellow) exceed building size maximums already in place.

Current building footprint limits (in blue)



27-FT BUILDING HEIGHTS PROPOSED IN WATERFRONT COMMERCIAL (WC)

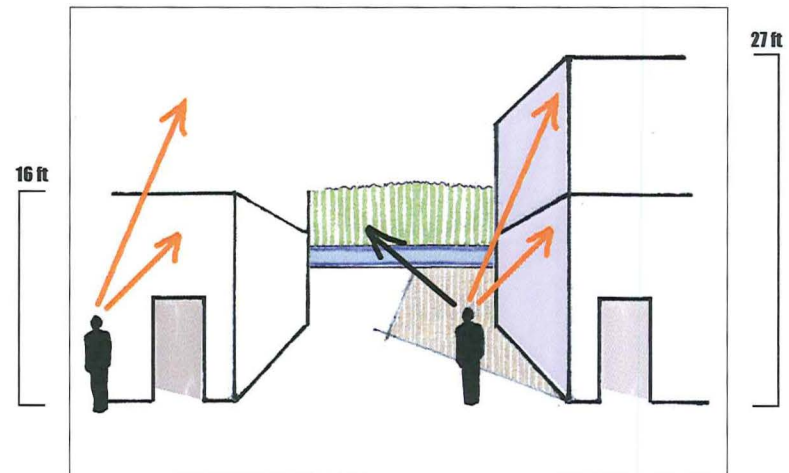


Q – What is meant by a building’s characteristic “scale”?

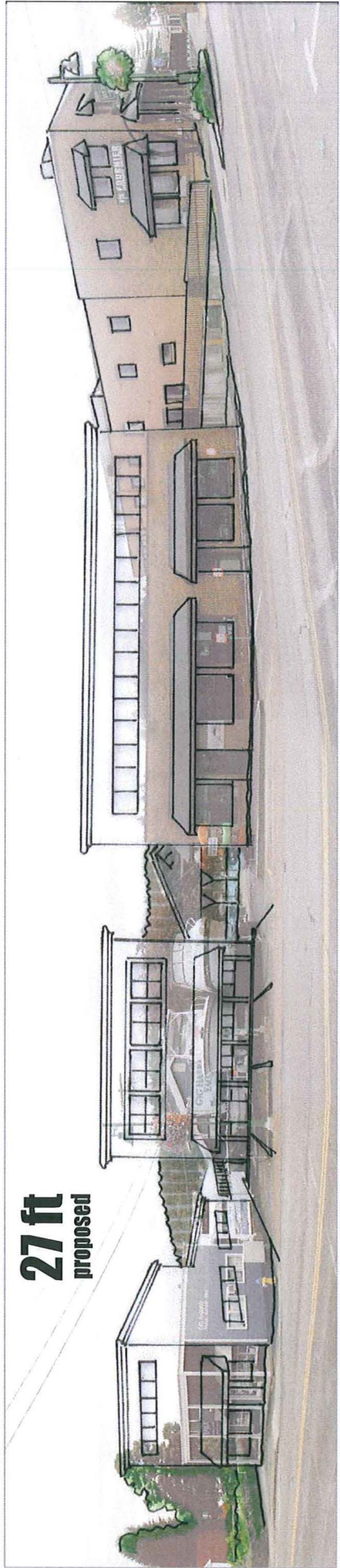
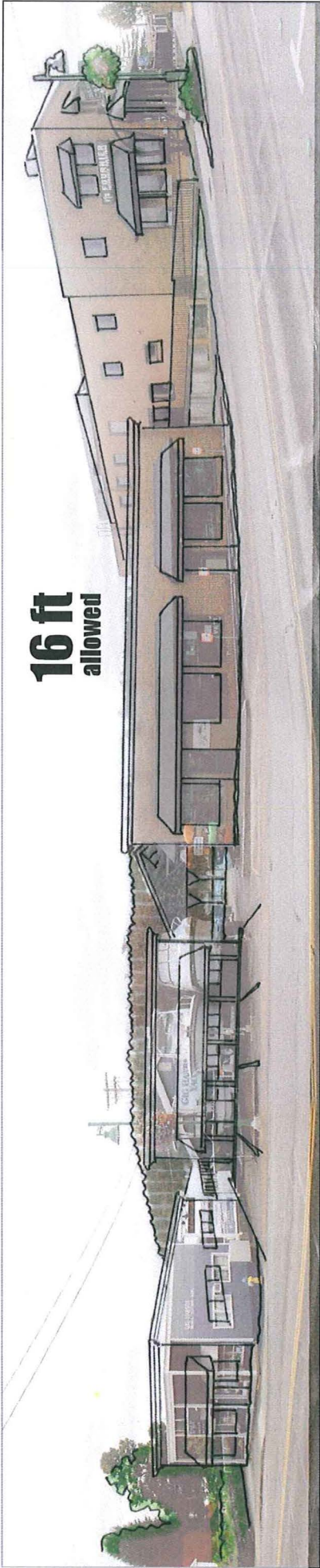
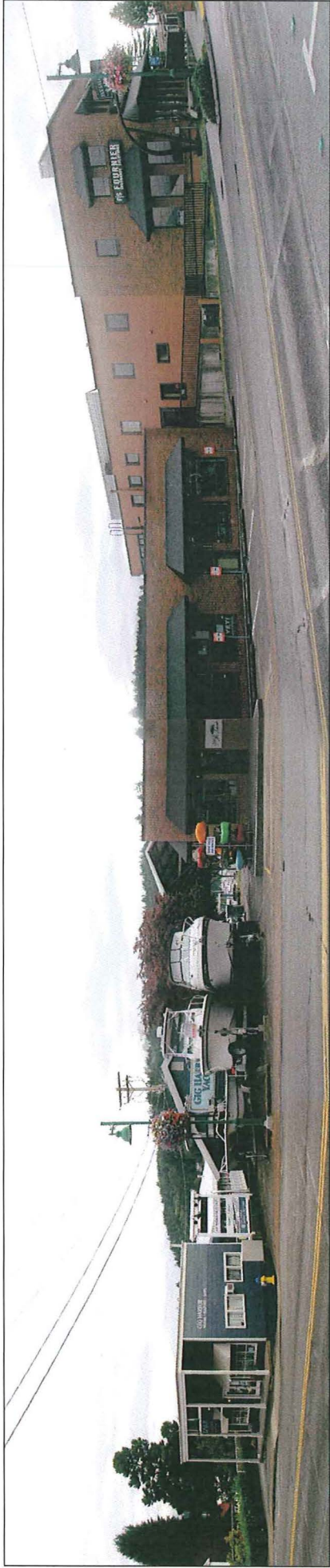
A – The height and overall size of a building as it relates to neighboring buildings. The old *Harbor Inn Restaurant* (aka *Windermere*) and the *Peninsula Hotel* (aka *Spiros*) are considered to be characteristic of Gig Harbor’s historic downtown buildings.

Q – Will raising height limits in the WC zone affect water views along Harborview?

A – No. 16-ft and 27-ft buildings will block views. Views are preserved through regulated “*view corridors*” between buildings. Multiple buildings on one property are already required to be at least 20-ft apart. Views are preserved by maintaining a separation between buildings.



BUILDING HEIGHTS in the WATERFRONT COMMERCIAL ZONE



In Favor – October 14, 2013

Gig Harbor Building Height Question

The Gig Harbor City Council and Mayor Hunter have shown remarkable vision in purchasing waterfront property to provide the public with waterfront access. That simple statement means that they not only wanted to provide access for generations but committed to the economic health of our city as well. They did not commit to leaving every part of Gig Harbor as it was, but built on the very part of why we all come to the downtown Gig Harbor. When people hear about Gig Harbor they immediately say they love the Tides Tavern and are impressed with the Harbor History Museum, the Day lighting project, Eddon Boat Works and the Russell Building to provide people with access and views to the waterfront. Those locations are not there so people will drive by and say "Aren't they nice", but they are designed to encourage people to stay and see what Gig Harbor has to offer, and oh – maybe spend some money. Why would you ask someone to come to see you if you did not intend for them to stay? Why would they stay if you did not provide them a reason to stay?

The building height issue does not change the essence of Gig Harbor, it does not change the character of Gig Harbor, but it encourages economic growth. A new business is bound by code to provide parking, seating, restrooms, retail area, storage, office, or whatever that occupancy requires. If a business can utilize a 2nd level for seating with a view of the harbor why is that not good for the city, the tax revenue, the guest, the owner, and the public?

The goal of any business (public or private) is to **keep your eye on the prize**. Our prize is the quality of living in Gig Harbor. We all have our own view of the prize, but clearly over the last 20 years this management has improved and enhanced the quality of life in Gig Harbor. On the waterfront alone we can list the Maritime Dock (with restroom), The Russell Building (with public views) Skansie and Jersich Parks, Ansich Net Shed Park, Eddon Boat Works (plus adjoining property) Austin Estuary Park, Harbor

History Museum, Donkey Creek Park, The Daylighting project, the North Harborview Bridge, and the Bogue Viewing Park. Each one was intended to give the public access to a real life working waterfront environment. We built a foundation for economic growth so why would we take our eyes off of the prize and allow a dead zone where no innovations, or new businesses, or restaurants, or bakeries, or meat markets, are encouraged to move to the downtown waterfront area?

Jack Sutton

Gig Harbor

Kester, Jennifer

From: Terri Boden [terjoh02@hotmail.com]
Sent: Monday, October 14, 2013 1:55 PM
To: Kester, Jennifer
Subject: Leave the Harbor alone!

Why is it that Gig Harbor cannot stay as it is. I have lived here for 30 years and watched it grow so now the traffic is horrible. Leave the waterfront as it is. We do not want any more changes. It is nice to be able to walk the Harbor and enjoy the view of the water, boats and a few nice shops to duck into. Please leave it be.

Concerned Harborite

Kester, Jennifer

From: Lisa Carey [mrs_rookie@hotmail.com]
Sent: Monday, October 14, 2013 2:26 PM
To: Kester, Jennifer
Subject: The Changes to Downtown

To whom it may concern,

I think the people of Gig Harbor have spoken and the majority of people do not like the changes you guys are making in regards to the building heights and what not to the downtown waterfront. That is part of what makes the Harbor beautiful. I love to walk down there with my friends and family and take people down there that are visiting from out of town. Please don't make us a smaller version of so many towns around Western Washington. Money should not be the bottom line!! If the Harbor continues to add houses and apartments at the rate it is we are going to lose our small town appeal that makes Gig Harbor desirable to live here. We (my family) have lived here for about 16 year now and have always loved it up until about a year ago when you can't go anywhere without seeing all the once beautiful trees gone and road construction everywhere you turn. We moved here because of the small town communtiy feel and the great schools. Gig Harbor is losing that at a fast rate as well as now you guys are trying to take away our Waterfront. Please, please reconsider all of this!! Please listen to the people. We are really talking about moving in the next few years if the growth continues at the rate it is.

Thanks for considering my thoughts, which I know are not just my own, but so many who live here.

~ Lisa Carey

Kester, Jennifer

From: Michelle D'Card [michelled@morningsuninc.com]
Sent: Monday, October 14, 2013 12:43 PM
To: Kester, Jennifer
Subject: NEW Gig Harbor Zoning...

To the Counsel... Consider this email as an opportunity to re-establish the fact that you represent the voice of the people (Gig Harbor residents) as opposed to supporting any special interest groups (developers) wanting to change the face of the waterfront side of downtown Gig Harbor.

I am a taxpaying, voting resident of Gig Harbor. I am extremely upset and concerned by the city's lack of common-sense when it comes to sneaking this change in zoning into downtown Gig Harbor.

I for one am tired of government (who is supposed to be the voice of the people) using their position to pass zoning laws and OK building in areas just to line their own pockets and promote their own power. Corporate greed is rampant enough in our country. We do not want Gig Harbor to be another Kirkland where you cannot even see the water between the overpriced condos.

Please be our voice and stop the re-zoning of downtown Gig Harbor.

Sincerely,

Michelle D'card

Gig Harbor resident since 1983

Kester, Jennifer

From: Jana Fisher [janafisher@yahoo.com]
Sent: Monday, October 14, 2013 9:33 AM
To: Kester, Jennifer
Subject: Preserving the Gig Harbor Waterfront

Good Morning Ms. Kester, I won't be able to attend this evenings public meeting on preserving the waterfront so I wanted to drop you a line to voice my opinion. Thank you for taking the time to read this.

First, I would like to start by saying that I have lived in this region almost my entire life and we chose to live in close proximity to the harbor because of it's beauty. We live up off Crescent Valley...we don't have a view of the harbor from our home but every time I drive around the harbor I think how lucky I am to have this beautiful area to call home. I look forward to including the drive around the water on my way to work and when out running errands. It takes longer so I always give myself ample time so that I may soak in the ambiance of OUR little fishing village. Not only is the beauty a huge part of the harbor but also the reminder of the history that Gig Harbor holds with the views of the fishing boats. To me the harbor was supposed to be the magnet to the community of Gig Harbor which has become so very spread about and actually divided more than ever by the highway.

Next, I would like to speak on my observation of some of the smaller towns in Washington that I have visited that have done a really good job with being very careful about the growth that occurs around such places of beauty in order to draw the tourists that can be so important to our local economy, and at the same time preserving a place in their towns in which all that live there feel connected to. By blocking off the water and allowing the majority of the real-estate to private homeowners and businesses that really don't cater to the visitors we limit the opportunity to increase revenue through something like a "fishing village destination", in turn allowing the local artisans and merchants to make a living through providing goods and services to the visitors or our community. The sense of community also decreases when a major hub for community is squeezed out by property lines. I am not familiar with the rate of property taxes that is collected from those who ring the harbor but I hope that isn't the main reason for choosing to allow the privatization of the prime real-estate. Gig Harbors leaders should stand behind all those who call Gig Harbor home...not just those who are overly financially blessed.

I love the public areas that are now a part of Harborview but I really feel that that needs to be the larger focus around the water. I also think it is a shame that the people who have resided on the upland of the harbor have their views at risk for being reduced or completely blocked. I am sure they are also in a higher property tax bracket due to the location of their homes. We actually looked at a home 15 years ago at the far end of Harborview that had a slight view of the harbor. There was a lot right in front of it that was going on the market. I thought at the time...there is no way someone would build on such a small lot and not only that ...why would they be so inconsiderate and place a home right directly in front of this house that was for sale...completely boxing it in and blocking the view. We chose not to buy the home and low and behold within the next two years someone bought the lot and COMPLETELY cut the home off from viewing anything...and why? because they could. Not a thought went into who lived in that home and what impact it would have on them. I believe all they cared about was their own selfish need to have a view of the harbor. I hope this isn't the direction the city is taking this community. Please reconsider what choices are made about the building that goes on around OUR lovely harbor. Sincerely, Jana Fisher.

Kester, Jennifer

From: Wendy Post [wendypost829@gmail.com]
Sent: Monday, October 14, 2013 6:48 AM
To: Kester, Jennifer
Subject: Height limits

Begging you to leave the height limits as is in Gig Harbor. Destroying the views along Harborview for walkers, joggers, and tourists would be despicable. Respectfully, Wendy Post

821 Pt Fosdick Dr NW
Gig Harbor, WA 98335

Kester, Jennifer

From: roxy253@comcast.net
Sent: Sunday, October 13, 2013 10:47 PM
To: Kester, Jennifer
Subject: Do not destroy our waterfront

I have been here since the 80's watched Murphy's landing go up and many other obstruction go up. This is ruining our waterfront...find some other places, please! Deborah Satterthwaite

Sent from Xfinity Connect Mobile App

Kester, Jennifer

From: Debbie [parnizzle@gmail.com]
Sent: Sunday, October 13, 2013 7:54 PM
To: Kester, Jennifer
Subject: Response to the citizens preservation of Gig Harbor FB comments

Mr. Kester,

You encouraged citizens to send emails on their thoughts. I have grown up in Gig Harbor and love this town with all my heart. I am now raising a family here as well.

While I don't know all of what the developers are wanting to do, I know that resisting change is short sided.

Downtown needs a big face lift. Better retailers will be drawn to this, giving our town more tax dollars and more foot traffic. The reason the businesses are struggling down there is because there is not much down there to go out of your way to see.

It is so ironic that I always hear people asking us to support our local businesses, and they thank you endlessly when you enter their stores. However, they don't carry goods we want to buy and other times when I want to support them, they happen to be closed. If the city wants people to spend money, just provide a service people need. You won't need to thank us. We will actually want to shop there. That's why Harbor Greens doesn't have to beg for business. They provide something we want and give excellent service.

Change is good. We need it. There is always room to save historic buildings, but Gig Harbor will benefit from developers having a vision.

Thank goodness there are people with dreams that didn't "leave well enough alone" or there are many changes we would not have seen in this world.

Respectfully,

Debbie Parnell
Resident

Sent from my iPhone

Kester, Jennifer

From: moriah burns [mojoburns13@hotmail.com]
Sent: Sunday, October 13, 2013 7:49 PM
To: Kester, Jennifer
Subject: Please preserve our city

To whom it may concern,

Destroying the waterfront street of Harborview with more and more huge buildings would be a grave mistake.

Even though Gig Harbor is an affluent town there are many businesses that need tourist dollars to sustain their existence, not only will ruining this city have negative consequences for those of us that live here, it will also drive away many who love to visit because of the way the town is now. Why would they come to Gig Harbor when there are numerous overbuilt cities across our country?

There is a good reason that Gig Harbor is a SMALL city and it needs to stay that way as much as possible. It has already been overbuilt. PLEASE do NOT destroy Harborview as well.

Sincerely,

Moriah Burns
14019 42nd ave ct nw
Gig Harbor WA 98332

Kester, Jennifer

From: Robert McConnell [drvideo@gmail.com]
Sent: Sunday, October 13, 2013 6:48 PM
To: Kester, Jennifer
Subject: High rise buildings on Harborview Dr?

Don't allow this. It will change the character of the city for the worse.

Robert McConnell

Kester, Jennifer

From: Adam Von Zimmerman [alvonz@gmail.com]
Sent: Sunday, October 13, 2013 6:28 PM
To: Kester, Jennifer
Subject: Oct 14 Open House

Adam & Carolyn Von Zimmerman
7301 Stanich Ave

Sorry I cannot attend the open house. I am in Miami helping my mother and my brother's family.

The area under consideration features some little-known yet wonderfully historic and unique structures.

I am guessing the zoning changes were suggested by property owners looking to increase the value of their holdings.

They knew what had when they acquired their properties. No doubt there was some speculation that zoning could/would be changed to maximize their profit from later development.

If one wants to see the effect of easy zoning, just look across the harbor. Their view is of our so-called quaint fishing village while we see a dense mess of overbuilt and unattractive mansions.

Perhaps the developers of Gig Harbor North should have been required to build schools to accommodate the hundreds of new students they will bring to the district that property owners are now being asked to pay for with increased property taxes.

So I suggest no change to new home zoning and the city purchasing any remaining historical properties. It has obviously been done before with fantastic success.

I would support a property tax to fund the acquisitions.

Let's save let the non-city side of the harbor from looking at their own reflections.

Kester, Jennifer

From: Cynthia Hillard [cynthiahillard@yahoo.com]
Sent: Sunday, October 13, 2013 5:04 PM
To: Kester, Jennifer
Subject: Memo to City of Gig Harbor and City Council regarding proposed rezoning of Harborview

I was shocked to learn that this issue is even being considered. Gig Harbor, and especially its waterfront, is a charming oasis and should be preserved. I was also shocked, along with others, that Wade Perrow is on the city council and able to vote on this matter since he would potentially profit from it. He should sit out the vote since his participation could/would represent a potential conflict of interest.

I would question why the City Council or City of Gig Harbor would be so keen to change the face of Harborview Drive. As a 31 year resident, I can say that Gig Harbor had done a very good job of adding amenities and housing, especially in anticipation of the bridge opening. That changed when the blight of housing on Borgen began appearing. The vast amount of housing being built is breathtaking and a bit sad. It seems that those able to "okay" these things have lost sight of any plan to keep Gig Harbor an attractive place for residents and visitors, and are only eyeing tax revenues with no thought of what our city will look like in years to come. Somehow, it was just a little easier to keep quiet when the center of our community - Harborview Drive and the surrounding area - remained the gem that it is. Who would even WANT to threaten this, except for those who would personally profit?

If you allow this proposal to go through, Gig Harbor as it has been - and SHOULD be - will be lost. I understand that the downtown businesses feel they are dying. However, for the past 32 years we have noted that the businesses close at 5pm on weekdays, making it impossible for working residents to shop downtown. The businesses are missing an opportunity, and larger buildings will not change that. They will just be businesses housed in larger buildings closing at 5pm while residents have to shop elsewhere. Opening one weekend evening at Christmas when there's an entire 4-5 week season is sort-sighted. The summer tourist season is another missed chance.

In short, please, please listen to the people of Gig Harbor and save this beautiful gem of a town!

Sincerely,
Cynthia Hillard

Kester, Jennifer

From: John V. Arroyo [johnarroyo@me.com]
Sent: Thursday, October 10, 2013 11:58 AM
To: Kester, Jennifer
Subject: why we moved here

Mr. Mayor,

Ten years ago my wife and I chose to build a house here in Gig Harbor because, primarily, of the attraction of the harbor element of the town. It is always a pleasure to be down at Sounds at Skansie all those summer weeks; it's alluring to take walks around the harbor and occasionally to be out on the water with neighbors.

Were I on the city council, and I have no such desire after working over forty years, it would be vital to me to preserve and protect what Gig Harbor already has. Any drastic alteration of design and construction guidelines would imperil the attractiveness that pulls in visitors throughout the year.

John V. Arroyo
retired business executive
253/853-1970

Kester, Jennifer

From: jeniawoock@gmail.com
Sent: Wednesday, October 09, 2013 9:59 PM
To: Kester, Jennifer
Subject: Fw: Concerns about Gig Harbor Hearing Process

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

-----Original Message-----

From: anne knapp

Date: 8/27/2013 10:52:48 AM

To: hunterc@cityofgigharbor.net; tpayne@ema-inc.com; EkbergS@cityofgigharbor.net; paulkadzik@comcast.net; Young, Derek; Brian.McLean@gateline.com; jon.manley@gateline.com; editor@gigharbor-life.com; karen.peterson@thenewstribune.com; MalichK@cityofgigharbor.net; guernseyj@cityofgigharbor.net; perrowm@cityofgigharbor.net

Subject: Concerns about Gig Harbor Hearing Process

My husband and I recently bought property in Gig Harbor. We were attracted to the small town feel, the treed setting, and especially the views of the Harbor.

I received notice of the (highly important and controversial) proposed zoning changes by email from a friend. Whatever happened to proper notice for public hearings? It does make even logical, necessary zoning changes have an unpleasant whiff that someone is trying to pull a fast one! Coupled with the recent developments that are deforesting the area, it makes me suspicious that the Council and the Planning Department are more considerate of the wishes of developers over the needs of their voting constituents. Gig Harbor is a branded destination, you need to respect and maintain that. Updated building codes may encourage development- but you cannot assume that if you build it "they" (customers/tourists) will come, you have to build it RIGHT or you'll have expensive development in a town that is no longer on the list of desirable places to visit or live.

I am one who would NOT want to see substantive changes to the building code in the all important Waterfront/Historic/Finholm areas. If it is so vital to increase the building height to help the property owners upgrade in the waterfront area, then you had better have very strict supportive and mitigating rules to protect the character of these areas. The view lines between the buildings would need to be protected- no trees or 6 foot fences between- these sight lines are critical to keep the character of the Harbor. The buildings need to be in character to reflect this fishing village we love. Maybe the carrot to get the attractive commercial building is the *possibility* of the 27' height, much as the Historic footprint rule allows for taller houses in the historic District? The taller building allowances can NOT

be permitted in areas where residential views uphill would be impacted. Certainly all residents in the areas affected should receive mailed notices of the proposed changes and listing of hearing dates.

I attended the UW Architectural Students "Storefront Project" open house. The comments of the Professor who oversaw the project were particularly telling: he was overwhelmed by the PASSION of the community about the look and feel of Gig Harbor (be wary if you are an elected official!), and he said that CONTRARY to common thinking about Commercial MASS in most other cities (where you want to see solid development), in the case of Gig Harbor, that is contra-indicated and would RUIN our Harbor feel (he said it is important to keep the "missing teeth" and view lines in order to successfully revamp our Historic Harborfront/Downtown areas). I enjoyed seeing the ideas. Some were great ideas in keeping with our Harbor Heritage- the water taxi, the Egg Building Farmers market, the amphitheater idea for Skansie Park, a gas dock to encourage more boaters to visit and support our local boating community; some are taking a step toward a more concentrated Downtown that I *may* be able to support- the front wooded area "Heron Park" created which would allow for taller building behind (did they call that reciprocal planning?- I would not want to see that allowed outright, but would consider on a case by case basis); and some "are you kidding me?" ideas- like getting rid of covered moorage (where would everyone's boat be put then?) in favor of open accessible dock with a lot fewer boats and "boatels", and the Judson Street block development (good luck having all the property owners work together!) that smacked of "anywhere USA" which could either be an asset or a *horrible (HORRIBLE!)* mistake depending on what vision WE (that would be the Gig Harbor Residents, and the Council, and Planning Dept.) have.

The problem of the matter as I see it, is that the Council and Planning Department have lost sight of who they work for- the residents of Gig Harbor.

It's time to open the doors and have well publicized open hearings, and get acquainted with your constituency.

Sincerely,
Anne Moore Knapp

--

Anne Knapp
website www.annemooreknapp.com

Kester, Jennifer

From: Hunter, Chuck
Sent: Wednesday, October 09, 2013 3:50 PM
To: Kester, Jennifer
Subject: FW: building heights

Follow Up Flag: Follow up
Flag Status: Completed

FYI

-----Original Message-----

From: kate walters [<mailto:kwalters09@comcast.net>]
Sent: Wednesday, October 09, 2013 3:44 PM
To: Hunter, Chuck
Subject: building heights

Please stop this horrible possibility of taller building heights. I love and appreciate the views when I drive by.....Let's keep Gig Harbor special. It is sadly, getting too busy, but please keep our lovely views.....

Kate Walters

Horsehead Bay, Gig Harbor

Kester, Jennifer

From: Stanton, Lita
Sent: Wednesday, October 09, 2013 12:27 PM
To: 'Lynn Stevenson '; Hunter, Chuck; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; 'paulkadzik@comcast.net'; Malich, Ken; Payne, Tim; Young, Derek
Cc: Kester, Jennifer
Subject: RE: Keep our small town SMALL

Follow Up Flag: Follow up
Flag Status: Flagged

Lynn:

Thank you for your comments. I've forwarded a copy to our Planning Director so that it becomes a part of the public record.

As I understand it, you will be meeting with Councilmember Tim Payne today.

As a CLG (certified local government), the City is recognized by the Washington State Department of Archeology and Historic Preservation to act on their behalf.

This designation gives us access to state staff and expertise on which I depend whenever issues related to historic preservation are under review.

(See one sample of state input below).

As you stated, it is the *collection* of buildings over decades that creates our unique character.

The proposed 27-ft building height *allowance* would still be subject to design review and an extensive layering of regulations written to protect our historic streetscape.

And while peaked-roof buildings define our historic residential neighborhoods, our historic commercial structures were mostly flat-roof or given a facade to look like one (i.e., Suzanne's Deli, the Thurston Building aka Kit Kuhn Jewelers).

If you have any additional questions after your meeting with Councilman Payne or wish to see images and more preservation data that contributed to the Planning Commission's findings and recommendations, please let me know.

Any opportunity to share this information is appreciated.

I look forward to meeting you at the Open House on **Monday, October 14 from 3:30 to 5pm.**

Best regards,

Lita Dawn
(253) 853-7609

From: Vann, Nicholas (DAHP) [mailto:nicholas.vann@dahp.wa.gov]
Sent: Tuesday, August 27, 2013 1:53 PM
To: Stanton, Lita
Subject: RE: Building Sizes

Lita Dawn,

Thanks for the call. I share some of the same concerns that you do about the existing zoning code in regards to building height allowance. Given the current building height allowance of 16', there is no possible way to match the scale of many of the existing two story buildings in the downtown historic district. A two story building is very difficult to design well given that limitation. Some general comments on proper infill construction within historic contexts are as follows:


- Historic preservation is not meant to stagnate historic districts in a period of time. Rather, its intentions are to provide continued urban life and pedestrian activity to a historic district. This often is possible through rehabilitation of historic structures *as well as* sensitively designed infill construction. By allowing the increase in zoning height, the city would be matching many of the existing building heights as well as promoting infill development that can economically benefit the city, while giving the historic district additional support. This is a very sustainable approach and is very economically viable.
- The *Secretary of the Interior's Standards* 9 and 10 respectively read:
 - “[9] New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”
 - “[10] New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”
- It is important to also consider that zoning regulations are not intended to be design. They establish the maximum or minimum framework in which building construction must fit, but it has no aesthetic design qualities associated with it. This is where design review comes in, and where reviews by the Gig Harbor Historic Preservation Commission come in to play. The theoretical proposals you have showed me with infill construction match the historic district quite well. It carries through the pedestrian-scale ground floor design elements evident elsewhere in the district (covered / canopied storefronts, welcoming entrance sequence, appropriately sized window openings with large amounts of transparency to the interior of spaces. The overall form is simple, and also has architectural features such as a transomed windows and a roof cornice. There are also side elevation setbacks.) Material choices are also vital and can make a huge difference in determining whether or not infill construction is successful. These are all design decisions that get reviewed by the City, thus ensuring that any infill construction will be thoughtfully and carefully reviewed by professionals with experience in design and/or historic preservation. The purpose of design review is to ensure that proposed development is sensitive to its historic / existing context.
- In regards to viewsheds and infilling open lots where these viewsheds might currently be supreme, Gig Harbor's history has been littered with different iterations of its building stock. The city has always had a very active waterfront, and the views of this working waterfront have been constantly evolving. At some point in time, the waterfront was full of large wharf buildings that didn't offer much in terms of today's viewsheds. Today's experience is also varied in regards to these viewshed opportunities. As a whole, there are plenty of existing viewsheds that would be uncompromised overall (only if you think about how one *moves* through the urban corridor, not how one *stands* in it).

I would stick to my first three points. The viewsheds topic can probably be a touchy one, and I'm not sure I have eloquently captured my point. Let me know what you think or if you have any questions or comments.

Thanks,
Nick

Nicholas Vann | State Historical Architect
360.586.3079 (office) | 360.628.2170 (cell) | nicholas.vann@dahp.wa.gov

Department of Archaeology & Historic Preservation
1063 South Capitol Way, Suite 106 | PO Box 48343 | Olympia WA 98504-8343 | www.dahp.wa.gov

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My weekly hours are 7am - 5pm, Mon-Thurs
Like [DAHP on Facebook!](#)

From: Lynn Stevenson [mailto:Lynn@CrazyHappy.com]

Sent: Tuesday, October 08, 2013 1:03 PM

To: Stanton, Lita; Hunter, Chuck; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken;

Payne, Tim; Young, Derek

Subject: Keep our small town SMALL

To Lita Dawn Stanton and the City Council Members:

This is a quote from your website:

"We support the community's effort to preserve historical, architectural, and cultural resources, including monuments, sites, landscapes, objects, structures, buildings, and historic districts. The preservation of historic buildings and sites fosters civic and neighborhood pride, and maintains our community's sense of identity."

Well, your Gig Harbor community is PLEADING with you to preserve that sense of identity which comes from the collection of ALL of our downtown buildings. Okay, so maybe not literally "all", but my point is: the variety of building sizes, ages, materials, roof lines, setbacks etc are what gives the downtown area the special "cadence" that makes our little harbor unique from other small towns. Each building tells a story of the period in which it was built, and they collectively create the Gig Harbor "experience" that many visitors respond so favorably to. Twenty-seven-foot-plus buildings are commonplace all over the world now and they are representative of relatively new construction methods and more concentrated populations of people. No matter what kind of maritime "face" you put on it, it's still cannot communicate our true heritage.

In Gig Harbor terms, a "historically significant" building may not be "beautiful" by definition, but our pragmatic harbor was built for functionality, not beauty, and that's the kind of character we should be determined to preserve.

So Lita Dawn -- I am curious to know your definition of "Historic Preservation" since you seem so obviously on the side of allowing taller buildings, which seems so clearly counter to the old fishing village history of the harbor. I'm honestly not trying to be sarcastic or combative. I was very surprised to see your support of zoning changes when I had expected you to be the community's champion standing firmly against them. So what am I missing here.... Have I misread your intentions?

Very Sincerely,

Lynn Stevenson



310.428.5966

Kester, Jennifer

From: Jeni Woock [citizens4ghwaterfront@gmail.com]
Sent: Tuesday, October 08, 2013 10:33 PM
To: Hunter, Chuck; Paul Kadzik; Malich, Ken; Perrow, Michael; Ekberg, Steve; Young, Derek; Guernsey, Jill; Payne, Tim; Kester, Jennifer; Brian McLean; Jon Manley; jessie Jones; Heather Graff; Karen Peterson
Subject: If you zone for it they will build it.

Mr Mayor, et al;

Oct 14 will be the Open House. Since it is being held from 3:30-5:00pm, it is quite clear this open house is not meant for the employed.

We expect this time to see your "pedestrian experience" include both sides of the street, instead of only one side of the street.

Here is a city photo with those famous red lines to show what could be built. Here is another drawing filling in those red lines and showing both sides of the street, from The Tides looking toward Pioneer.

If 2 story buildings are allowed on the waterside of Harborview, the folks on the uphill side of Harborview have no choice but to build big and tall to keep their view. We only show 3 stories. Condo owners on Judson will have to go even higher for their view. Developer Agreements allow an unlimited number of stories.

But wait there is a 10 day notice for a public hearing. A downtown resident could go away for a vacation and when they return they are apt to find that a multistory building is approved right in front of their view. Is this any way to treat the citizens of Gig Harbor?

What were you thinking?

The February 7, 2013 Planning Commission minutes say the city would be looking to do business with developers with incentives for big and tall buildings.

"Ms. Kester (GH City Planning director) said the City Council will be allowing larger developers to enter into a developer agreement to allow for more gross floor area, etc." direct quote from the Feb 7, 2013 Planning Commission minutes.

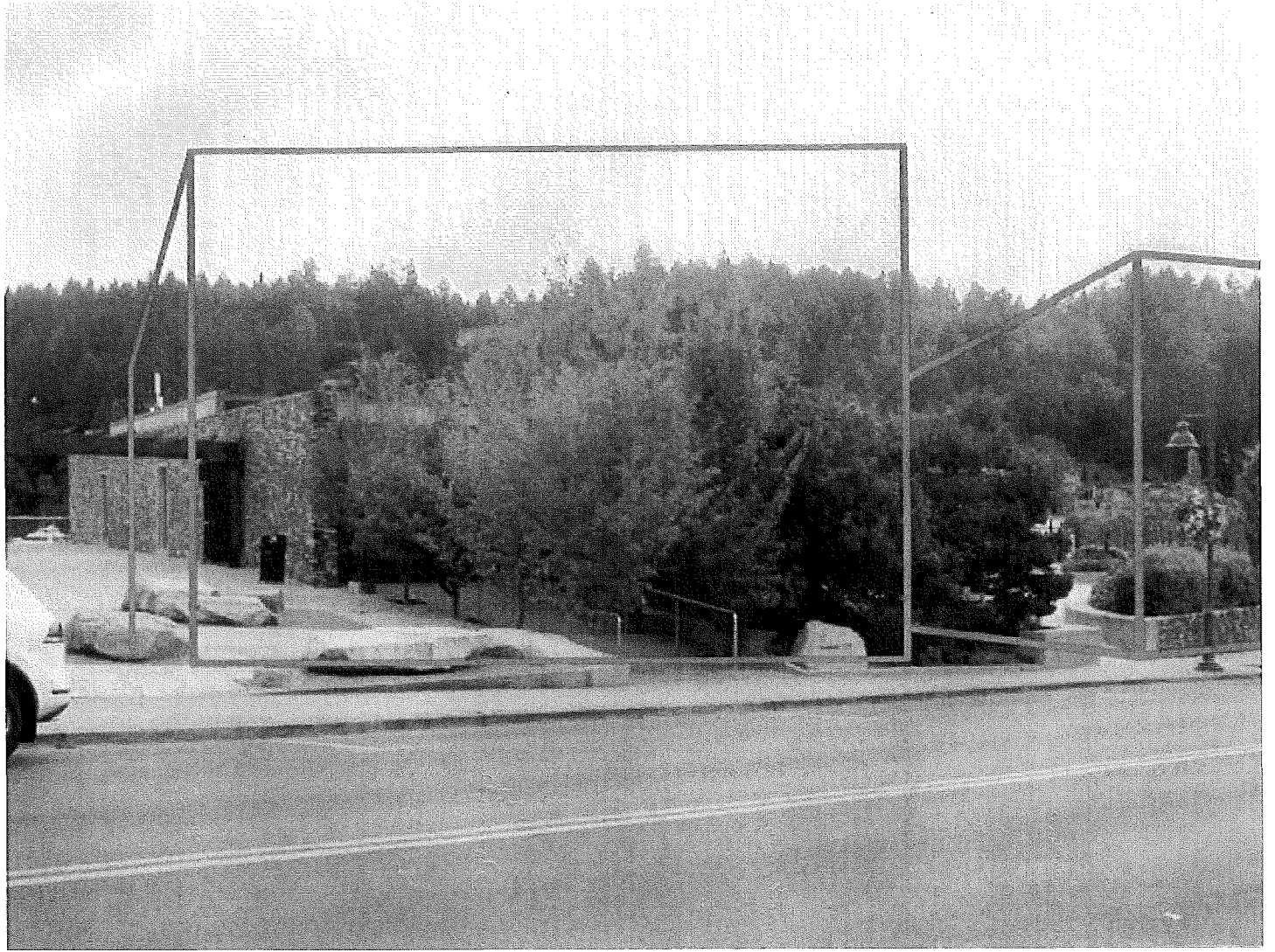
"Commissioners discussed building size and using an incentivized process for an increased size and/or height." Direct quote Feb 7 Planning Commission minutes.

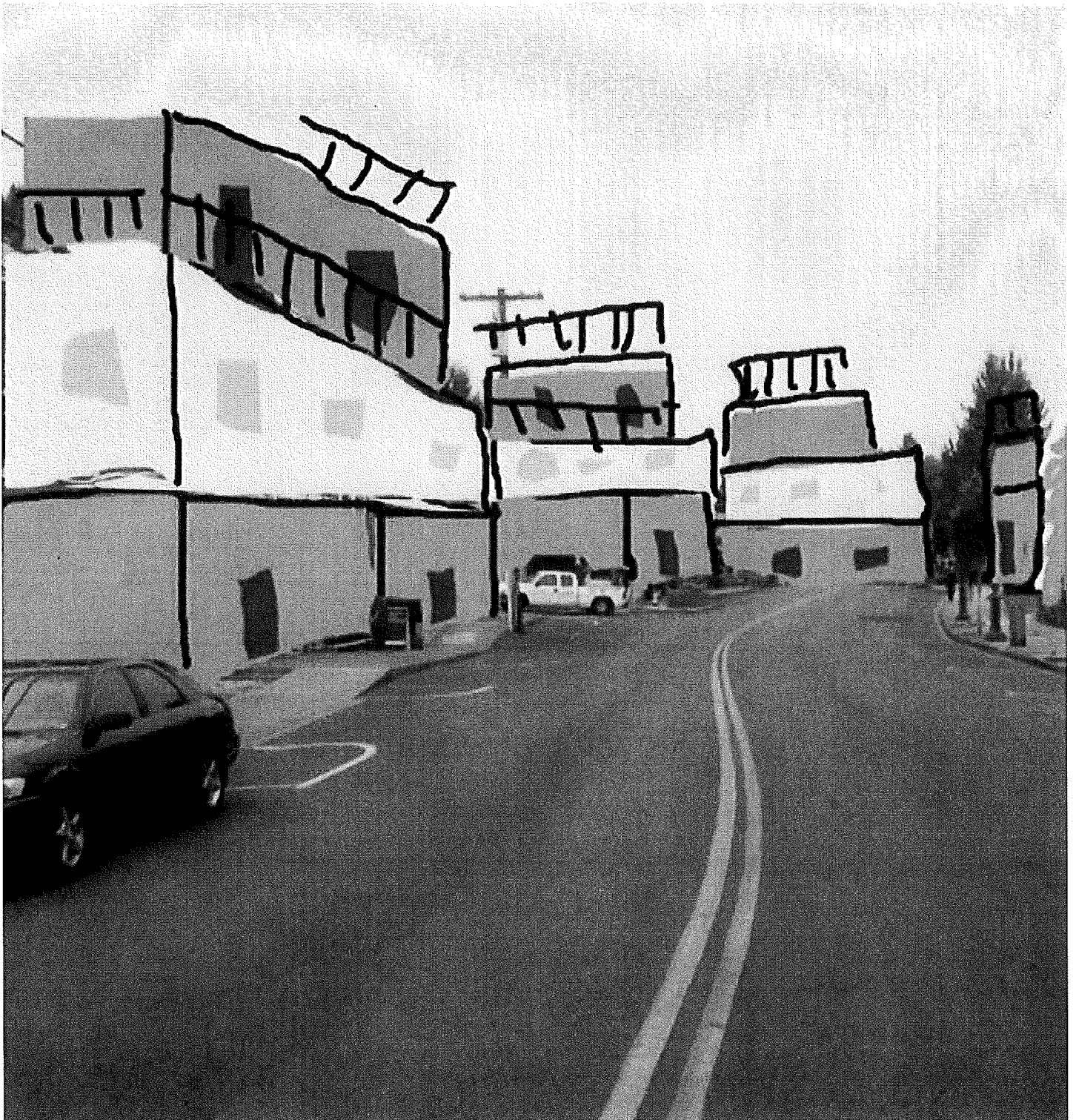
OK. Now we know what you were thinking! You are planning for it, and in a big and tall way!

Citizens For The Preservation Of Gig Harbor Waterfront

It is time the view of the many outweighed the financial interests of the few!

Will the Gig Harbor City Council Overturn the will of the people???





--

Will the GH City Council overturn the will of the people?

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please give us a LIKE on facebook:

<https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

To OPT OUT of these emails please reply with remove in the subject line.

Kester, Jennifer

From: Jiffy Lemcke [jiffylemcke@gmail.com]
Sent: Wednesday, October 09, 2013 6:42 AM
To: Kester, Jennifer
Subject: downtown building heights

I am not in agreement of the proposed new building heights.

Jennifer Lemcke

Kester, Jennifer

From: jeniawoock@gmail.com
Sent: Tuesday, October 08, 2013 7:46 PM
To: Kester, Jennifer
Subject: Fw: Gig Harbor Waterfront Re-zoning

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

-----Original Message-----

From: Carlene Salazar

Date: 8/19/2013 4:18:52 PM

To: paulkadzik@comcast.net; hunterc@cityofgigharbor.net; perrowm@cityofgigharbor.net; EkbergS@cityofgigharbor.net; MalichK@cityofgigharbor.net; Brian.McLean@gateline.com; editor@gigharbor-life.com; jon.manley@gateline.com; guernseyj@cityofgigharbor.net; tpayne@ema-inc.com; YoungD@cityofgigharbor.net

Subject: Gig Harbor Waterfront Re-zoning

To All Concerned;

It is my understanding the City Council has in mind to allow taller buildings and less open space along the waterfront. Please re-consider. The whole waterfront area and it's unique slow walkable attractions, along with the views are the only reason Gig Harbor is a place to live. Without it's protection, Gig Harbor will become another Tacoma or Seattle. We who live here, do NOT want that to occur. We live here for a reason, and that reason is Gig Harbor's ambiance and liveable space. The parks and open spaces are the right way to go. Adding some coniferous trees would be along those lines, and specifically not removing any, except for safety reasons. The slow, windy streets are a part of the small town flavor as well. I know several people who come from out of town, BECAUSE Gig Harbor is such a lovely place to visit and shop, without the hustle and hassle of "BIG CITY"

Thank you for your ears and time. Whatever you do, do not be "sneaky", and try to slide this horrible measure through! Remember, we all VOTE! And we all CARE!

--

Carlene Salazar

"The artist is nothing without the gift, but the gift is nothing without work." Emile Zola

Kester, Jennifer

From: Colene Acker [colene.acker@gmail.com]
Sent: Tuesday, October 08, 2013 8:05 PM
To: Kester, Jennifer
Subject: Please preserve Gig Harbor's historic waterfront!

Dear Ms. Kester,
Please forward this letter to members of the planning commission, the mayor, and others who are involved in the downtown zoning decision. Thank you.

We moved to Gig Harbor just over a year ago and we can certainly see why it has won national awards for being a best harbor town! Almost everyday we enjoy walking along the waterfront, taking in the views and looking at the boats. We've participated in many of the harbor activities, from the summer concerts to the art walks. Now, we're imagining walking along Harbor View Drive with 27-foot tall buildings on each side of the street and with trees planted in the view corridors. This will become reality if the City Planning Commission approves the proposed zoning changes for Harbor View Drive.

Once approved, it's a matter of time before businesses will expand upward. Will there be controls over how newer larger spaces will be used? What rules will prevent existing stores and restaurants from becoming two story office buildings? Will the architecture of new structures be required to compliment the character of the historic downtown?

In addition, the current zoning proposal allows a commercial property owner to add an additional floor but not provide parking space(s). Our downtown already has a shortage of parking every weekend and during special events, without the expansion of commercial properties.

For the most part, Gig Harbor's planners have been successful at maintaining our beautiful waterfront through the creation of small park spaces, the preservation of historic net sheds and by providing public piers where pedestrians can enjoy the magnificent views. The people who plan the activities that bring people to our lovely city are also doing a remarkable job!

Hopefully, any changes in the downtown zoning requirements will be made with consideration to preserving the character of the historic downtown and its water views, rather than representing the interests of some business owners. At the very least, these zoning changes should not include the water side of Harbor View Drive.

Colene and Jeff Acker
3320 Lewis Street, Gig Harbor, WA 98335
608-658-1884

Kester, Jennifer

From: citizens4ghwaterfront@gmail.com
Sent: Tuesday, October 08, 2013 7:42 PM
To: Kester, Jennifer
Subject: Fw: My letter to the council members, minus Mayor

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

-----Original Message-----

From: Ruth Peavy
Date: 10/7/2013 10:26:26 PM
To: Jeni Woock
Subject: My letter to the council members, minus Mayor

TO: Gig Harbor City Leaders

Many years ago in my role as the Certificated Personnel Coordinator in a Southern California school district, teachers would give me an exit interview upon their resignations. Mr. "L" was very excited to be moving to a quaint fishing village on the Puget Sound in Washington State and wanted to share his enthusiasm, but having little knowledge of the Pacific Northwest, I paid little attention.

Fast forward to the mid 1990's when my husband and I were planning retirement, we speculated possible locations in the Washington area. My husband Eric, who was born and raised in Bakersfield (which he disliked immensely and fled in 1962 -- 'fled' being the operative word) and spent his entire teaching career in another southern California city, always preferred to someday live

in the Pacific Northwest, especially when he would see that "little green spot" on the TV news weatherman's map.

We headed north on a spring break, stopping at a hotel in Kelso after driving around that area, which we immediately nixed. An acquaintance of ours had moved to a place called Port Orchard, so we looked at a map to see where that was located. Suddenly, the words "GIG HARBOR" struck me like a light bulb as I recalled the resigning teacher being so excited about it all those years earlier. (Eric had no idea why I suddenly wanted to see Gig Harbor, but was elated to hear it since he'd worried about taking me away from where I had lived for five decades.)

Intrigued by the Tacoma Narrows Bridge, we were soon approaching Gig Harbor and drove down Soundview, viewing the Sound to our right and the harbor with it's boats and yachts straight ahead. Entering Harborview and driving along and around the harbor, I knew then, absolutely, that this was the idyllic place where we should spend the rest of our lives. Eric wholeheartedly agreed. We immediately sought the perfect gentleman realtor who helped us in so many ways.

We revisited Gig Harbor several times prior to retirement, but 1998 was the year of our permanent residence in this beautiful city which we are proud to call our home. Family and friends who have visited us are always overwhelmed at the beauty of Gig Harbor, where they walk along the harbor and are always drawn to that area, which is close to our residence.

Tourists love Gig Harbor, and would love it even more if the number of little unique shops increased along the waterfront to at least compete with the many professional offices and buildings.

The proposed zoning changes were brought to our attention recently, and we are shocked and disappointed that such zoning regulations would even be *considered* by our city leaders! Do you not care for the citizens and taxpayers who inhabit this city and depend on you to care for and protect the idyllic beauty of their

dwelling place? Please take heed and listen to us!!

**CITY LEADERS OF GIG HARBOR: PLEASE, PLEASE,
PLEASE DO NOT RUIN THE SCENIC VIEWS ALONG THE
HARBOR WITH THIS UTTERLY DISASTROUS ZONING PLAN!**

Sincerely,

and Ruth Peavy

Eric

Kester, Jennifer

From: citizens4ghwaterfront@gmail.com
Sent: Tuesday, October 08, 2013 7:43 PM
To: Kester, Jennifer
Subject: Fw: Gig Harbor building height debate – height vs size

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

-----Original Message-----

From: Ann Crawford
Date: 9/10/2013 5:28:29 PM
To: Citizens4GHWaterfront@gmail.com
Subject: Fw: Gig Harbor building height debate – height vs size

To the honorable 'Citizens For the Preservation of Gig Harbor Waterfront'.... I am sure some of our individual objectives will vary by degrees so far as the final direction or course of action preferred regarding Gig Harbor's redevelopment. What I wish to share with you is the message I sent to the councilmembers, as I have seen the same such history written in another city where I lived ...if you take the time to digest the comments below the blog about that redevelopment --30 years after the fact-- you may come to understand why I feel 'preservation' must become more of a priority for the Harbor and its community leaders.

----- Forwarded Message -----

From: Ann Crawford <walkswithhounds7@yahoo.com>
To: "YoungD@cityofgigharbor.net" <YoungD@cityofgigharbor.net>; "MalichK@cityofgigharbor.net" <MalichK@cityofgigharbor.net>; "paulkadzik@comcast.net" <paulkadzik@comcast.net>; "guernseyj@cityofgigharbor.net" <guernseyj@cityofgigharbor.net>; "EkbergS@cityofgigharbor.net" <EkbergS@cityofgigharbor.net>; "perrowm@cityofgigharbor.net" <perrowm@cityofgigharbor.net>; "tpayne@ema-inc.com" <tpayne@ema-inc.com>
Sent: Tuesday, September 10, 2013 1:41 AM
Subject: Gig Harbor building height debate – height vs size

Dear Council members:

I understand your need to 'improve' Gig Harbor. As councilmen, yours and the same such stories have been told before. Unfortunately, the proposed efforts will be detrimental to your cause, even if your hearts are true to what you say is your purpose. History repeats itself -- it is a cyclical process; it has been attempted before.

Being of European heritage, I can say - Gig Harbor is not old. What it currently suffers from is a malady affecting many bigger cities. Where you are misguided is when you try to make Gig Harbor into a city of Bellevue's dimensions. Gig Harbor is and should remain a small town. That is its charm. Your efforts should be

about preserving and expanding upon the tiny collection what is left of its historical heritage rather than new building expansion. Surely there are enough empty storefronts in Gig Harbor already? Will square footage be more affordable for small businesses to rent after redevelopment? Certainly not! Businesses need your help; there is no shortage of buildings! Despite your remonstrations, someone- corporation, family or otherwise- will prosper from these redevelopment plans. It won't be the town and the people of Gig Harbor. You suggest the upper stories might be used for apartments? At what monthly cost will they command the best views of the landscape and waterscape of the harbor? And it was suggested the housing might even be for seniors? Most seniors prefer ground floor living to cumbersome stairways... but of course you'd provide handicap accessibility... no expense spared to accommodate these entitled few. This is how you propose to enrich the Harbor?

The entire farce that the raised buildings will not obstruct view of the harbor only reiterates the 'tunnel vision' of those proposing these changes. The 'view' is not strictly of water. The 'view' is also of the opposite shore— where the bank meets the dark green, tree-covered mountainside rising up to reach the bluest skies above... There is a continuity that will be lost when building frontages dominate the waterfront, with only narrow alleyways to allow passers-by only a small slice of what was a glorious image. You can't make those alleyways between buildings big enough to form a view. Some of those lots are only 6,000 sq feet?! And only an architecture student will assert that a street lined with buildings is more attractive than buildings hidden by 'volunteer' foliage. Gig Harbor is a child of the wilderness. The wildlife, be it songbirds, deer, raccoons (just to name a few) have been some of the things that enchanted the tourists I've spoken to. With those lovely 'volunteers,' (they require no maintenance-why abhor them?) spaces are ill-defined. Gig Harbor appears a singular lush land which retains a sense of its wild beginnings. Instead, you are proposing to insert more cookie-cutter frontages...cold, concrete, sterile. When you strip away those volunteers, you exaggerate private property. And yes, even the view will become private—and expensive. You do yourselves no favor being the councilmen recommending this sort of redevelopment.

I understand you have the advantage of the floor. Funny how you are able to reach so many people at election time and so few during these sort of processes, whatever the disadvantages you complain you are dealing with. I take exception to your sense that you have provided plenty enough waterfront for the community to enjoy. Of all that shoreline, there are very few places Joe Public is at liberty to go...and yet you've decided I have enough places near water? A measure of your generosity, to be sure. And when I hear your committee report that they 'don't think' this or that change will happen, it tells me that it quite possibly that change will and can happen but don't bring it up now...just get the amendment passed. Hmmm...

Since coming to Gig Harbor, I've read of more than a few suspicious fires which have destroyed many of the old historical houses around town only to see an office building appear afterwards. Someone pulls strings somewhere around town. Either they are above investigation or they pay well. However, every time another piece of the Harbor's rich heritage disappears, I shudder. When those pieces of history are lost, they cannot be replaced. Even your idea of preservation suggests tearing the original structures down. That is not the language of preservation. I suspect -to get around that- one might require a call for a suspicious fire of some sort, eh?

Museums are wonderful closets to keep things in. Don't relegate Gig Harbor's history to a closet. Let her keep more than a few of her wrinkles; she is aging so very gracefully. But with your proposed plans, she will become Any City, USA and be no more profitable, save for an entitled few. ...And 30 years from now? What will they say about the councilmen who authorized this redevelopment...?

If you will take a moment to read this blog – (<http://ochistorical.blogspot.com/2012/03/fox-theater-and-end-of-downtown-anaheim.html>) This captures some of the sentiment about the redevelopment that took place

in Anaheim, Ca back in the 70's. I lived through those times. I watched it happen. 30 years later, when I left to move to Gig Harbor, all that was left of that wonderful redevelopment project was mostly empty used storefronts...none were as attractive as the historical ones they replaced. History will always be more interesting than the new. After all, there will always be something newer to build– but you can never bring back what was there. Or can you? Why can't Gig Harbor chase the rare? Yes, I know that doesn't bring in tax dollars. But perhaps there is a way... to keep Gig Harbor rare... and not just another cookie-cutter town like all the rest. Empty new storefronts aren't really attractive either. But then, if your emphasis isn't on sustainable small businesses and the townspeople, but rather the wealthy apartment dwellers and developers...my entire postulate is mute.

Thank you for hearing me. I understand this is gone past planning commission—late to hear my comments but then you have yet to approve these changes. The councilmembers from Anaheim in the 70's are now considered short-sighted, self-serving politicians. I don't envy your position – merely hope you will preserve Gig Harbor as she should be for future generations, with respect for her past. Your decisions write your own political obituary. 'Revitalization' of the existing waterfront with respect for the Harbor's history may be a more lucrative path to follow in the long run.

Good Luck to you all.

Kester, Jennifer

From: citizens4ghwaterfront@gmail.com
Sent: Tuesday, October 08, 2013 7:44 PM
To: Kester, Jennifer
Subject: Fw: Zoning Decision 9-9-2013

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

-----Original Message-----

From: Charles Thompson

Date: 9/10/2013 9:10:42 AM

To: 'Tim Payne'; EkbergS@cityofgigharbor.net; YoungD@cityofgigharbor.net; guernseyj@cityofgigharbor.net; perrowm@cityofgigharbor.net; paulkadzik@comcast.net; MalichK@cityofgigharbor.net

Subject: Zoning Decision 9-9-2013

Congratulations to all on the decision to temporarily forgo implementing revised rezoning on the waterfront side of Gig Harbor. Finally someone is listening to the citizens.

It's my understanding the a review of the waterfront issue will be made October 14th. This is apparently the process for trying to resell this zoning concept for change.

What's important for the Council to recognize is that the key here is one of citizens perception of change. As a citizen of Gig Harbor, best I can tell you is that collectively, WE DON'T WANT TO SEE ANYTHING CHANGED!!! Please feel free to refer to the underlined portion of this message should you have any questions.

In a bigger picture, the Council, up until last night's meeting, indicated they were not only in favor of this revised zoning, but would proceed ahead despite citizens concerns. Keep in mind those elected officials are supposed to represent the voice of those citizens that voted them into office.

The end result of all this creates a level of distrust. One would ask what the hidden agenda is? What's the real truth? Who actually benefits and where does the dollar come into play. Despite arguments to the contrary, it boils down the simplicity of "perception".

Citizens at this are not in the market for change. They are not in the mood to be sold something they don't want.

Final Comment: Leave Well Enough Along

Kester, Jennifer

From: citizens4ghwaterfront@gmail.com
Sent: Tuesday, October 08, 2013 7:45 PM
To: Kester, Jennifer
Subject: Fw: Modest New Zoning Ideas for Gig Harbor

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please LIKE our facebook page: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

-----Original Message-----

From: Bill Hunter

Date: 9/5/2013 2:27:09 PM

To: hunter@cityofgigharbor.net; tpayne@ema-inc.com; perrowm@cityofgigharbor.net; ekbergs@cityofgigharbor.net; guernseyj@cityofgigharbor.net; paulkadzik@comcast.net; malichk@cityofgigharbor.net; youngd@cityofgigharbor.net

Cc: brian.mclean@gateline.com; jon.manley@gateline.com; editor@gigharbor-life.com; getjesse@king5.com

Subject: Modest New Zoning Ideas for Gig Harbor

It's time that you, the Gig Harbor City Council, go big on your proposed new downtown zoning regs.

Instead of simply just raising the height limits on commercial buildings along scenic Harborview Drive, why not create something really special to perk up the dull lives of the citizens of this drab community.

For instance, have you seen that giant ferris wheel on the Seattle waterfront? Can't you just imagine the throngs of young, old, rich and poor alike stream into our town once such an attraction is erected in Skansie Park? Yes, it's pretty big, but that's my point: why have ANY height limits on Harborview?

Want another idea? How about sound barriers? With all the new commercial building anticipated with the new zoning rules, wouldn't it be wise to erect 12' sound barriers on each side of the entire length of Harborview? These barriers work very well on California freeways in reducing traffic noise

and would be much appreciated by all the new workers scheduled to inhabit all the new buildings.

With all the new buildings you might want to consider widening Harborview to accompany all the additional auto and truck traffic. Yes, two additional traffic lanes would necessarily uproot a few existing businesses and residences but you have to take the long view as strategic planners. Many of the structures (especially those old residences) need to be condemned anyway along with those ugly netsheds which are a singular disgrace to our waterfront.

I have many, many more thoughts on improving the lives of the people who live in and visit Gig Harbor that I would be willing to share with the Council.

Please contact me at your earliest convenience so we can sit down and hash things out with your developers and mine.

Bill Hunter

Gig Harbor

Kester, Jennifer

From: citizens4ghwaterfront@gmail.com
Sent: Tuesday, October 08, 2013 7:46 PM
To: Kester, Jennifer
Subject: Fw: Height Limits for Downtown Buildings

Chuck Hunter, et. al.,

I am concerned with what we heard for the first time today regarding a proposed change in City zoning to allow higher buildings in the downtown corridor. We subscribe to the Gateway, and this issue may have been covered throughly in an issue when we were out of town, but today was the first I became aware of what is being proposed. From the flyer being distributed by volunteers, I cannot tell if I am in favor or opposed to the planned revisions to City zoning. I have a hollow feeling that something very important to Gig Harbor is being given the political fast-track for the benefit of a few property owners. Please tell me this is not true.

Gig Harbor has for years promoted a low rise, fishing village theme. Those of us with property in the City have paid higher taxes for the acquisition of net sheds, houses and park lands to promote this theme. Is what is being proposed consistent with this theme?

Finally, I see there is a City Council meeting on September 9, where tax payer and public input will not be solicited. Please publish in the Gateway the process and timeline the Council plans to follow so that all parties impacted by this proposal have an opportunity to participate. As a property owner within the City, I am always anxious for greater commercial income, which theoretically helps hold tax rates down. However, we all benefit from the charm our city has that attracts thousands of visitors every year. Please slow this process down. Don't give the impression that something is being slipped through that could not survive public debate. There is already too much chatter about town regarding Council activities that give deference to favored parties and views.

Sincerely yours,

Dave Mumper
253-25-6395
Owner of three duplexes on Soundview and a taxpayer without representation.

Kester, Jennifer

From: Jeni Woock [citizens4ghwaterfront@gmail.com]
Sent: Tuesday, October 08, 2013 7:50 PM
To: Kester, Jennifer
Subject: Fwd: What were you thinking?

----- Forwarded message -----

From: Jeni Woock <citizens4ghwaterfront@gmail.com>
Date: Mon, Oct 7, 2013 at 10:04 AM
Subject: What were you thinking?
To: Chuck Hunter <hunterc@cityofgigharbor.net>, Steve Ekberg <ekbergs@cityofgigharbor.net>, Tim Payne <tpayne@ema-inc.com>, Ken Malich <malichk@cityofgigharbor.net>, Michael Perrow <perrowm@cityofgigharbor.net>, Jill Guernesy <guernesyj@cityofgigharbor.net>, Derek Young <youngd@cityofgigharbor.net>, Paul Kadzik <paulkadzik@comcast.net>, Brian McLean <Brian.McLean@gateline.com>, Jon Manley <jon.manley@gateline.com>, Jesse Jones <getjesse@king5.com>, Heather Graff <hgraf@king5.com>, Karen Peterson <karen.peterson@thenewstribune.com>

Mr. Mayor, et al;

As residents walk and drive along Harborview they come to 9205 No Harborview. One photo is how it looks today. The other drawing is of what the City's proposed new zoning will allow to be done to this location. The stick says it all! Our stick is 18' and 14' high is what will be zoned to stand in front of Gig Harbor residents view.

What were you thinking?

Unfortunately, it seems no one at the City had any idea this would be the result of this view killing zoning.

It is quite sad that the City is too busy to answer any more questions now.

It seems the city was too busy to go over and above on letting citizens know of these proposed zoning amendments that would change downtown forever.

It seems the city was too busy the check on how the 18' property line would look to citizens walking by.

Even now, the city is too busy to check the surveyors' drawings on where the property line and height will be from the sidewalk on other downtown parcels.

Don't you think there is a better way to treat the people that you work for?

Citizens For The Preservation Of Gig Harbor Waterfront



9025 No Harborview as it looks today.



Your proposed new zoning would allow 14' of view to be eliminated.

Sign the petition at care2 petition site

[Http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront](http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront)

Like us on: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS!!

--

Will the GH City Council overturn the will of the people?

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please give us a LIKE on facebook:

<https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

To OPT OUT of these emails please reply with remove in the subject line.

Kester, Jennifer

From: Jeni Woock [citizens4ghwaterfront@gmail.com]
Sent: Tuesday, October 08, 2013 7:50 PM
To: Kester, Jennifer
Subject: Fwd: Vote for transparency

----- Forwarded message -----

From: Jeni Woock <citizens4ghwaterfront@gmail.com>
Date: Sat, Oct 5, 2013 at 1:40 AM
Subject: Vote for transparency
To: Ken Malich <malichk@cityofgigharbor.net>, Jill Guernesy <guernesyj@cityofgigharbor.net>, Paul Kadzik <pailkadzik@comcast.net>, Tim Payne <tpayne@ema-inc.com>, Derek Young <youngd@cityofgigharbor.net>, Steve Ekberg <ekbergs@cityofgigharbor.net>, Michael Perrow <perrowm@cityofgigharbor.net>, Brian McLean <Brian.McLean@gateline.com>, Jon Manley <jon.manley@gateline.com>, Ric <editor@gigharbor-life.com>, Jesse Jones <getjesse@king5.com>, Heather Graff <hgraf@king5.com>, Karen Peterson <karen.peterson@thenewstribune.com>, Chuck Hunter <hunterc@cityofgigharbor.net>

Mr. Mayor, Et al;

This proposed zoning amendment being considered to change downtown forever and eliminate views from Gig Harbor residents is being presented Oct 14.

The particulars in this amendment are not new. There is nothing different about this amendment except that it no long contains the uphill side of Harborview Dr.

The council chambers will be full of Gig Harbor residents prepared to make their 3 minute public comment. These citizens deserve to be heard.

These citizens deserve to watch each Council member as you stand and be counted as to what the majority of citizens want. This is not the time for you to make changes to this amendment, kick on down the road, in hopes that you can pass this with no one watching.

Citizens of Gig Harbor want no changes to the amendment to put off this vote, no side stepping maneuver to put off this vote.

Gig Harbor residents know that you are planning to side step and not make a vote on Oct 14. We also know that it is well within your ability to vote on this amendment Oct 14.

"1.08.020 B. Notwithstanding the foregoing, the city council may take action on a proposed ordinance on the day of introduction, or at a special meeting, upon the affirmative vote of a majority plus one of the whole membership of the council."

Gig Harbor Passing Procedure 1.08.020B makes it clear you have the ability to vote on this proposed zoning amendment on Oct. 14. This procedure mentions nothing about time sensitive or emergency as the reason to act on the same night. We challenge the City Council to act in a transparent manner and cast your vote on Oct. 14.

So, we wonder why this council would choose not to vote, with all the eyes of Gig Harbor on you? Are you planning to pass this another time without the eyes of Gig Harbor on you?

The Citizens For The Preservation of Gig Harbor Waterfront



Sign the petition at care2 petition site

[Http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront](http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront)

Like us on: <https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS!!

--

Will the GH City Council overturn the will of the people?

Gig Harbor citizens say NO to all proposed new zoning rules anywhere on Harborview Drive.

You can view this petition at: <http://www.thepetitionsite.com/640/648/073/citizens-for-the-preservation-of-gig-harbor-waterfront/>

Please give us a LIKE on facebook:

<https://www.facebook.com/Citizens4ThePreservationOfGHWaterfront>

KINDNESS MATTERS

To OPT OUT of these emails please reply with remove in the subject line.

Kester, Jennifer

From: Hunter, Chuck
Sent: Tuesday, October 08, 2013 2:16 PM
To: Kester, Jennifer
Subject: FW: Keep our small town SMALL

FYI

From: Lynn Stevenson [mailto:Lynn@CrazyHappy.com]
Sent: Tuesday, October 08, 2013 1:03 PM
To: Stanton, Lita; Hunter, Chuck; Perrow, Michael; Ekberg, Steve; Guernsey, Jill; paulkadzik@comcast.net; Malich, Ken; Payne, Tim; Young, Derek
Subject: Keep our small town SMALL

To Lita Dawn Stanton

This is a quote from yc

"We support the comm
monuments, sites, land
historic buildings and si
identity."

ural resources, including
s. The preservation of
ur community's sense of

*Public Comments since
10/8/13 @ noon*

Well, your Gig Harbor cc
from the collection of AL
the variety of building siz
the special "cadence" tha
story of the period in whi
many visitors respond so
world now and they are r
populations of people. No
our true heritage.

identity which comes
"all", but my point is:
as the downtown area
Each building tells a
r "experience" that
onplace all over the
more concentrated
ll cannot communicate

In Gig Harbor terms, a "hi
pragmatic harbor was built
determind to preserve.

efinition, but our
cter we should be

So Lita Dawn -- I am curiou
obviously on the side of allo
history of the harbor. I'm hc
your support of zoning chan
against them. So what am I

you seem so
ie old fishing village
surprised to see
nion standing firmly

Very Sincerely,

Lynn Stevenson

Lynn
310-428-5966

Kester, Jennifer

From: Jiffy Lemcke [jiffylemcke@gmail.com]
Sent: Wednesday, October 09, 2013 6:42 AM
To: Kester, Jennifer
Subject: downtown building heights

I am not in agreement of the proposed new building heights.

Jennifer Lemcke

Kester, Jennifer

From: citizens4ghwaterfront@gmail.com
Sent: Friday, October 11, 2013 12:56 PM
To: Kester, Jennifer
Subject: Fw: FYI, City of G.H. letter

Dear City Council Members,

I visited Gig Harbor for the first time back in 1997 with my then fiancée and we were immediately taken by the beauty and charm of this stunning town. The waterfront community, which we witnessed in this town in our 3-day visit, particularly the waterfront community, was a huge reason for our decision in 2006 to pack up every large base of family relatives in California and return to this beautiful town to start a new career and establish a new life for myself, my wife of note, and goes to the core of the unique value and blessing of this city, is that my 9 year hiatus from the area did not impact what we saw. Our homecoming revealed a waterfront community that, for all intents and purposes, appeared the same as when we had left it 9 years prior. That's something.

I have had the opportunity to live in several states in this country as well as live in and visit a number of countries around the globe. Yes, in any place you have visited or have lived over the years, you will encounter rather dramatic changes. The key to building and maintaining a development in a BALANCED nature. To this point, and in simple terms, there is a place for developing taller, wider and more commercial buildings. Let me say that everyone has done a FANTASTIC job with developing that area. It is a joy to look at and a joy to visit and it seems to keep getting better. It was that that was exactly what was meant for that area. Its past and its destiny was to house a commercial, family-friendly experience - in a grand fashion. A success story.

On the other side of town, you have another jewel, the Waterfront. Not to belittle or misuse the term, but the Waterfront is SACRED. It is the heart of its citizens great pride and fulfillment on a daily basis, and brings to visitors enjoyment and awe, and as previously stated, sometimes the Uptown is Uptown, the Waterfront is the Waterfront. We have it both ways, we have it all, we should all feel blessed. I know I do. I know my neighbors in Tacoma cherish what we have here, and especially the ones who have chosen to move across the bridge to our town in this time.

This Google image search should remain (beautifully) consistent over the years: <https://www.google.com/search?q=gig+harbor&client=firefox-a&source=lnms&tbn=isch&sa=X&ei=gydYUvXqF6rCigKO5oGgBQ&ved=0CAkQAUoAQ&biw=1665&bih=963>

This Google image search should remain (beautifully) progressive over the years: <https://www.google.com/search?q=gig+harbor&client=firefox-a&source=lnms&tbn=isch&sa=X&ei=gydYUvXqF6rCigKO5oGgBQ&ved=0CAkQAUoAQ&biw=1665&bih=963>

[US:official&source=Inms&tbn=isch&sa=X&ei=gydYUvXqF6rCigKO5oGgBQ&ved=0CAkQ AUoAQ&biw=1665&bih=963#q=gig+harbor+uptown+waterfront&usq=US%3Aofficial&tbn=isch](#)

I had attended the City Council Meeting on September 9th, and I was glad to have a front row view of what is planned for the city and to be able to weigh in. Here are my comments on what I saw and heard:

- PURPOSE - Through all of the proceedings about WHAT was being planned, I listened intently in hope of catching a mention of WHY it was. I did not hear one councilman state that there was a goal of "rejuvenating" the Waterfront. It would have been nice to hear more about how much need is being met, how waterfront business are doing, how much public outcry there is for more activity or more commercial entities there, etc. Perhaps this was a bit late to the game. Regardless, I agree that the Waterfront can stand to be "rejuvenated", if we are talking about attempting to add more life and hours. However, this has to be done within the framework of the existing Waterfront, within its existing spirit, character and intent (think four trolley bus was an excellent addition, by the way). Allowing and encouraging bigger, taller buildings is not the way to do it - this is not a form of quantity, it is about the quality. Part of the current problem is that a number of current businesses don't stay open late enough (some of these are a great strolling experience, e.g. Heidi's Sweet Shop, Gift shops, Clothing boutiques, Art shops, etc.), and that other businesses unfortunately are just commerce and entertainment (e.g. Windermere and Russell Investments - quite frankly it is a big shame that these businesses have been an estate with spectacular views for the enjoyment of very few while offering nothing for the sake of rejuvenating the waterfront in its best interest). I am sure whom I've spoken to have been able to connect lines between raising building heights and commercial success/waterfront revitalization. Land development on the waterfront, is part of the goal to "get back" some business that may have gone to Uptown? Uptown is us too, it is all Gig Harbor. Waterfront the Waterfront, with its unique strengths, and the same for Uptown. Both will be stronger because of it, and so will the city as a whole balance.

- BUILDING HEIGHTS - As mentioned earlier, it is not clear how this is to bring commercial success. However, it is indisputably clear how the value of the waterfront - the views, the charm and allowing everyone to enjoy the current buildings and walkways in their current state. I don't think the proposed development plans tell the whole story. I am not saying this was done in a misleading fashion, just that I don't think anyone can make of such potential decisions until something like that is already upon them. Some of the illustrations were from the vantage point of Heidi's side of the street at buildings across the street. What one cannot get a feel for is what would it be like to actually stand on the other side of the street immediately plus imagine doing so while all of the buildings on Heidi's side have increased in height as well. Driving and walking through that block would not to mention depressing, knowing what one has lost. There was a lot of mentioning of preserving view corridors, however, this topic did not excite any citizens, including myself - it is hard to get excited about "providing" a view corridor that has come about because of "taking" the view in new and bigger buildings. Sorry for the blunt analogy, but I believe this is true to how citizens feel on this one: it is like someone asking you to go into a prison cell by pointing out the (small) window with a view and free food. In attempting to explain how the waterfront corridor would be the Planning Commission had pointed out how one of the buildings towards the Green Turtle Restaurant was currently obscured by a large building (how somehow enjoy a better street presence) ... as if this were a negative thing! Part of the waterfront's charm is that there are some mysterious walking experience. In fact there are some tucked away businesses which are all part of our landscape, part of fun of exploring Gig Harbor. "build up" or "build out". Embrace, celebrate and treasure what is here. Again, Uptown is Uptown. The Waterfront is the Waterfront. tell the story - in some cases it was crystal clear, e.g. the increased height of homes by Anthony's - they all still tell a sad story. Whether you go up or by 2 feet, I have yet to encounter a fellow Gig Harbor resident who feels any of this is a good thing, or something that they want.

- COMMUNITY/OUTREACH - Granted to keep everyone informed you likely regularly publish information related to city planning on your website. It seems there is no replacement to getting the word out, and more importantly, getting citizens immediate opinions, by adopting the tactics of having a city representative attend various community events, e.g. farmer's market, concert in the park, etc. and pro-actively tell citizens about their opinions. Perhaps you do engage in this, however, I thought I should bring it up for there are still quite a few people that are in the dark about city planning. Question: while there is indeed a Planning Commission, is there also a Preservation Commission (beyond Pierce County Register of Historic Properties "Gig Harbor Planning & Preservation Commission". And lastly on outreach... feel free to reach out to me if you would like to talk further with me about city planning.

Thank you for reading, and I hope it is deemed a worthy read from a Gig Harbor resident of 7 years and a fan of 16 years! I have always loved to live in a city that dares to be different and takes the desire to preserve cherished parts of their city very seriously, and I challenge you to do the same. The things that are valuable about Gig Harbor. Some things should not change.

Thank you,
Drea Solan

*Husband, Father of Three
Gig Harbor resident*

Kester, Jennifer

From: DIANE [martindiane@centurylink.net]
Sent: Monday, October 14, 2013 11:43 AM
To: Kester, Jennifer; Young, Derek; Ekberg, Steve; Guernsey, Jill; Hunter, Chuck; Kadzil, Paul; Malich, Ken; Payne, Tim
Subject: Downtown Gig Harbor

Mayor Hunter, Council Members and others,

Please do not amend the zoning for the downtown area of Gig Harbor. I moved from Pennsylvania less than one year ago and love Gig Harbor. It would be a shame to have the current view spoiled by your proposed amendment to allow the 27 foot height and the set back allowances.

Remember that once changes are made they cannot be undone; you must think about what changes could take place five, ten, twenty and more years from now. It is better to move cautiously, particularly since so many that I have spoken with say they do not what the proposed changes.

Thank you for allowing the 3 minute hearing from citizens and reconsidering this matter.

Diane Martin
4309 144th St., Ct. NW
Gig Harbor

Kester, Jennifer

From: Rose Mary Micheli [rmmicheli@comcast.net]
Sent: Monday, October 14, 2013 12:32 PM
To: Kester, Jennifer
Subject: Zoning Amendment for 2 Story Buildings

I cannot imagine WHAT the city is thinking of in allowing 2 Story buildings on Harborview. Do you not have any concept of what you will be doing to our city? The city already messed up in allowing the Russell Building to take away the view and then allowing Uptown to destroy the landscape by cutting all the trees after the hard-fought win from Walmart. Don't you have any concept of what you would be doing? Are the engineers of Gig Harbor really that incompetent that they don't tell you what it would look like or do you think you will be getting more revenue by doing this? I DON'T UNDERSTAND THIS THINKING. DO NOT DESTROY OUR TOWN!!!!!!!!!!!!!!!!!!!!!!!!!!!!!!

Kester, Jennifer

From: Jacobus Smit [jacobus.smit@me.com]
Sent: Monday, October 14, 2013 12:27 PM
To: Kester, Jennifer
Subject: Save gig harbor waterfront

Stop!!! Stop! The development to block views in gig harbor develop more small shops and restaurants in current style.

Jacobus Smit
4226 57th St ct NW
Gig harbor 98335

Sent from my iPhone

Kester, Jennifer

From: Linda Ferris [lattelindal@comcast.net]
Sent: Monday, October 14, 2013 1:28 PM
To: Kester, Jennifer
Subject: downtown bldg hts

Please don't even consider obscuring the visual warmth of our beautiful harbor town. The uptown area is perfect for that type of development, & waterfront & water view is not. It will destroy so much of our town's history, attractiveness, and tourism.

Linda Ferris--registered voter & homeowner in the Harbor for 12 years.

RECEIVED

OCT 14 2013

CITY OF GIG HARBOR

Gig Harbor citizens s
proposed new zoning rules anywt

NAME	STREET ADDRESS	ZIP
Shelly Cox	3603 Butler Dr	98335
James Sullivan	8714 90th Ave NW	98332
Lyndean Sullivan	8714 90th Ave. NW	98332
CHRIS BURDOYSHAW	15321 45TH AVE NW	98332
Christy Busdypka	15321 45TH AVE NW	98332
Kelly Ray	7427 84th Ave (NW)	98335
Carl Ray	" " " "	" "
DON MAY	7312 80th St. N.W	98335
RANDINE LUND	7221 SOUNDVIEW DR ^{#301}	98335
Don Trumbull	3114 Forest Bend Dr	don't live
ANNETTE HEIN	3819 100th St. G. NW	98332
Fran Olufs	3314 58th Ave NW	98335
Stephanie Somers	4514 Garden Pl. NW	98335
Catherine Johnson	3110 JUDSON ST. PMB 66 GIG HARBOR	



Business of the City Council
City of Gig Harbor, WA

Subject: Public hearing: General fund 2014 revenue sources

Dept. Origin: Finance

Prepared by: David Rodenbach, Finance Director

For Agenda of: October 28, 2013

Proposed Council Action:
No action required

Exhibits: N/A

Concurred by Mayor:
Approved by City Administrator:
Approved as to form by City Atty:
Approved by Finance Director:

Initial & Date
CH 10/24/13
R 10/23/13
NA
DR 10/21/13

Expenditure Required	0	Amount Budgeted	0	Appropriation Required	0
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INFORMATION / BACKGROUND

Chapter 251, Laws of 1995 (RCW 84.55.120) requires a public hearing on revenue sources for the next year's general fund budget. The hearing must include considerations of possible increases in property tax revenues.

General Fund Revenue Summary

Revenue Source	2012	2013 Estimated	2014 Budget
Property tax	\$ 2,251,509	\$ 2,100,000	\$ 2,142,000
Sales tax	4,466,442	5,000,000	5,100,000
Other taxes	1,593,045	1,693,446	1,727,315
Licenses and permits	1,271,424	1,151,863	937,330
Intergovernmental revenues	297,089	194,287	127,278
Charges for services	231,363	364,735	247,102
Fines and forfeits	132,210	143,632	135,642
Miscellaneous	538,306	88,027	291,908
Total revenues	10,781,388	10,735,990	10,708,575
Beginning fund balance	2,290,104	2,034,433	2,050,640
Total resources	\$ 13,071,492	\$ 12,770,423	\$ 12,759,215



Business of the City Council
City of Gig Harbor, WA

Subject: 2013 Regular Property Tax Levy and Excess Property Tax Levy Resolutions

Proposed Council Action: Adopt resolutions in two separate motions

Dept. Origin: Finance
Prepared by: David Rodenbach, Finance Director
For Agenda of: November 12, 2013
Exhibits: Two Resolutions

Initial & Date

Concurred by Mayor: CLH 10/24/13
Approved by City Administrator: R 10/23/13
Approved as to form by City Atty: PER EMAIL
Approved by Finance Director: DR 10/22/13

Expenditure Required	0	Amount Budgeted	0	Appropriation Required	0
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INFORMATION / BACKGROUND

These resolutions set the City's regular tax levy and excess levy (Eddon Boat bonds) for property tax collection in 2013.

FISCAL CONSIDERATION

The planned levy for collection in 2014 is \$2,173,244. This calculates to a rate of \$1.2786 per thousand dollars of assessed valuation. The 2014 levy is a total decrease of \$150,479 from the prior year's levy. The decrease consists of the following components:

- 1.0% increase over highest levy (since 1985) \$(192,179)
- New construction and improvements \$ 41,700
- \$(150,479)

The levy resolution shows a negative dollar increase and an increase of 0% because the amount levied in 2013 is more than the increase from the limit factor, which is the highest regular tax which could have been levied since 1985 increased by one percent.

The total excess levy which will be used to pay the debt service on the Eddon Boat bond is \$250,000. This calculates to a preliminary rate of \$0.1480 per thousand dollars of assessed valuation.

RECOMMENDATION / MOTION

Move to: Pass each resolution in separate motions.

RESOLUTION NO. 940

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR,
WASHINGTON, CERTIFYING THE 2014 REGULAR AD VALOREM TAX
LEVY UPON REAL PROPERTY.**

WHEREAS, the City Council of Gig Harbor has met and considered its budget for the calendar year 2014; and

WHEREAS, the City's actual levy amount from the previous year was \$2,323,722.49; and

WHEREAS, the population of the city is less than 10,000; and now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, HEREBY RESOLVES AS FOLLOWS:

An increase in the regular property tax levy is hereby authorized for the levy to be collected in the 2014 tax year.

The dollar amount of the increase over the actual levy amount from the previous year shall be (\$192,178.95) which is a percentage increase of 0.0 % from the previous year. This increase is exclusive of additional revenue resulting from new construction, improvements to property, newly constructed wind turbines, any increase in the value of state assessed property, any annexations that have occurred and refunds made.

PASSED by the City Council this 28th day of October, 2013.

APPROVED:

MAYOR, CHARLES L. HUNTER

ATTEST/AUTHENTICATED:

CITY CLERK, MOLLY M. TOWSLEE

APPROVED AS TO FORM;
OFFICE OF THE CITY ATTORNEY:

BY: _____
ANGELA S. BELBECK

FILED WITH THE CITY CLERK: 10/24/13
PASSED BY THE CITY COUNCIL: 10/28/13
RESOLUTION NO. 940

RESOLUTION NO. 941

**A RESOLUTION OF THE CITY OF GIG HARBOR, WASHINGTON,
LEVYING EXCESS PROPERTY TAXES IN THE AMOUNT OF
\$250,000 FOR THE CITY OF GIG HARBOR FOR THE FISCAL YEAR
BEGINNING JANUARY 1, 2014.**

WHEREAS, at an election held in the City of Gig Harbor on November 2, 2004, the number and proportion of the qualified electors of the City required by law for the adoption thereof voted in favor of a proposition authorizing the issuance of bonds of the City in the aggregate principal amount of \$3,500,000; and

WHEREAS, pursuant to Ordinance No. 1016, the City issued its Unlimited General Obligation Bond, 2005 on September 26, 2005 in the principal amount of \$3,500,000; and

WHEREAS, the City Council of the City of Gig Harbor determined that the City of Gig Harbor requires an excess levy in the amount of two hundred fifty thousand dollars and no cents (\$250,000.00) in order to provide debt service for the 2005 Unlimited Tax General Obligation Bond; and now, therefore,

THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON,
HEREBY RESOLVES AS FOLLOWS:

The Property tax excess levy required to raise estimated revenues for the City of Gig Harbor for the ensuing year commencing January 1, 2014, shall be levied upon the value of real and personal property which has been set at an assessed valuation of \$1,689,545,379. Taxes levied upon this value shall be:

Approximately \$0.1480 per \$1,000 assessed valuation, producing an

estimated amount of two hundred fifty thousand dollars and no cents
(\$250,000.00) for 2005 Unlimited Tax General Obligation Bond debt service.

PASSED by the City Council this ___ day of ____ 2013.

APPROVED:

MAYOR, CHARLES L. HUNTER

ATTEST/AUTHENTICATED:

CITY CLERK, MOLLY M. TOWSLEE

APPROVED AS TO FORM;
OFFICE OF THE CITY ATTORNEY:

BY: _____
ANGELA S. BELBECK

FILED WITH THE CITY CLERK: 10/24/13
PASSED BY THE CITY COUNCIL: 10/28/2013
RESOLUTION NO. 941



Business of the City Council
City of Gig Harbor, WA

Subject: Resolution to preserve the open waters in front of Skansie Brothers Park.

Proposed Council Action: Approve Resolution No. 942 to preserve the open waters in front of Skansie Brothers Park for the general public.

Dept. Origin: Administration

Prepared by: Lita Dawn Stanton
Special Projects

For Agenda of: October 28, 2013

Exhibits: Resolution No. 942

Concurred by Mayor:

Initial & Date
LH 10/24/13

Approved by City Administrator:

R 10/25/13

Approved as to form by City Atty:

by e-mail

Approved by Finance Director:

N/A

Approved by Department Head:

Expenditure Required	\$ -0-	Amount Budgeted	\$ -0-	Appropriation Required	\$ -0-
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INFORMATION / BACKGROUND

When Skansie Brothers Park located at 3207 Harborview Drive was purchased in 2002, it quickly became a centerpiece for the community. Today, it hosts 24 independent events and festivals (15 City-sponsored) each year. The Summer Sounds Concerts between June and August are a regional draw, in part, because the open waters in front of the park provide unobstructed views and open access for kayaks, canoes, paddleboards, dinghies, rowboats, and other small watercraft. Recognition of the public benefit along with the environmental return that preservation of open waters provides, prompted this proposal. The intent of this action is to preserve and protect the waters in front of Skansie Brothers park for the enjoyment of current and future generations by prohibiting the construction or placement permanent structures within the open waters of Skansie Brothers Park.

FISCAL CONSIDERATION

None.

BOARD OR COMMITTEE RECOMMENDATION

The Skansie Brothers Park Ad Hoc Committee (adopted by resolution) recommended that the City "Preserve view corridors and public access to the water" as part of their 2008 report. The Parks Commission met on August 7, 2013, and unanimously supported a resolution to "preserve the open waters for public use at Skansie Brothers Park that would be a legacy for future generations." On September 19, 2013, the City's Operations Committee voted to support a policy to preserve the open waters in front of Skansie Brothers Park for unobstructed recreational use of the water and shoreline.

RECOMMENDATION / MOTION

Move to: Approve Resolution No. 942 designating that the open waters in front of Skansie Brothers Park remain unobstructed and that no permanent structures be placed or constructed within those waters.

RESOLUTION NO. 942

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GIG HARBOR, WASHINGTON, DESIGNATING THAT THE OPEN WATERS IN FRONT OF SKANSIE BROTHERS PARK REMAIN UNOBSTRUCTED AND THAT NO PERMANENT STRUCTURES BE PLACED OR CONSTRUCTED WITHIN THOSE WATERS.

WHEREAS, the City of Gig Harbor Comprehensive Plan of 2004 last updated in 2012 contains a parks, recreation, and open space element, which is an plan element pursuant to RCW 35A.63.062, and which includes general goals and policies regarding the provisions of park, recreation, and open space within the City and its urban planning area; and,

WHEREAS, the City of Gig Harbor adopted a Parks, Recreation, and Open Space Plan in 2010; and

WHEREAS, Skansie Brothers Park is recognized as a one of the most prominent and diversely used parks within the City's park system and;

WHEREAS, the waters in front of Skansie Brothers Park provide outstanding open navigation and water access for small boats and hand-powered watercraft during summer events, festivals and throughout the year; and

WHEREAS, the house, netshed, uplands, and open waters including moorage pilings are listed on the National Register of Historic Places, the Washington State Register, and the Gig Harbor Register of Historic Places as a *historic district*; and

WHEREAS, the City of Gig Harbor finds that the open waters in front of Skansie Brothers Park comprise an environmental and recreational resource of high public significance; and

WHEREAS, the Park Commission met and unanimously agreed that preserving the open waters for public use at Skansie Brothers Park would be a legacy for future generations; and

WHEREAS , the City's Operations Committee agreed that preserving the open waters in front of Skansie Brothers Park will benefit the public by providing unobstructed recreational use of the water and shoreline; and

WHEREAS, the Skansie Brothers Ad Hoc Committee's final report in 2008 specifically recommended "*Preserve view corridors and public access to the water*"; and

WHEREAS, keeping the open water in front of Skansie Brothers Park free of permanent structures and obstructions maximizes public access and navigation; and

WHEREAS, the City believes that we must be good stewards of the natural environment by maintaining unobstructed views and open space on land and water; and

WHEREAS, it is the intent of this action to preserve and protect the waters in front of Skansie Brothers Park for the enjoyment of current and future generations; and

NOW, THEREFORE, BE IT RESOLVED that the City of Gig Harbor designates that the open waters in front of Skansie Brothers Park remain unobstructed and that no permanent structures be placed or constructed within those waters.

RESOLVED by the City Council this 28th day of October, 2013.

APPROVED:

Charles L. Hunter, Mayor

ATTEST/AUTHENTICATED:

Molly M. Towslee, City Clerk

Filed with the City Clerk: 10/24/13
Passed by the City Council: 10/24/13
Resolution No. 942